



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
PLANNING COMMITTEE

**NOTICE OF COMPLETE APPLICATION
AND
NOTICE OF PUBLIC MEETING**

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Council for The Corporation of the Township of Muskoka Lakes will be considering the following proposed Amendment to Zoning By-Law 2014-14 pursuant to Section 34 of the Planning Act, R.S.O. 1990, c. P.13.

Public Meeting Date: Thursday, April 11th, 2024 at 9:00 a.m.

File and By-law #.: ZBA-08/24

Roll #: 9-13-066

Civic Address: 2689 Muskoka Rd 118 W, Unit #3

Owners: 2784805 Ontario Inc.

Legal Description: Part of Lots 28 and 29, Concession 12, Parts 4 to 6, Plan 35R-25913, (Monck)

Lake/River: Lake Muskoka (Category 1 Lake)

Zoning: Waterfront Commercial – Resort Commercial Waterfront (WC1)

Zoning Schedule: 37

EXPLANATION OF THE PURPOSE AND EFFECT: A Zoning By-law Amendment Application has been submitted to:

- Obtain necessary zoning exemptions to recognize an as-built housekeeping unit and to permit an additional 3 housekeeping units in an existing building formerly containing a dwelling unit an office, and laundry facilities.
- Obtain necessary zoning exemptions to recognize as-built additions to ten housekeeping units and attached sundecks. A portion (encroachment) of an as-built sundeck partially constructed on an abutting property is to be removed.
- Obtain necessary zoning exemptions to recognize an as-built accommodation unit and an attached as-built sundeck.

Exemption	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Relief
A	4.2.3	Minimum Lot Frontage Requirement	500 feet	95 feet	Recognize as-built Housekeeping Unit and sundeck additions (Units #1-10), recognize as-built Housekeeping Unit #11, permit new Housekeeping Units # 12, 13, and 14 within an existing building and recognize an as-built Accommodation Unit and associated sundeck on an undersized lot
B	4.2.3	Minimum Interior Side Yard Setback (Housekeeping Unit #1)	30 feet	6 feet	24 feet
C		Minimum Interior Side Yard Setback (Sundeck Attached to Housekeeping Unit #1)		6 feet	24 feet
D		Minimum Interior Side Yard Setback (As-Built Housekeeping Unit #11, Proposed Housekeeping Units #12, 13 and 14)		10 feet	20 feet
E	4.2.10 a.	Maximum Permitted Development Allowance (Gross Floor Area / Acre)	3,595 square feet (500 square feet/acre)	13,000 square feet (1,808 square feet/acre)	9,405 square feet (1,308 square feet/acre)

A key map of the property, the applicant's zoning sketches and any drawings, and a draft of By-law 2024-XXX are included in this notice.

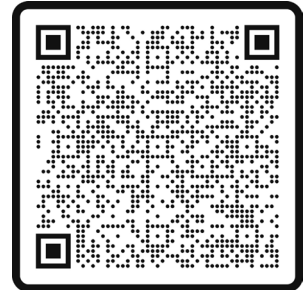
TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.**

ZOOM Guide

More information about viewing and/or participating in the zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

Electronic Version of Notice of Hearing

Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code:



Submit Comments in Writing

Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.



Active Verbal Participation in Person or on Zoom

Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit:

www.muskokalakes.ca/zoom

If you wish to speak to the Planning Committee at the meeting by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled meeting.



Watch the Meeting Online

You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting/hearing recording will be posted under the Government Portal on www.muskokalakes.ca

For more information, please contact the Planning Department weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

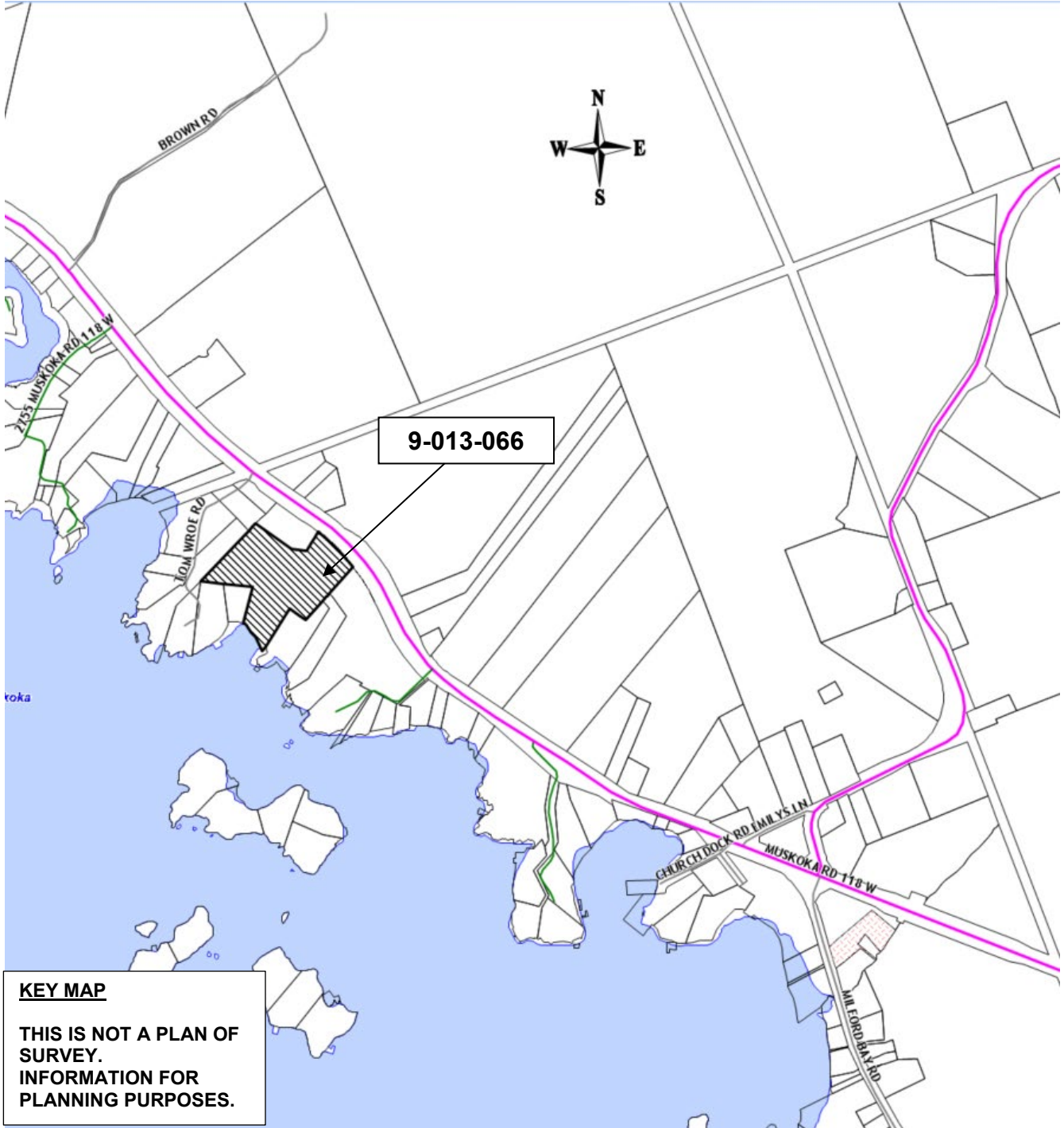
FAILURE TO PARTICIPATE: If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF PASSING & APPEALS: If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, if a person or public body would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

DATED at the Corporation of the Township of Muskoka Lakes this 21st day of March, 2024.

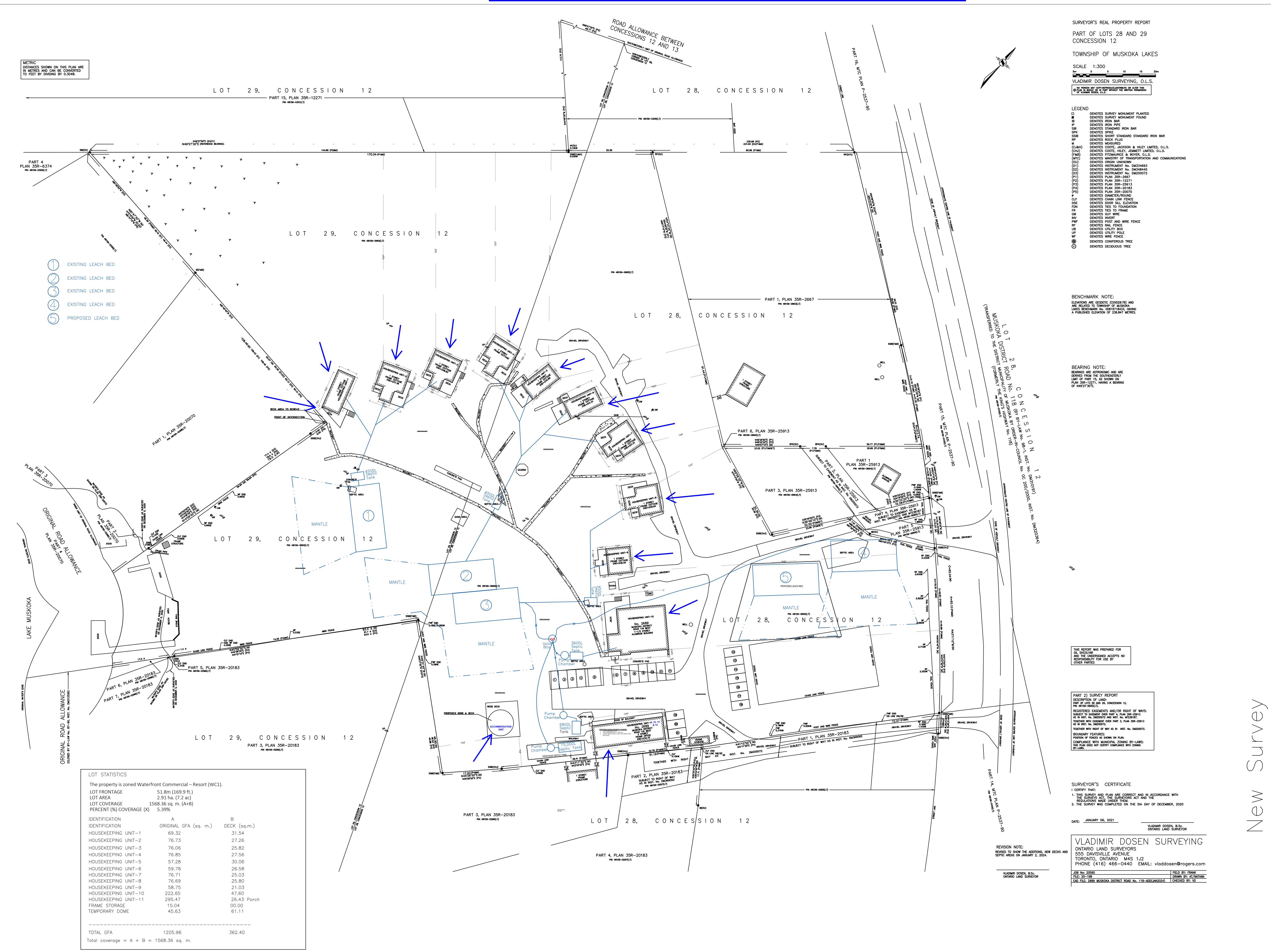
Crystal Paroschy, Clerk
Corporation of the Township of Muskoka Lakes

KEY MAP



ZONING SKETCH - PROPOSED DEVELOPMENT

NOT TO SCALE



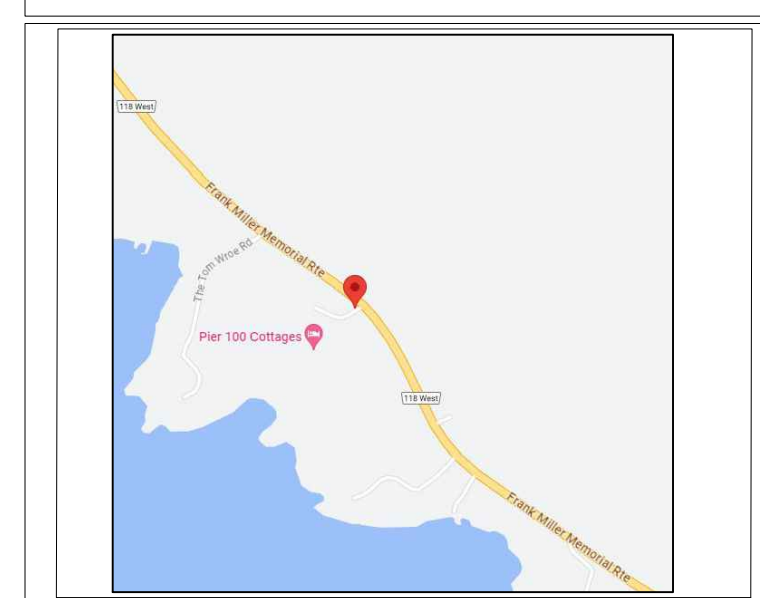
METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S REAL PROPERTY REPORT
PART OF LOTS 28 AND 29
CONCESSION 12
TOWNSHIP OF MUSKOKA LAKES
SCALE 1:300
VLADIMIR DOSEN SURVEYING, O.L.S.

LEGEND
 □ DENOTES SURVEY MONUMENT PLANTED
 ■ DENOTES SURVEY MONUMENT FOUND
 ▨ DENOTES IRON BAR
 ▩ DENOTES STANDARD IRON BAR
 ▭ DENOTES STANDARD IRON BAR
 ▮ DENOTES SHORT STANDARD IRON BAR
 ▯ DENOTES ROCK ALSO
 M DENOTES MEASURED
 (CASH) DENOTES COOTE, JACKSON & HELEY LIMITED, O.L.S.
 (CH) DENOTES COOTE, HELEY, JENNETT LIMITED, O.L.S.
 (FAB) DENOTES FITZPATRICK & BRYCE, O.L.S.
 (MTC) DENOTES MINISTRY OF TRANSPORTATION AND COMMUNICATIONS
 (OJ) DENOTES OREGON LANDWORKS
 (D1) DENOTES INSTRUMENT NO. D4234463
 (D2) DENOTES INSTRUMENT NO. S4434445
 (D3) DENOTES INSTRUMENT NO. D4200072
 (P1) DENOTES PLAN 35R-2667
 (P2) DENOTES PLAN 35R-12271
 (P3) DENOTES PLAN 35R-25913
 (P4) DENOTES PLAN 35R-20183
 (P5) DENOTES PLAN 35R-20070
 (P6) DENOTES PLAN 35R-20183
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 (P99) DENOTES PLAN 35R-20183
 (P100) DENOTES PLAN 35R-20183

BENCHMARK NOTE:
ELEVATIONS ARE GEODETIC (CGVD2011) AND ARE REFERRED TO TOWNSHIP OF MUSKOKA LAKES BENCHMARK NO. 081878433, HAVING A PUBLISHED ELEVATION OF 236.67 METRES.

BEARING NOTE:
BEARINGS ARE AZIMUTHIC AND ARE DERIVED FROM THE SOUTHEASTLY LIMIT OF PART 15, AS SHOWN ON PLAN 35R-12271, HAVING A BEARING OF N49°27'30"E.



No.	Description	Date
1	Submission	2023/10/18
2	Submission	2024/03/15
3		
4		
5		
6		

Public Works Team Inc.
 PWT/CA/MI Design & Consulting Permit
 96 Leadership Drive
 Brampton, ON L6Y 5T2
 Phone: 905-456-7166
 design@pwteam.ca
 www.pwteam.ca

Address
 2689 MUSKOKA HIGHWAY 118,
 TOWNSHIP OF MUSKOKA LAKES

**SITE PLAN
 (LOT COVERAGE
 PROPOSAL)**

Project number **M050**
 Date **2023-10-18**
 Drawn by **LA**
 Checked by **ZU**

A 102
 Scale **As indicated**

LOT STATISTICS
 The property is zoned Waterfront Commercial - Resort (WC1).
 LOT FRONTAGE 51.8m (169.9 ft.)
 LOT AREA 2.91 ha. (7.2 ac)
 LOT COVERAGE 1568.36 sq. m. (A+B)
 PERCENT (%) COVERAGE (X) 5.39%

IDENTIFICATION	A	B
HOUSEKEEPING UNIT-1	69.32	31.54
HOUSEKEEPING UNIT-2	76.73	27.26
HOUSEKEEPING UNIT-3	76.06	25.82
HOUSEKEEPING UNIT-4	76.85	27.56
HOUSEKEEPING UNIT-5	57.28	30.06
HOUSEKEEPING UNIT-6	59.78	26.58
HOUSEKEEPING UNIT-7	76.71	25.03
HOUSEKEEPING UNIT-8	76.69	25.80
HOUSEKEEPING UNIT-9	58.75	21.03
HOUSEKEEPING UNIT-10	222.65	47.60
HOUSEKEEPING UNIT-11	295.47	26.43 Porch
FRAME STORAGE	15.04	00.00
TEMPORARY DOME	45.63	61.11
TOTAL GFA	1205.96	362.40

Total coverage = A + B = 1568.36 sq. m.

THIS REPORT WAS PREPARED FOR
 M. DOSEN
 AND THE UNDERSIGNED ACCEPTS NO
 RESPONSIBILITY FOR USE BY
 OTHER PARTIES.

PART 2) SURVEY REPORT
 DESCRIPTION OF LOTS:
 PART OF LOTS 28 AND 29, CONCESSION 12,
 PH 4839-0865/D
 REGISTERED EASEMENTS AND/OR RIGHT OF WAY:
 SUBJECT TO EASEMENT AND RIGHT OF WAY PLAN 35R-25913
 AS IN INSTR. NO. D420072 AND INSTR. NO. S4434445
 AS IN INSTR. NO. D420072
 TOGETHER WITH RIGHT OF WAY AS IN INSTR. NO. D420072.
 BOUNDARY FEATURES:
 POSITION OF FENCE AS SHOWN ON PLAN
 COMPLIANCE WITH MUNICIPAL ZONING BY-LAW:
 THIS PLAN DOES NOT CERTAINLY COMPLY WITH ZONING
 BY-LAW.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THE SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
 REGULATIONS MADE UNDER THE ACT AND THE
 2. THE SURVEY WAS COMPLETED ON THE 5th DAY OF DECEMBER, 2024

DATE: JANUARY 06, 2021

VLADIMIR DOSEN SURVEYING
 ONTARIO LAND SURVEYORS
 555 DAVISVILLE AVENUE
 TORONTO, ONTARIO M4S 1J2
 PHONE: (416) 466-0440 EMAIL: vlad@vldosen.com

REVISION NOTE:
 REVISED TO SHOW THE ADDITIONAL NEW DECKS AND
 SEPTIC AREAS ON JANUARY 2, 2024.





VLADIMIR DOSEN, O.L.S.
 ONTARIO LAND SURVEYOR

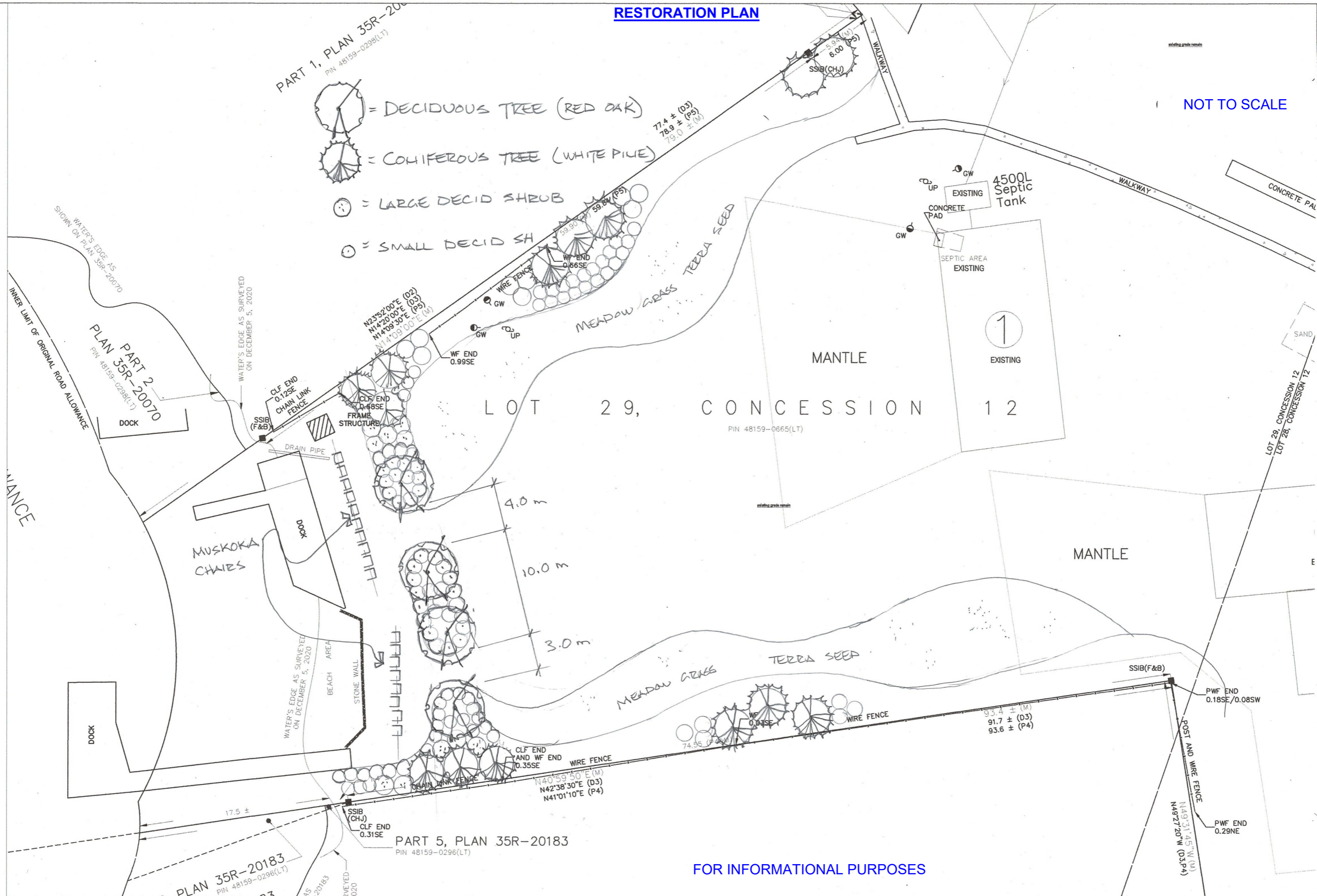
New Survey

RESTORATION PLAN

NOT TO SCALE

PART 1, PLAN 35R-20070
PIN 48159-0298(LT)

-  = DECIDUOUS TREE (RED OAK)
-  = CONIFEROUS TREE (WHITE PINE)
-  = LARGE DECID SHRUB
-  = SMALL DECID SH



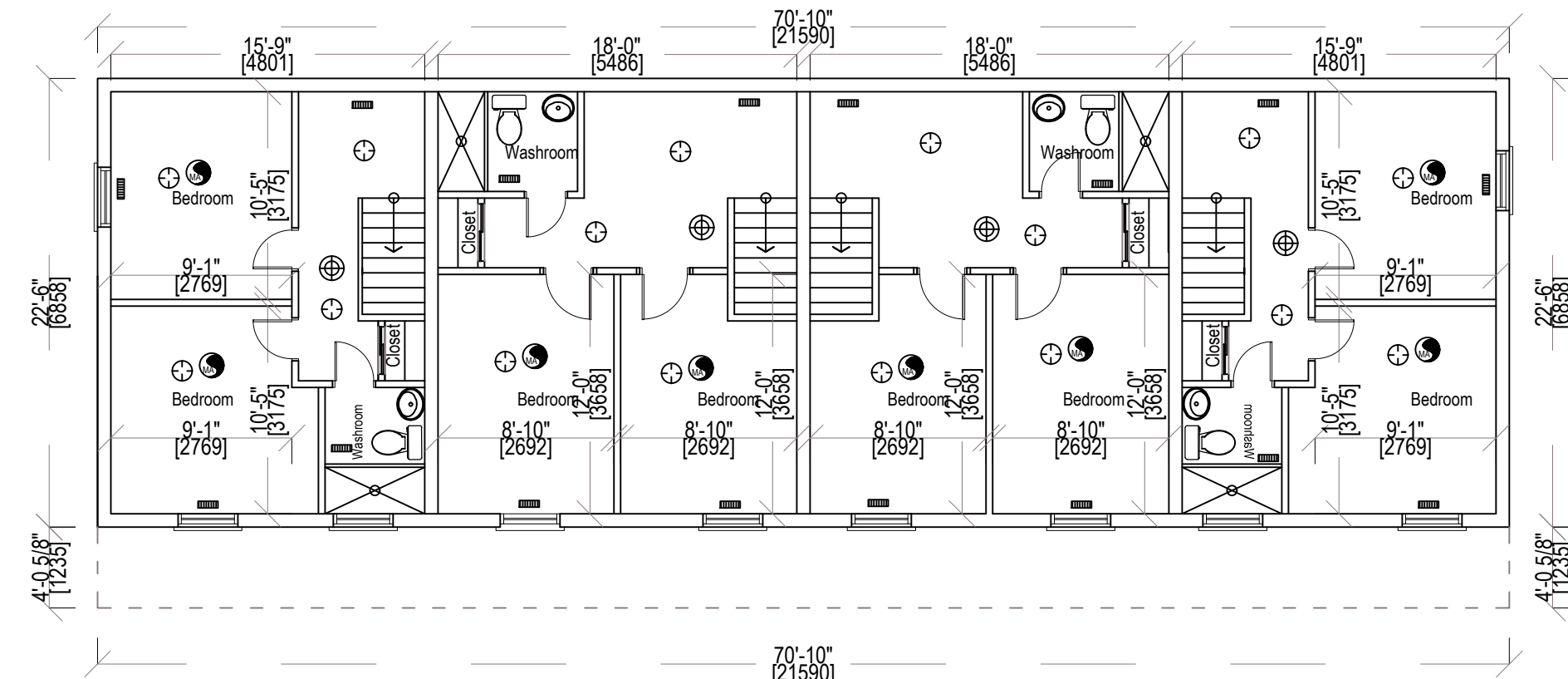
PART 2, PLAN 35R-20070
PIN 48159-0298(LT)

PLAN 35R-20183
PIN 48159-0296(LT)

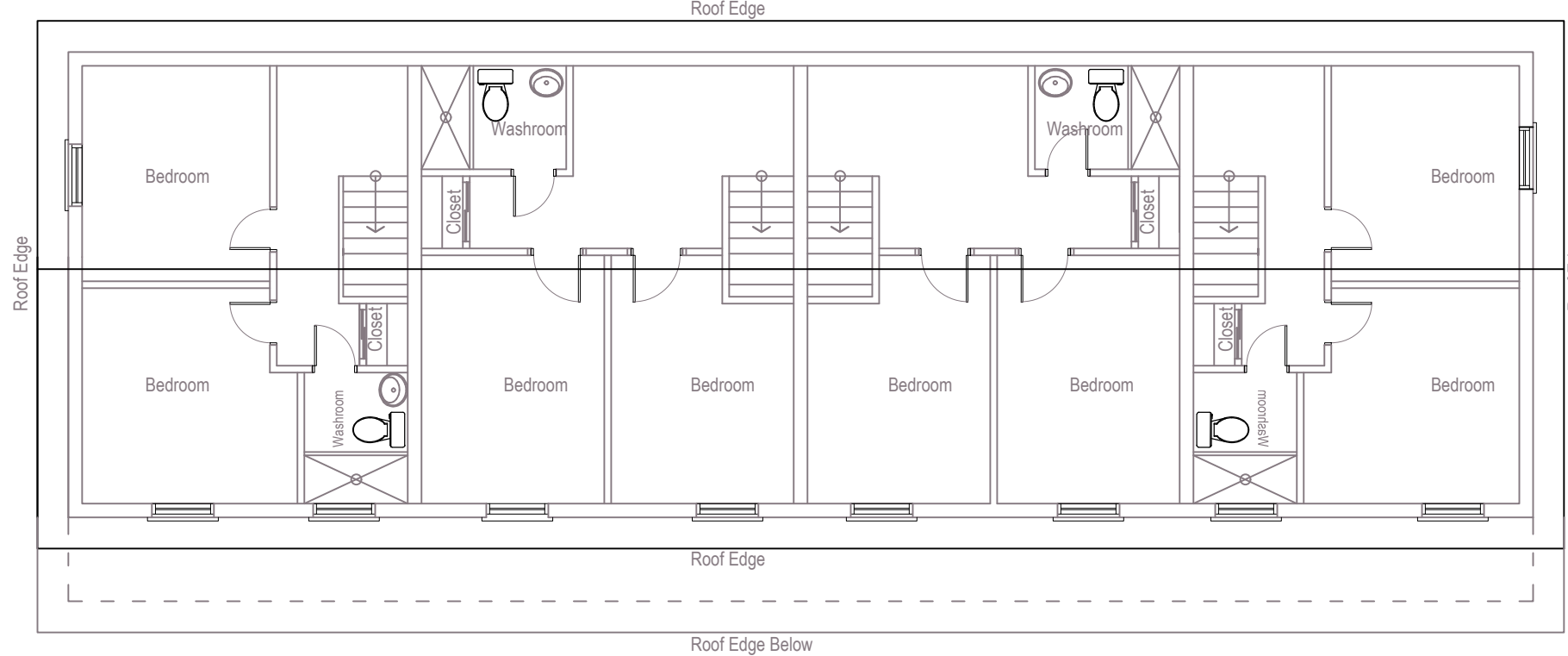
PART 5, PLAN 35R-20183
PIN 48159-0296(LT)

FOR INFORMATIONAL PURPOSES

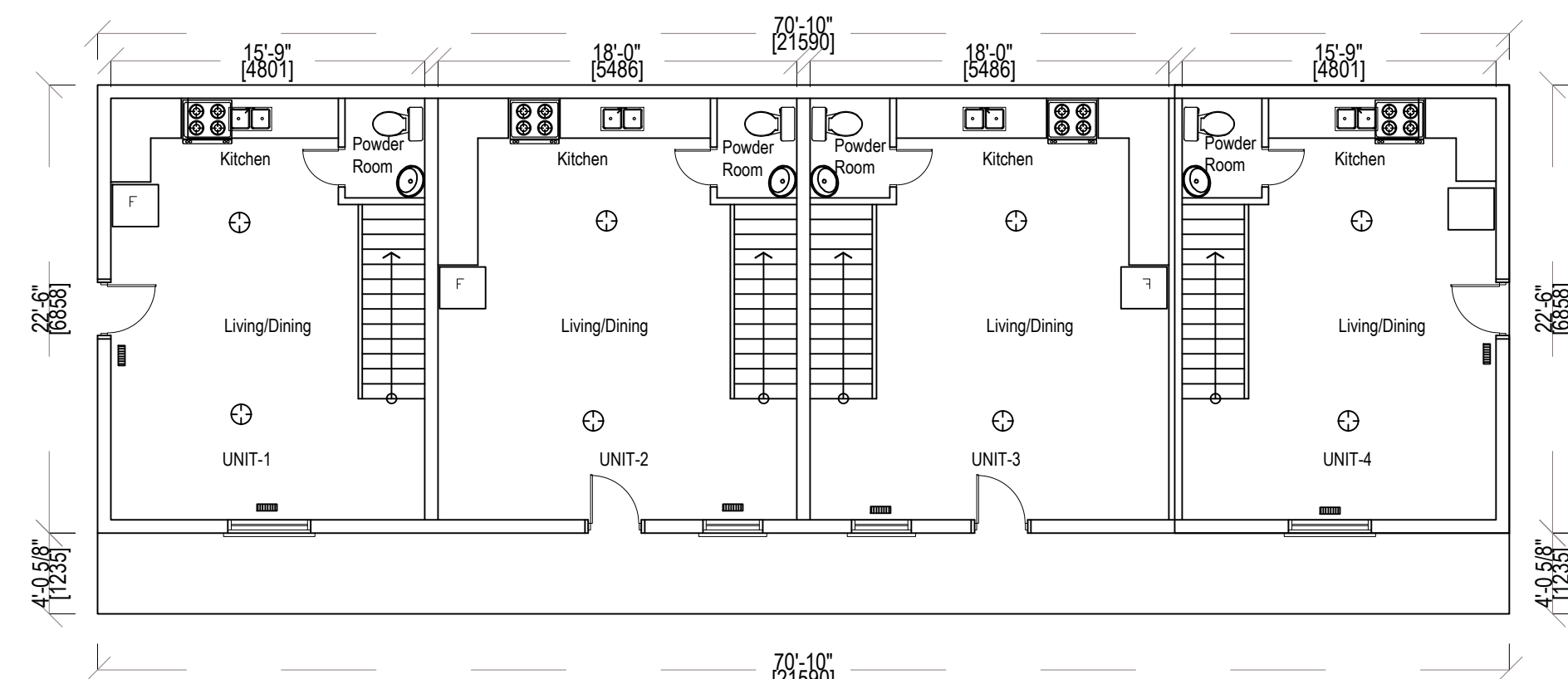
FLOOR PLANS & ELEVATION DRAWINGS - HOUSEKEEPING UNIT #11, 12, 13 & 14



SECOND FLOOR PLAN
SCALE: 1:500



ROOF PLAN (Existing)
SCALE: 1:500

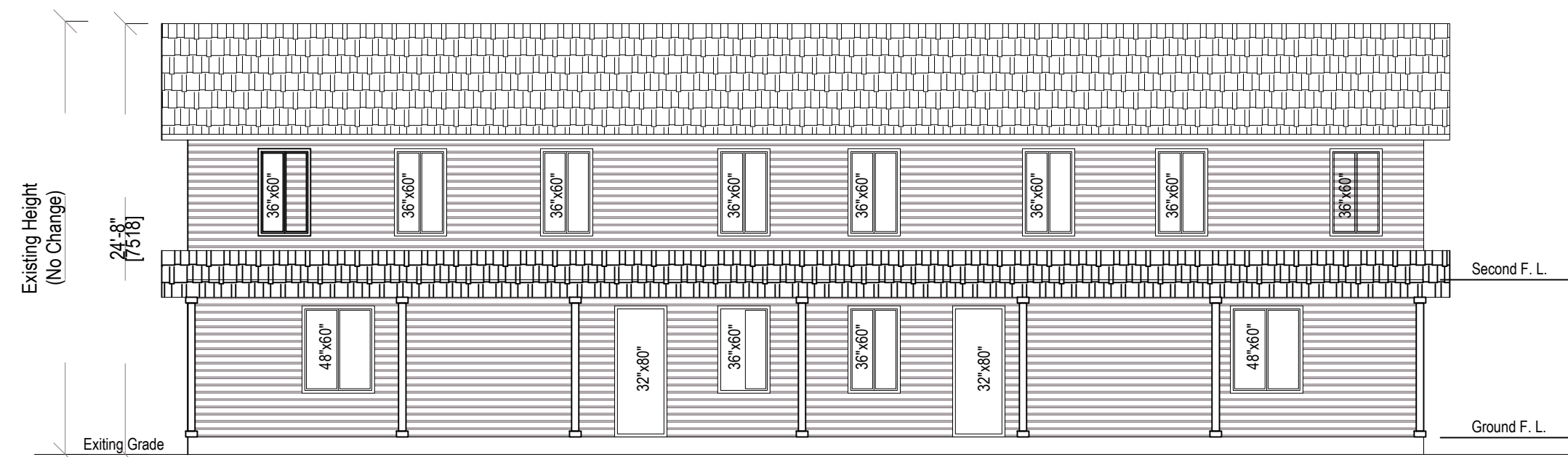


GROUND FLOOR PLAN
SCALE: 1:500

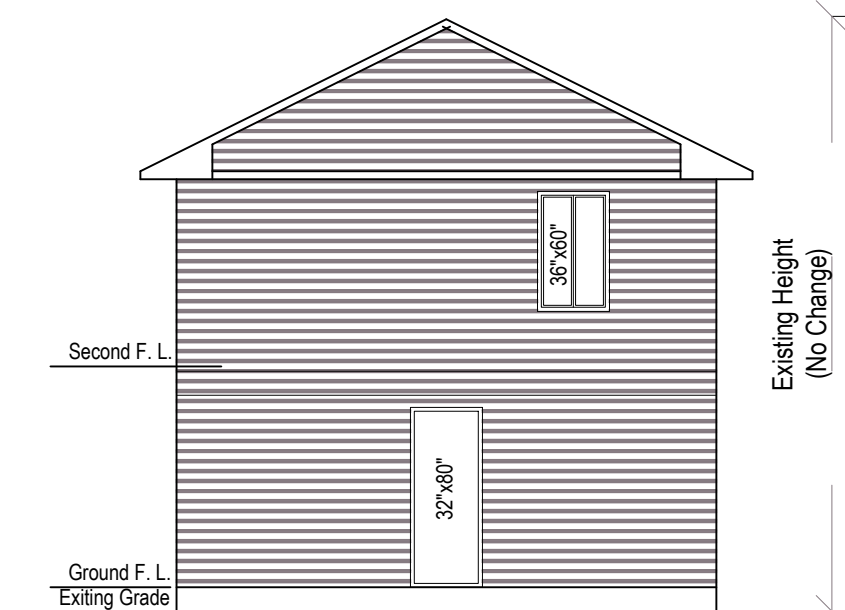
- LEGEND**
- ⊕ Light bulb
 - ⊙ Smoke Alarm
 - ⊕ Carbon Monoxide Detector
 - ▬ Heating/Cooling register

BUILDING STATISTICS

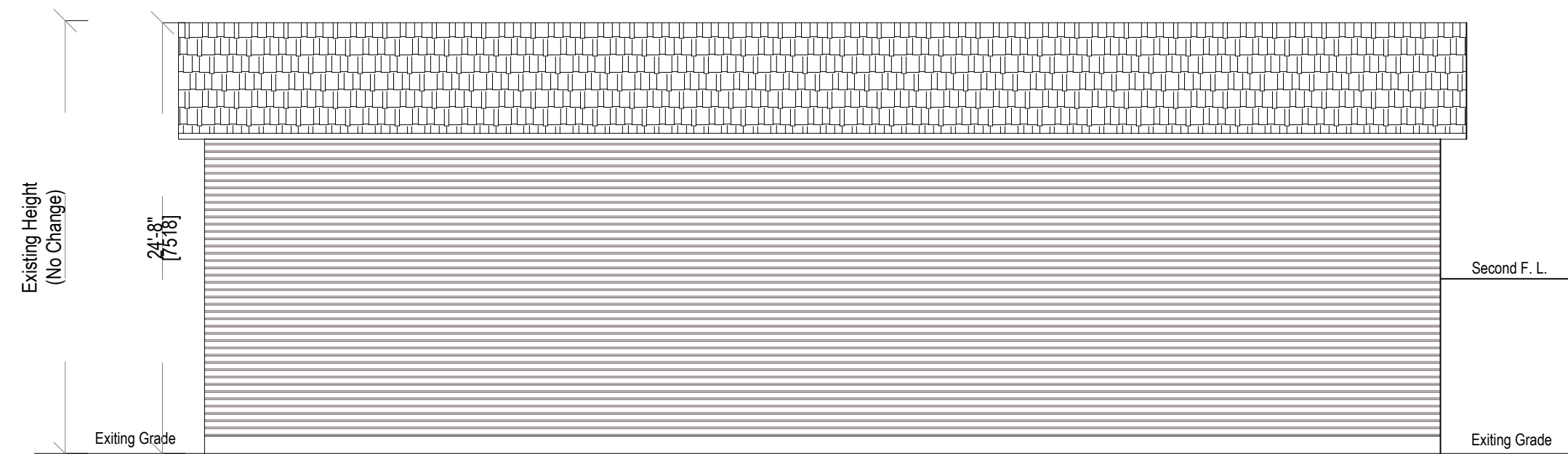
LENGTH	21.250 m (70'-10")
WIDTH	6.858 m (22'-6")
HEIGHT	7.518 m (24'-8")
GFA UNIT-1	70.24 sq. m. (755.64 sq. ft.)
GFA UNIT-2	77.90 sq. m. (838.12 sq. ft.)
GFA UNIT-3	77.90 sq. m. (838.12 sq. ft.)
GFA UNIT-4	70.24 sq. m. (755.64 sq. ft.)
BUILDING GFA	296.28 sq. m. (3187.52 sq. ft.)



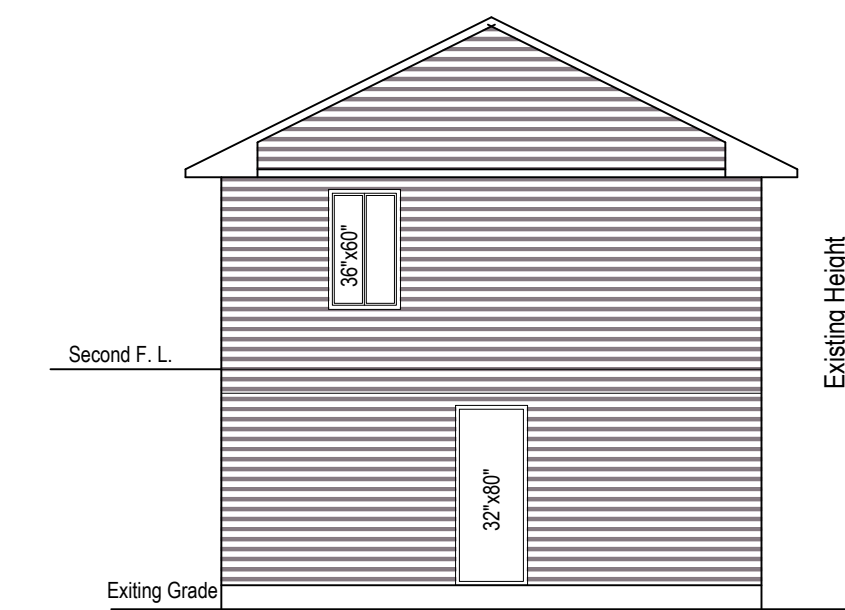
FRONT ELEVATION
SCALE: 1:500



RIGHT ELEVATION
SCALE: 1:500



REAR ELEVATION
SCALE: 1:500



LEFT ELEVATION
SCALE: 1:500



No.	Description	Date
1	Submission	2023/10/18
2		
3		
4		
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6		

Public Works Team Inc.
 PWTEAM Design & Building Permit
 96 Leadership Drive
 Brampton, ON L6Y 5T2
 Phone: 905-456-7166
 design@pwteam.ca
 www.pwteam.ca

Address
 2689 MUSKOKA HIGHWAY 118,
 TOWNSHIP OF MUSKOKA LAKES

**PROPOSED FOUR
 HOUSEKEEPING UNIT
 BUILDING**

Project number	M050
Date	2023-10-18
Drawn by	LA
Checked by	ZU

A 103
 Scale As indicated

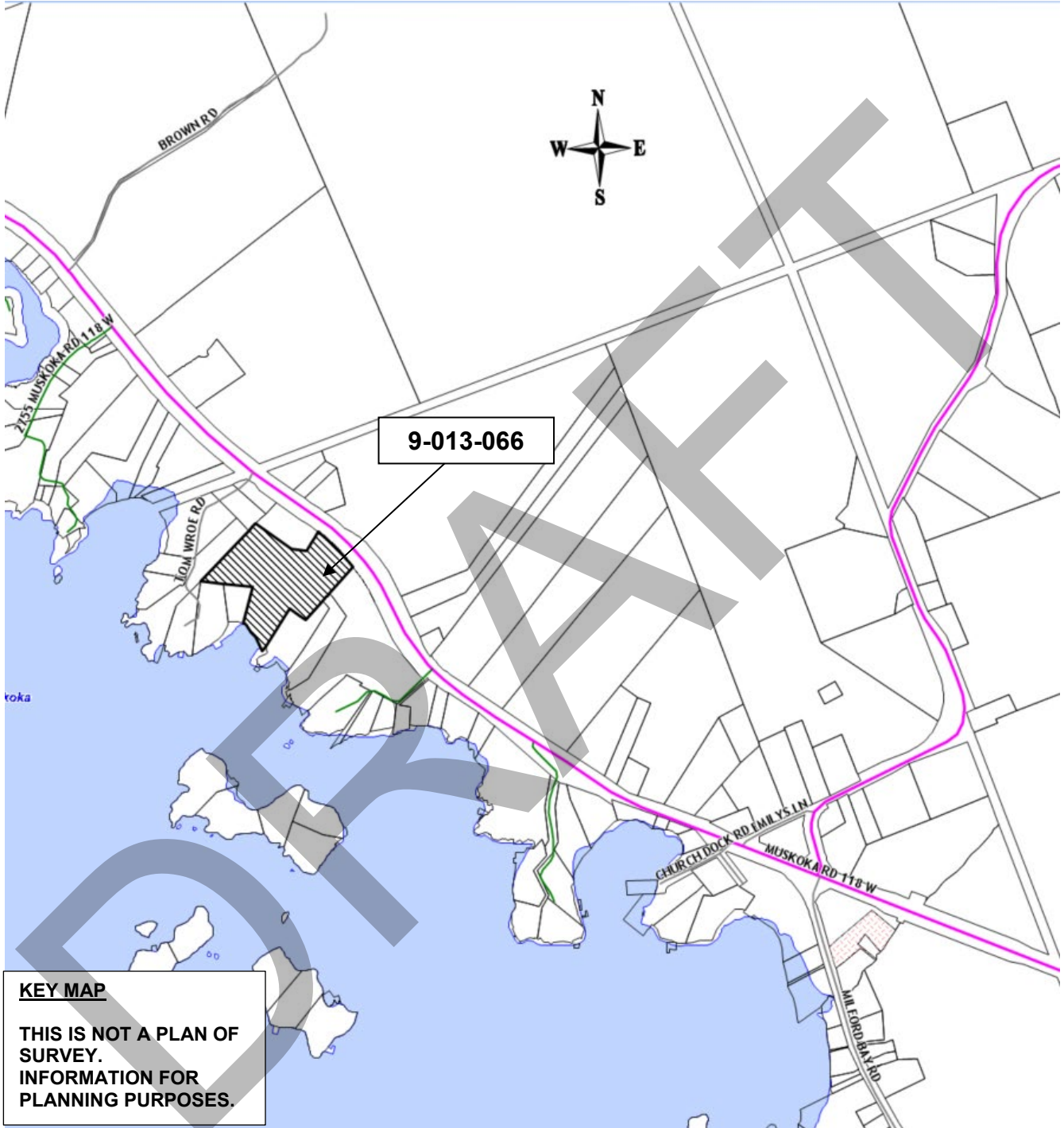
Read a **first, second** and **third time** and **finally passed** this ___ day of _____, 2024.

Peter Kelley, Mayor

Crystal Paroschy, Clerk

DRAFT

SCHEDULE I TO DRAFT BY-LAW 2024-XXX



SCHEDULE II TO DRAFT BY-LAW 2024-XXX

NOT TO SCALE

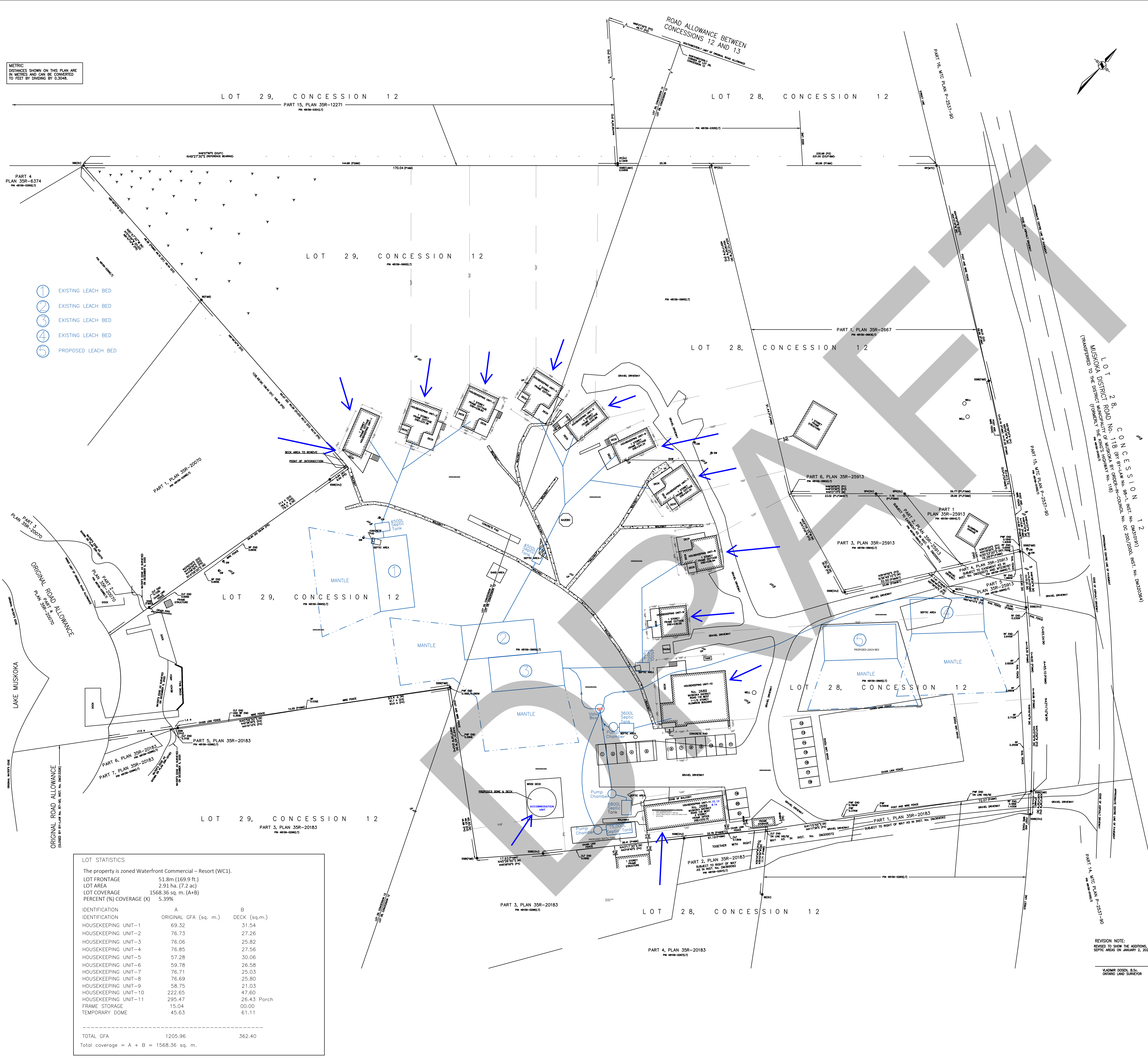
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CONCESSION 12
TOWNSHIP OF MUSKOKA LAKES
SCALE 1:300
VLADIMIR DOSEN SURVEYING, O.L.S.

LEGEND
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 (O) DENOTES ORIGIN UNKNOWN
 (D1) DENOTES INSTRUMENT NO. D4234463
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 (P4) DENOTES PLAN 35R-20183
 (P5) DENOTES PLAN 35R-20070
 # DENOTES DAMAGED/REMOVED
 CLF DENOTES CHAIN LINK FENCE
 SLE DENOTES SLOPE ELEVATION
 FDN DENOTES TIES TO FOUNDATION
 FR DENOTES TIES TO FRAME
 OW DENOTES GUY WIRE
 RW DENOTES RAILWAY
 PMF DENOTES POST AND WIRE FENCE
 PF DENOTES PALE FENCE
 UB DENOTES UTILITY BOX
 UF DENOTES UTILITY POLE
 WF DENOTES WIRE FENCE
 SB DENOTES CONIFEROUS TREE
 ○ DENOTES DECIDUOUS TREE

BENCHMARK NOTE:
ELEVATIONS ARE GEODETIC (CGVD2011) AND ARE REFERRED TO TOWNSHIP OF MUSKOKA LAKES BENCHMARK NO. 081874433, HAVING A PUBLISHED ELEVATION OF 236.647 METRES.

BEARING NOTE:
BEARINGS ARE AZIMUTHIC AND ARE DERIVED FROM THE SOUTHEASTLY LIMIT OF PART 15, AS SHOWN ON PLAN 35R-12271, HAVING A BEARING OF N49°27'30"E.



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Total coverage = A + B = 1568.36 sq. m.		

THIS REPORT WAS PREPARED FOR M. DOSEN AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

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 TOGETHER WITH RIGHT OF WAY AS IN INST. NO. D4200072.
 BOUNDARY FEATURES: POSITION OF FENCE AS SHOWN ON PLAN COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS: THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THE SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH REGULATIONS MADE UNDER THE ACT AND THE REGULATIONS.
 2. THE SURVEY WAS COMPLETED ON THE 5th DAY OF DECEMBER, 2024.

DATE: JANUARY 06, 2025
 VLADIMIR DOSEN, O.L.S.
 ONTARIO LAND SURVEYOR
 555 DAVISVILLE AVENUE
 TORONTO, ONTARIO M4S 1J2
 PHONE: (416) 466-0440 EMAIL: vlad@dosensurveying.com

No.	Description	Date
1	Submission	2023/10/18
2	Submission	2024/03/15
3		
4		
5		
6		

Public Works Team Inc.
 PWT/ICAM Design & Consulting Permit
 96 Leadership Drive
 Brampton, ON L6Y 5T2
 Phone: 905-456-7166
 design@pwteam.ca
 www.pwteam.ca

Address
 2689 MUSKOKA HIGHWAY 118,
 TOWNSHIP OF MUSKOKA LAKES

**SITE PLAN
 (LOT COVERAGE
 PROPOSAL)**

Project number **M050**
 Date **2023-10-18**
 Drawn by **LA**
 Checked by **ZU**

A 102
 Scale **As indicated**

New Survey