



Box 129, Port Carling, ON, POB 1JO  
Telephone (705) 765-3156  
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES  
**COMMITTEE OF ADJUSTMENT**

**NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE**

**This notice has been sent to you for your information and does not require any response unless you wish to make one.**

**TAKE NOTICE THAT** the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

**Hearing Date: Monday, April 8th, 2024 at 9:00 a.m.**

**File #:** A-01/24

**Roll #:** 6-21-075

**Civic Address:** 1017 Kaderidris Crescent

**Owners:** John and Peggy Crocker, 1794 Riverbend Road, London, ON, N6K 0A4

**Legal Description:** Part of Lot 20, Concession A, Part 1, Plan 35R-16280, Acton Island, (Medora)

**Lake/River:** Lake Muskoka (Category 1 Lake)

**Zoning:** Waterfront Residential (WR1-7)

**Zoning Schedule:** 42

**EXPLANATION OF THE PURPOSE AND EFFECT:** The applicants propose to construct a new detached garage.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	Table 4.1.3	Minimum Front Yard Setback	66 ft.	54 ft.	12 ft.

**A key map of the subject property and the applicants' site plan and any drawings are included in this notice.**

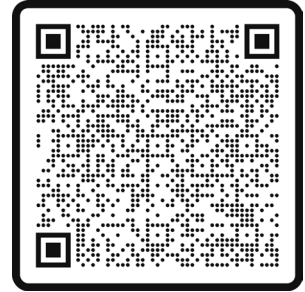
**TAKE FURTHER NOTICE** that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.**

**ZOOM Guide**

More information about viewing and/or participating in the zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

**Electronic Version of Notice of Hearing**

Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code:



**Submit Comments in Writing**

Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.



**Active Verbal Participation in Person or on Zoom**

Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit: [www.muskokalakes.ca/zoom](https://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.



**Watch the Meeting Online**

You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](https://www.muskokalakes.ca)

For more information, please contact the Planning Department weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**

**FAILURE TO PARTICIPATE:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

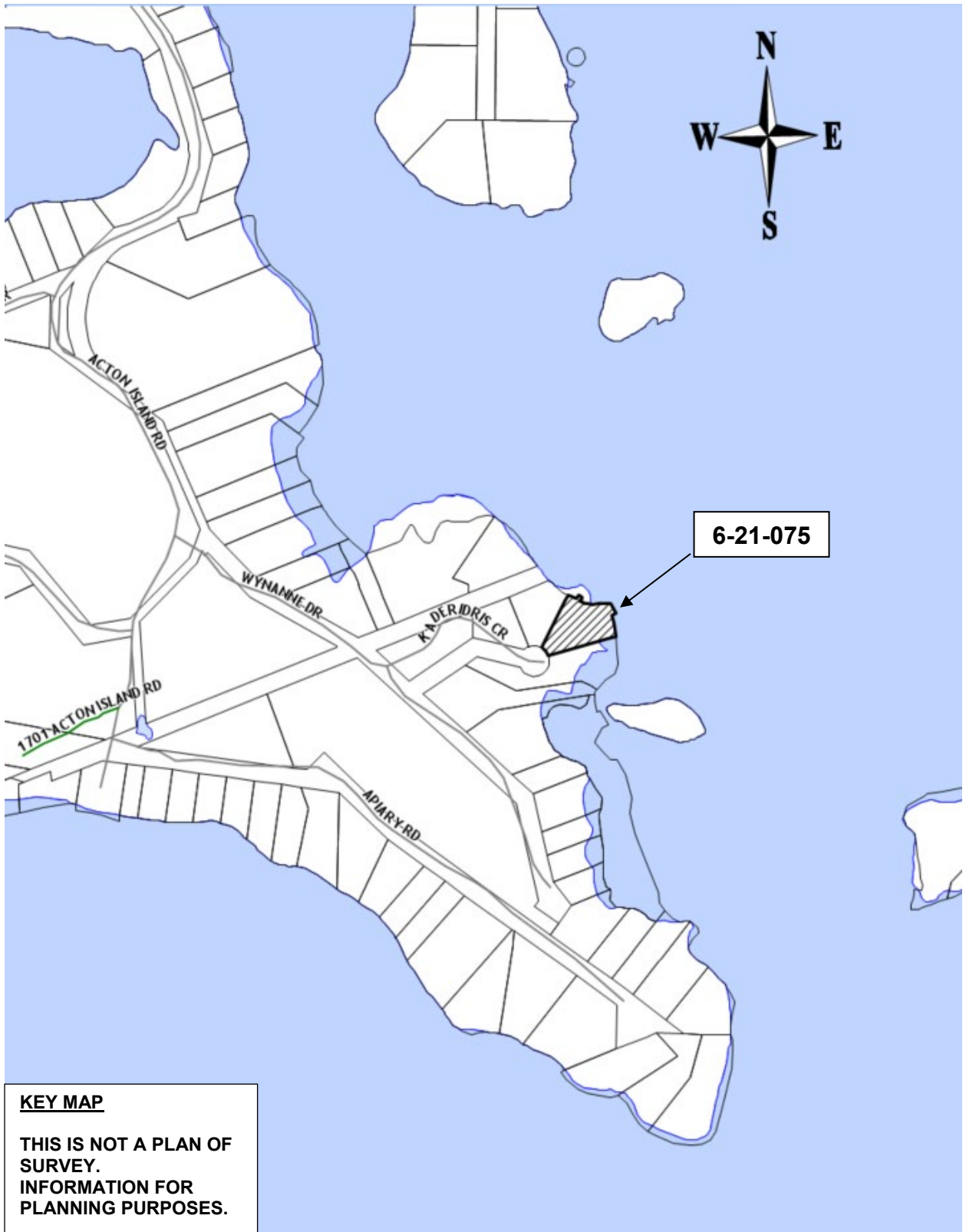
**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, no one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.**

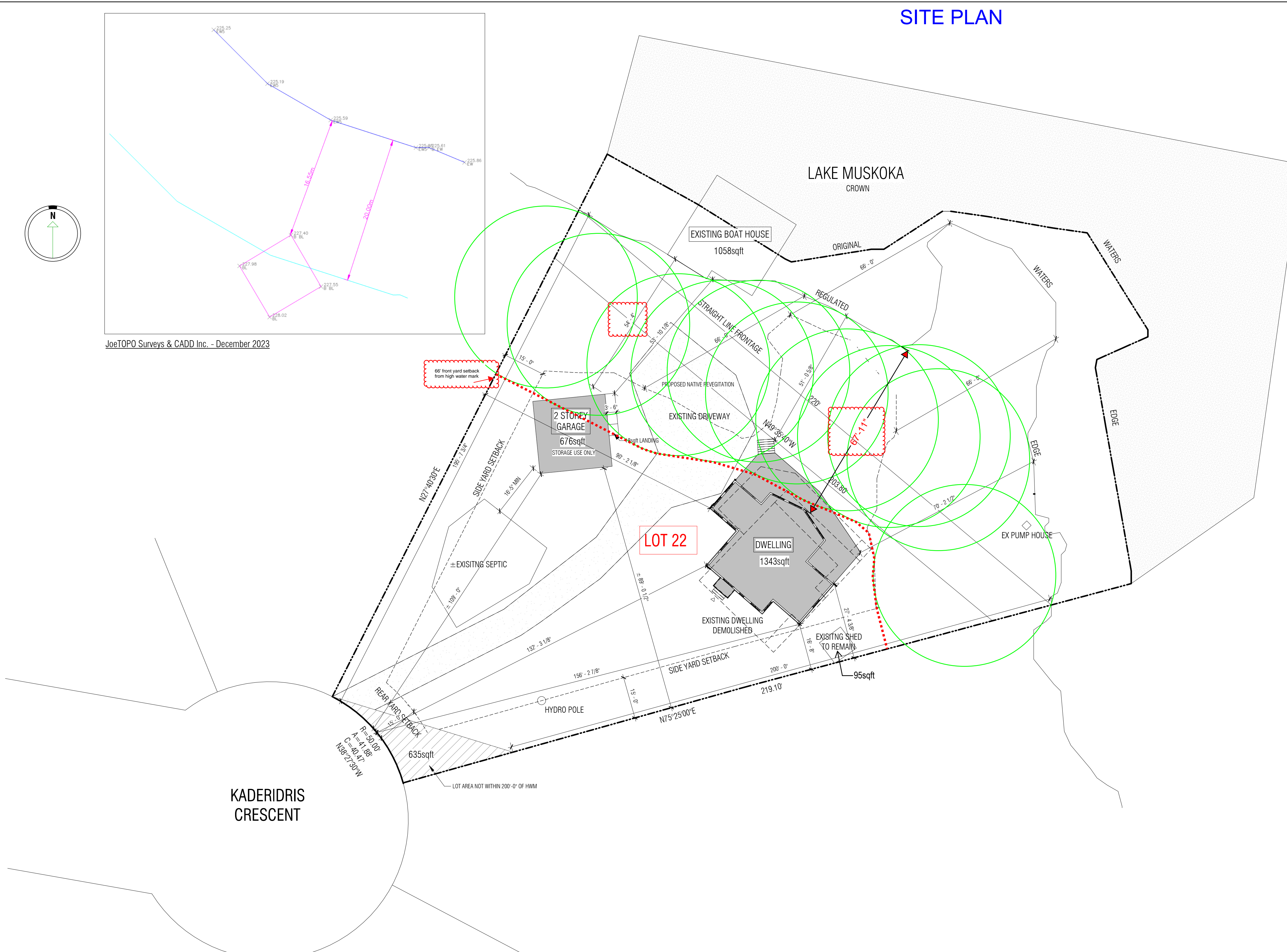
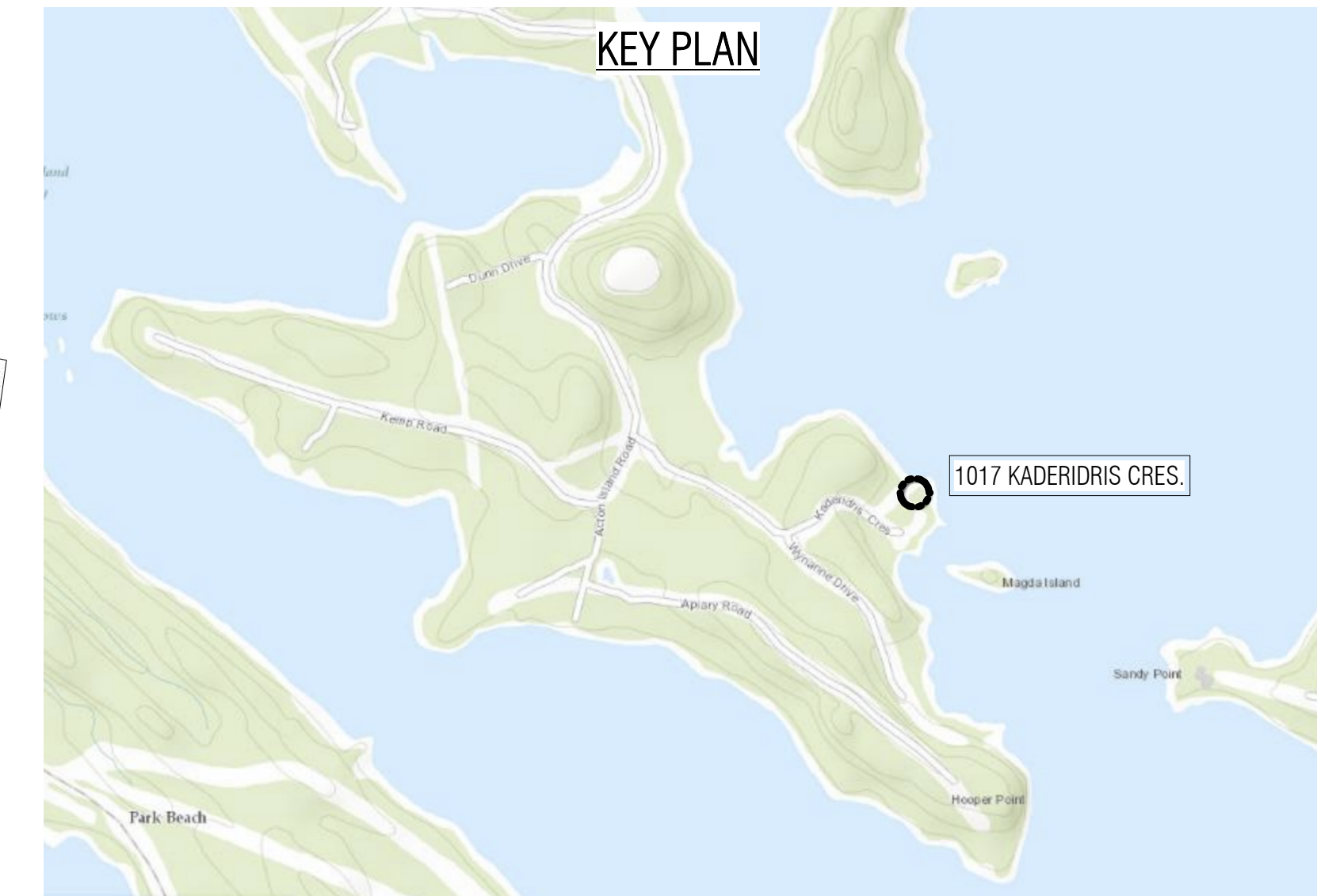
Dated this 27<sup>th</sup> day of March, 2024

"Original Signed by C. Ward"  
Chelsea Ward,  
Secretary-Treasurer  
Committee of Adjustment

**KEY MAP**



# SITE PLAN



Not To Scale  
For Informational Purposes Only

LOT DETAILS BASED ON PART 1 PLAN OF SURVEY OF LOT 22 REGISTERED PLAN 38 IN THE TOWNSHIP OF MEDORA TOWNSHIP OF MUSKOKA LAKES AND THE DISTRICT MUNICIPALITY OF MUSKOKA, DATED SEPTEMBER 22, 2021 BY COOTE, HILEY, JEMMETT LIMITED.

MUSKOKA LAKES BY-LAW 2014-14. CONSOLIDATED FEBRUARY 2023.		LOT REQUIREMENTS	
ZONE: WR1-7	REQUIRED	PROPOSED DWELLING	GARAGE
MINIMUM LOT FRONTAGE	61m (200ft.)	102.108m (220ft.)	220 ft.
MINIMUM LOT AREA	0.4 h. (1ac)	39,860 SQ FT	39,860 SQ FT
MAXIMUM LOT COVERAGE	10% coverage	8.04% TOTAL 9.78% WITHIN 200 FT	8.04% TOTAL 9.78% WITHIN 200 FT
MINIMUM FRONT YARD SETBACK	20.1m (66ft.)	51'-05/8"	53'-10"
MINIMUM INTERIOR YARD SETBACK EAST	4.6m (15ft.)	5.080m (16.666')	+ 89' - 0"
MINIMUM INTERIOR YARD SETBACK WEST	4.6m (15ft.)	27.483m (90.166')	+ 16' - 0"
MINIMUM EXTERIOR YARD SETBACK	9.1m (30ft.)	N/A	N/A
MINIMUM REAR YARD SETBACK	4.6m (15ft.)	40.31m (132.24ft.)	+ 109' - 0"
MAXIMUM HEIGHT DWELLING	10.7m (35ft.)	8.915m (29.25ft)	-
MAXIMUM HEIGHT ACCESSORY BUILDING	6.1m (20ft.)		16' - 1"

LEGEND	
	EXISTING BUILDING TO BE DEMOLISHED
	PRIMARY ENTRANCE
	PROPERTY SETBACK LINE
	PROPERTY LINE

CLIENT SIGNATURE:

DATE: / /

NO.	PAR.	DESCRIPTION	DATE
1		ISSUED FOR BUILDING PERMIT	23/08/23
2		ISSUED FOR GARAGE MINOR VARIANCE	23/12/23
3		ISSUED FOR GARAGE MINOR VARIANCE	24/01/23
4		ISSUED FOR MINOR VARIANCE REV 02	24/01/23

CLIENTS:  
PEGGY & DAVID CROCKER

PROJECT ADDRESS:  
1017 KADERIDRIS CRES.  
ACTION ISLAND, MUSKOKA LAKES, ON  
POB 1J0

MODEL:  
MODIFIED DAKOTA

TITLE:  
SITE PLAN

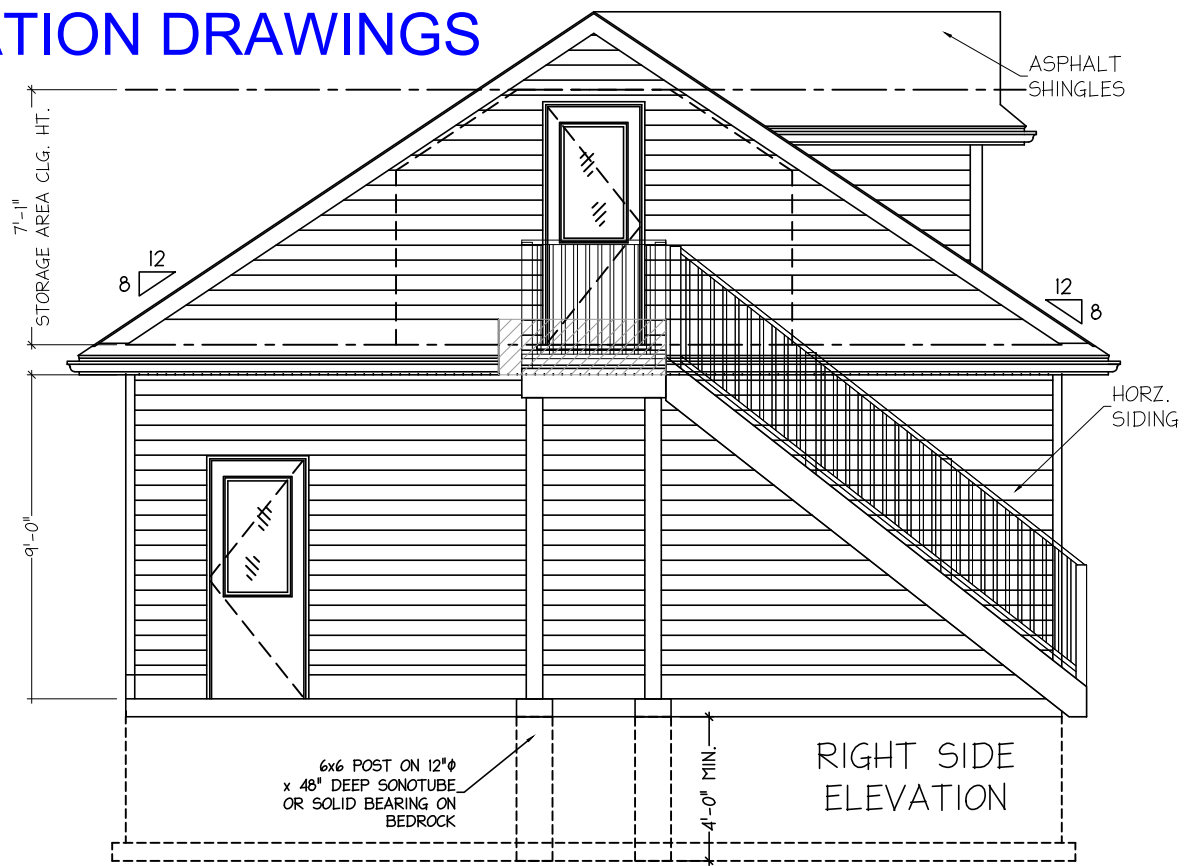
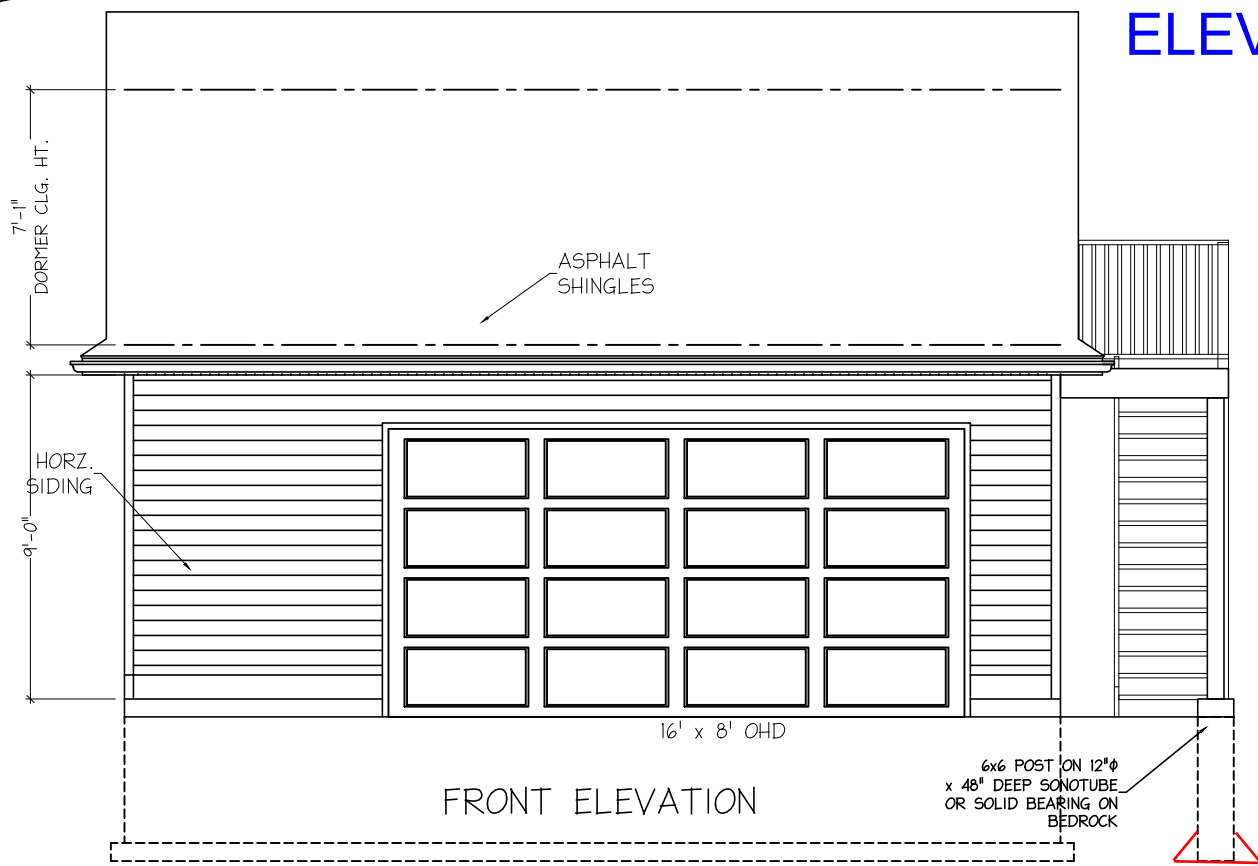
SCALE: 1" = 20'-0"

DATE: 5/18/2023

# FOLDER: T-1188

PAGE: C0.3 # PAGE: 01/01

# ELEVATION DRAWINGS



NOTES:

1. NO OPENINGS ARE PERMITTED IN A WALL LESS THAN 3'-11" AWAY FROM PROPERTY LINE.

2. IF NON-MASONRY WALL IS LESS THAN 24" AWAY FROM PROPERTY LINE, WALL IS TO BE CONSTRUCTED WITH 2x4 STUDS @16" o.c. MAX. MINIMUM 1/2" FIRECODE TYPE X DRYWALL WITH SPACE FILLED WITH GLASS, ROCK OR SLAG INSULATION WITH MASS NOT LESS THAN 1.22kg/m2 OF WALL SURFACE.

NOTE:

1. CONCRETE TO BE 32MPa MINIMUM IN 28 DAYS AND HAVE 5-8% AIR.
2. GROUND AROUND GARAGE TO SLOPE AWAY FROM GARAGE.
3. FLOATING SLAB FOUNDATIONS SHOULD BE PLACED ON WELL DRAINED GRANULAR SOILS. IF THEY ARE NOT, SOME CRACKING OF THE SLAB IS TO BE EXPECTED.

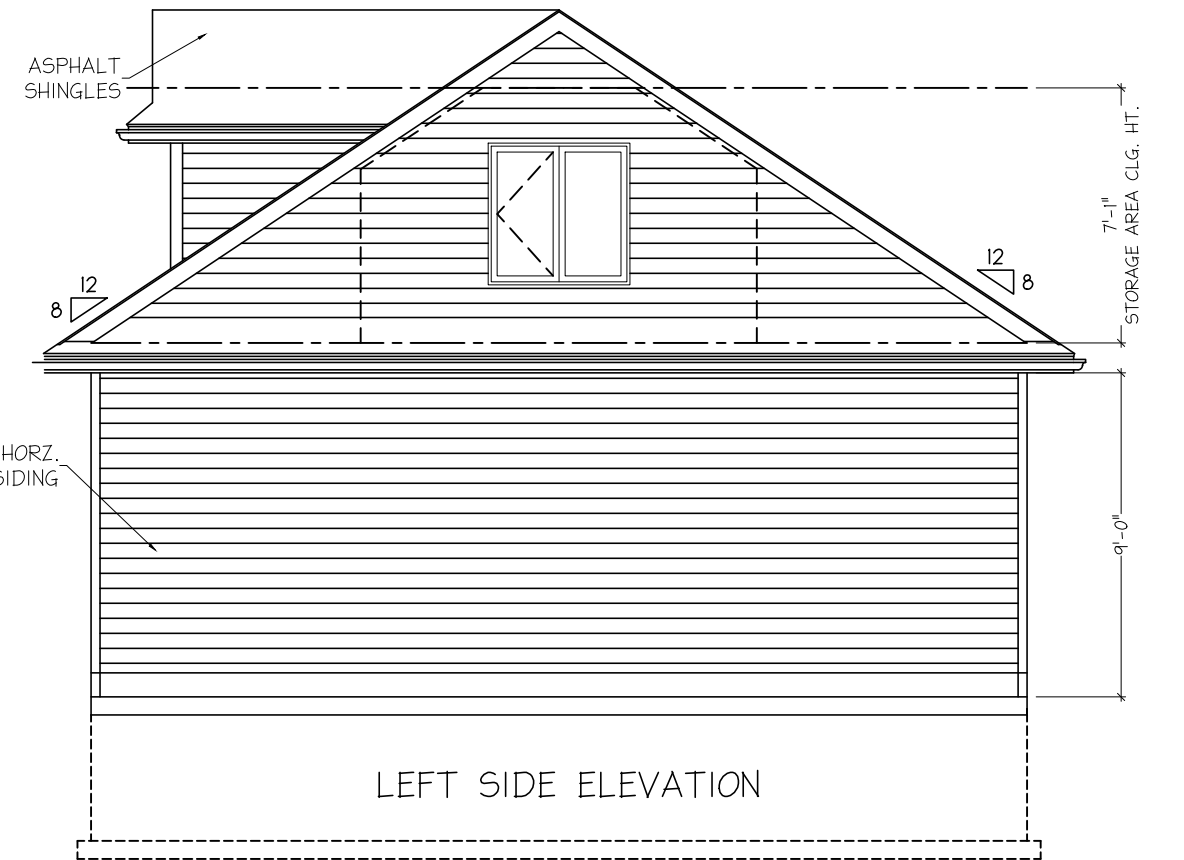
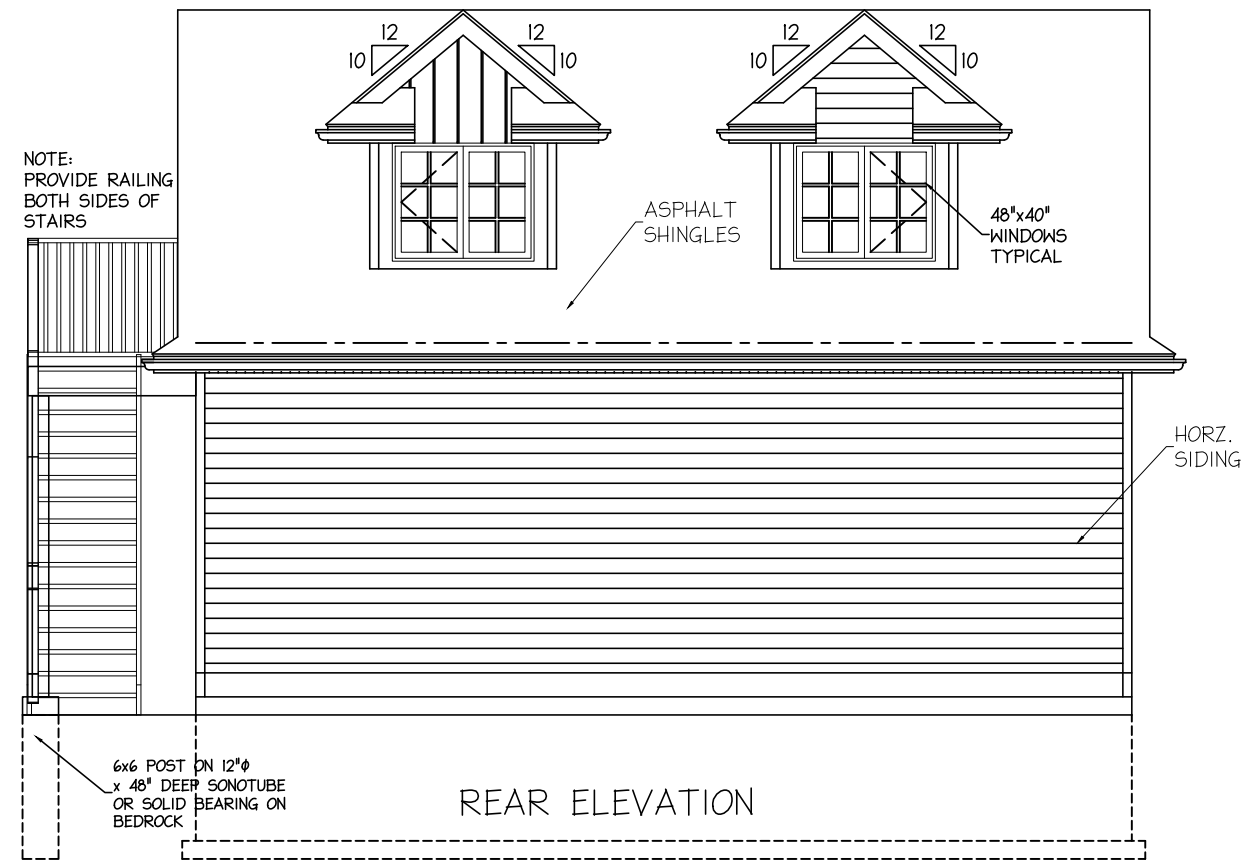
**Southpaw Designs**

The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER OBC 2.17.5.1  
 SOUTHPAW DESIGNS BCIN#: 31874



REGISTRATION INFORMATION  
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER OBC 2.17.4.1  
 JAMES A. WATT BCIN#: 24170



Not To Scale

For Informational Purposes Only

Elevations  
DRAWING TITLE:

Crocker Garage - 1017 Kaderidris Crescent  
JOB TITLE:

BCIN #: 24170

676  
SQUARE FOOTAGE:

3/16" = 1'-0"  
SCALE:

March 30, 2023  
DATE:

2016  
PROJECT No.:



**Southpaw Designs**

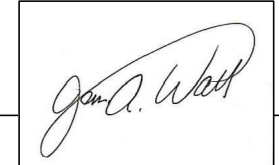
300 SUNSET DRIVE - ST. THOMAS, ONTARIO  
 ☎(519) 631-8049 📠(519) 670-9426

# FLOOR PLANS

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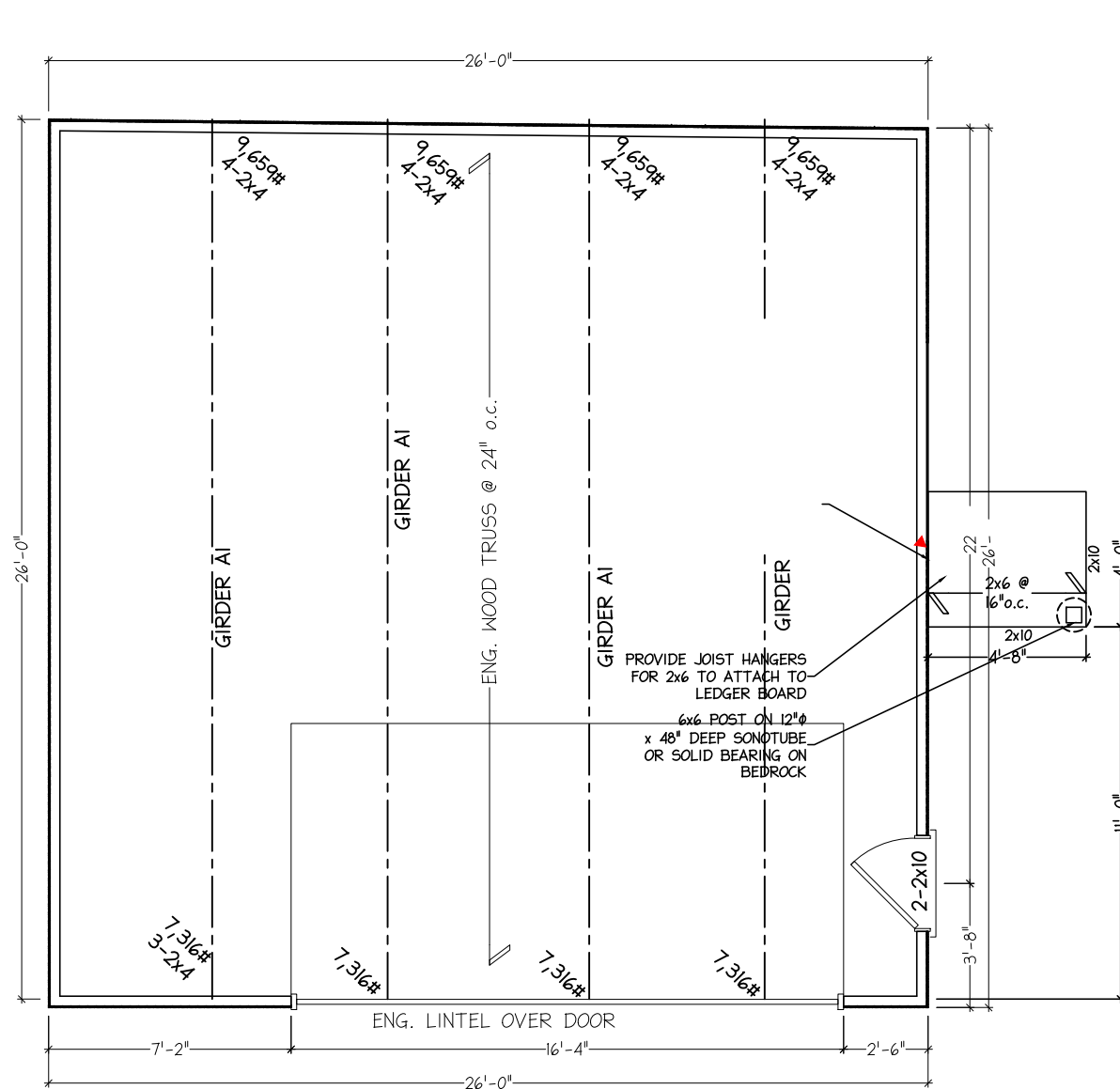
REGISTRATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER OBC 2.17.4.1  
JAMES A. WATT BCIN#: 24170

ALL LIGHTING AND ELECTRICAL TO COMPLY TO O.B.C. 9.34

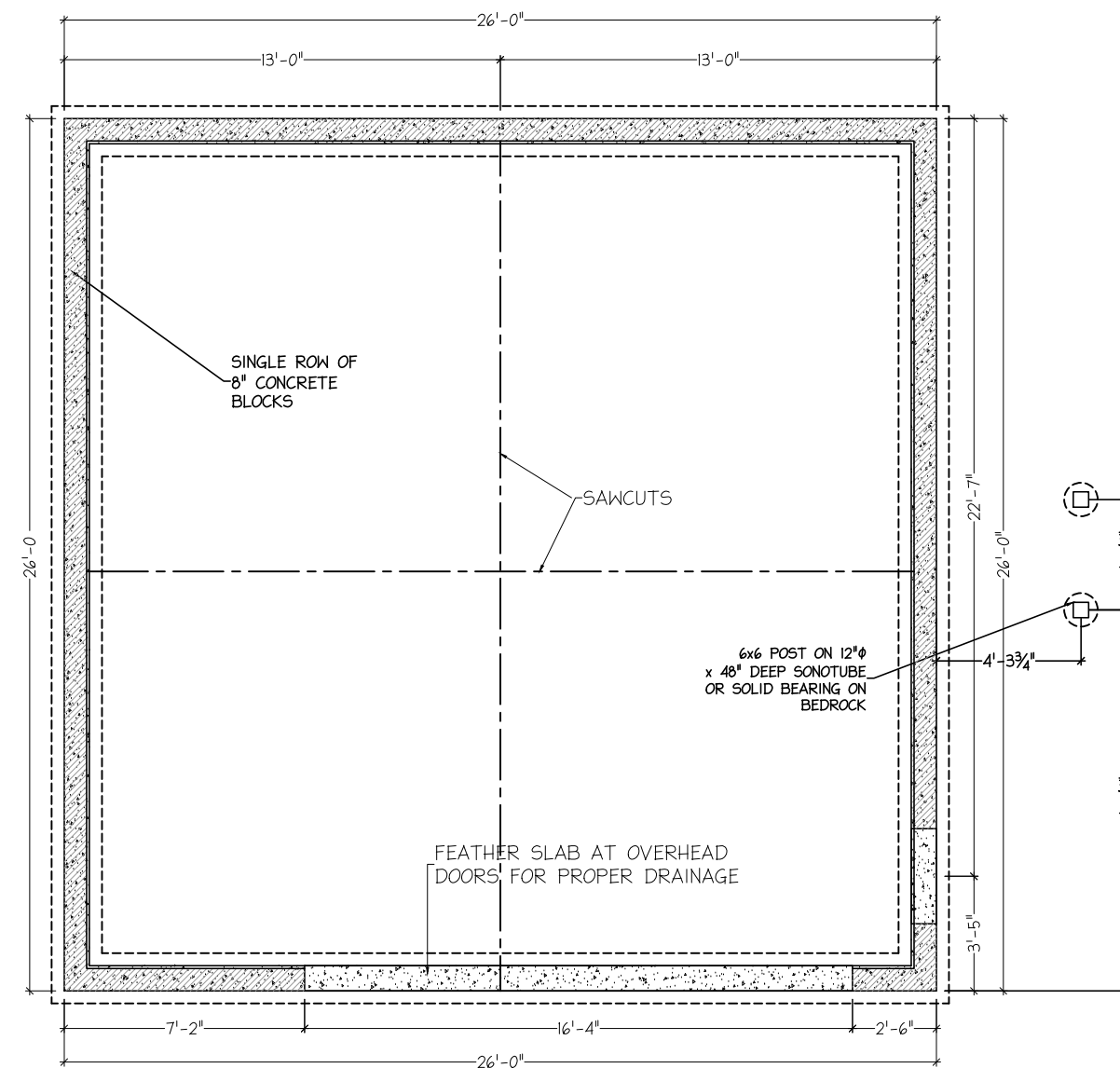
THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH ENG. TRUSS DRAWINGS AND HVAC DRAWINGS

ALL LINTELS UNLESS NOTED OTHERWISE TO BE SUPPORTED WITH 3-2x4 SPF#2

THE ROOF TRUSS SUPPLIER WILL BE RESPONSIBLE FOR LINTEL SIZES SHOULD THE TRUSS DESIGN DIFFER FROM THE PLANS PROVIDED.



floor plan



foundation plan

NOTES:

-ALL CONSTRUCTION TO CONFORM TO O.B.C. REQUIREMENTS

-PROVIDE SOLID SUPPORT CONTINUOUS DOWN TO T/O FOUNDATION @ 1/5 OF ALL BEAM BEARING POINTS

-PROVIDE METAL JOIST HANGERS FOR SUPPORT OF JOISTS FRAMING INTO SIDES OF WOOD BEAMS TRIMMER AND HEADERS WHERE REQ'D.

-ALL BEAMS TO BE SUPPORTED FULL WIDTH TO FOUNDATION

-SUPPORT OF NON-LOAD BEARING PARTITIONS TO 9.23.9.8

-DOORS & WINDOWS TO COMPLY WITH FORCE ENTRY REQUIREMENTS - ALL EXTERIOR DOORS TO BE EQUIPPED WITH DEADBOLT LOCKS

NOTE  
CONC. FOOTINGS TO REST ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 3000 LBS. PER SQ. FT. MIN. 48" BELOW FINISHED GRADE  
-LIGHTING & ELECTRICAL FACILITIES TO SEC. 9.34

STEP FOOTING  
FIRM SOIL-HORIZ.24" MIN.  
VERT. 24" MAX.  
SAND OR GRAVEL-HORIZ.24"MIN.  
VERT. 16" MAX.  
ANGLE OF REPOSE MAXIMUM 45°

NOTE:  
ROOF SPACES ABOVE INSULATED CEILINGS SHALL BE VENTILATED WITH OPENINGS TO THE EXTERIOR HAVE A TOTAL UNOBSTRUCTED AREA OF NOT LESS THAN 1/300 OF THE TOTAL INSULATED CEILING AREA OF WHICH 1/2 IS TO BE LOCATED IN THE SOFFIT. SUCH VENTS SHALL BE LOCATED AS TO PROVIDE MAXIMUM EFFECTIVE AIR CIRCULATION.

NOTE:  
ROOF TRUSSES SHALL BE DESIGNED AND INSTALLED TO MINIMIZE THE EFFECT OF TRUSS UPLIFT CONDITIONS ANY INCREASE IN INSULATION ABOVE R-40 ARE AS SPEC.

NOTE  
ALL WOOD IN CONTACT WITH CONCRETE IN CONTACT WITH THE GROUND IS TO BE SEPARATED WITH A 2 mil POLY DAMPPROOFING.

NOTE  
FOUNDATION WALLS TO EXTEND 6" MIN. ABOVE FINISH GRADE

NOTE  
STEEL COLUMNS TO BE NOT LESS THAN 3/16" THICK

NOTE  
SUPERINTENDENTS AND ALL AFFILIATED SUBTRADES TO CHECK MEASUREMENTS AND REPORT ANY DISCREPANCY TO DESIGNER BEFORE PROCEEDING

NOTE:  
JOINTS IN AIR BARRIER TO CONFORM TO SEC. 9.25.5.1 OF THE O.B.C.

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Not To Scale

For Informational Purposes Only

DRAWING TITLE: Foundation & Main Floor Plan

JOB TITLE: Crocker Garage - 1017 Kaderidris Crescent

BCIN #: 24170

676  
SQUARE FOOTAGE:

3/16" = 1'-0"  
SCALE:

March 30, 2023  
DATE:

2016  
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# FLOOR PLANS

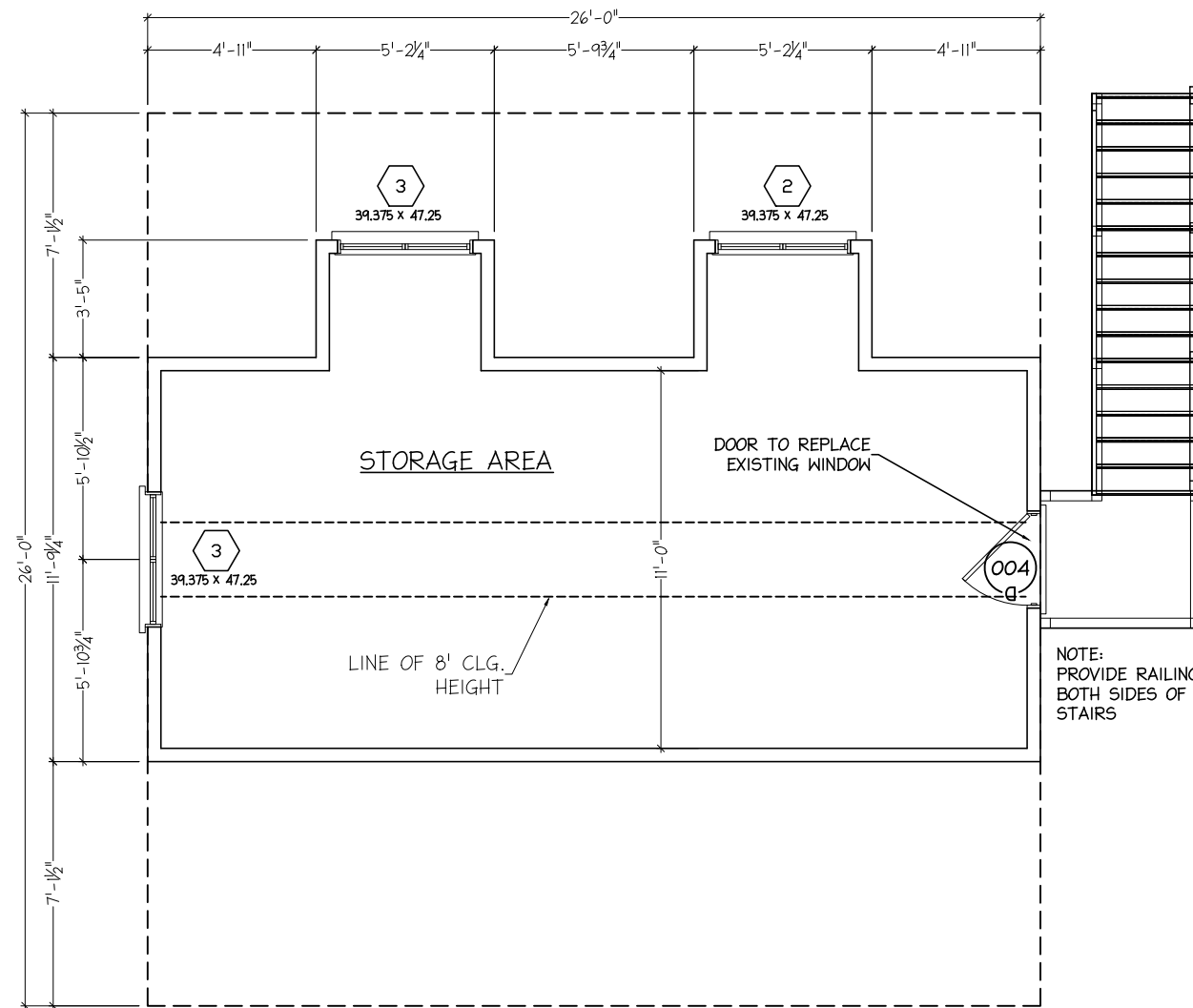
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REGISTRATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER OBC 2.17.4.1  
JAMES A. WATT BCIN#: 24170



upper storage floor plan

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Storage Area Floor Plan  
DRAWING TITLE:

Crocker Garage - 1017 Kaderidris Crescent  
JOB TITLE:

BCIN #: 24170

676  
SQUARE FOOTAGE:

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