



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, April 8, 2024 at 9:00 a.m.

File #: A-16/24

Roll #: 6-26-029

Civic Address: 3864 Muskoka Road 118 West, Unit # 2

Owner: Corey Libfeld, 308 Vesta Drive, Toronto, ON, M5P, 3A3

Legal Description: Part of Lot 24, Concession 3 Parts 1 to 3, Plan BR-494, Part 1, Plan 35R-8579, (Medora)

Lake/River: Lake Joseph (Category 1 Lake)

Zoning: Waterfront Residential (WR4)

Zoning Schedule: 28

EXPLANATION OF THE PURPOSE AND EFFECT: The applicant proposes to recognize an as-built carport.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.3 & 4.1.3.6	Maximum Lot Coverage (Entire Lot)	10% (11,069 sq. ft.)	10.3% (11,355 sq. ft.)	286 sq. ft.
B	4.1.3.6 & 4.1.3.7	Maximum Lot Coverage (Within 200 Feet of the High Water Mark)	10% (9,126 sq. ft.)	10.6% (9,715 sq. ft.)	589 sq. ft.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

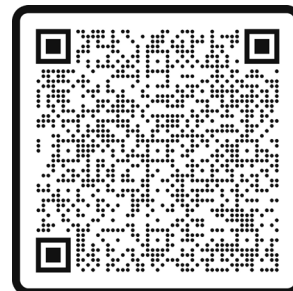
TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The meeting will be held in the Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.

ZOOM Guide

More information about viewing and/or participating in the zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

Electronic Version of Notice of Hearing

Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code:



Submit Comments in Writing

Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.



Active Verbal Participation in Person or on Zoom

Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit: www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.



Watch the Meeting Online

You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

For more information, please contact the Planning Department weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

FAILURE TO PARTICIPATE: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, no one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make

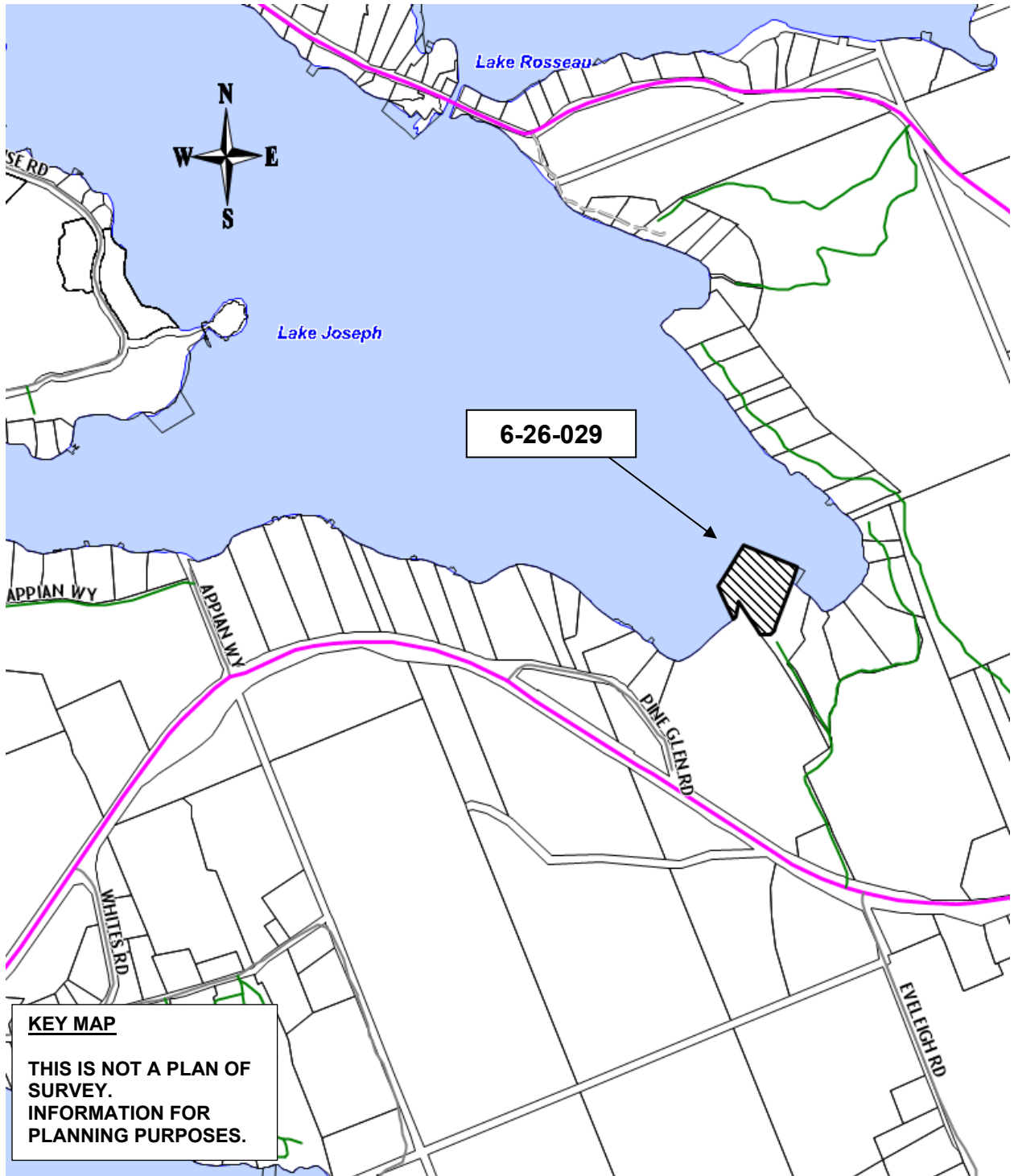
written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 25th day of March, 2024.

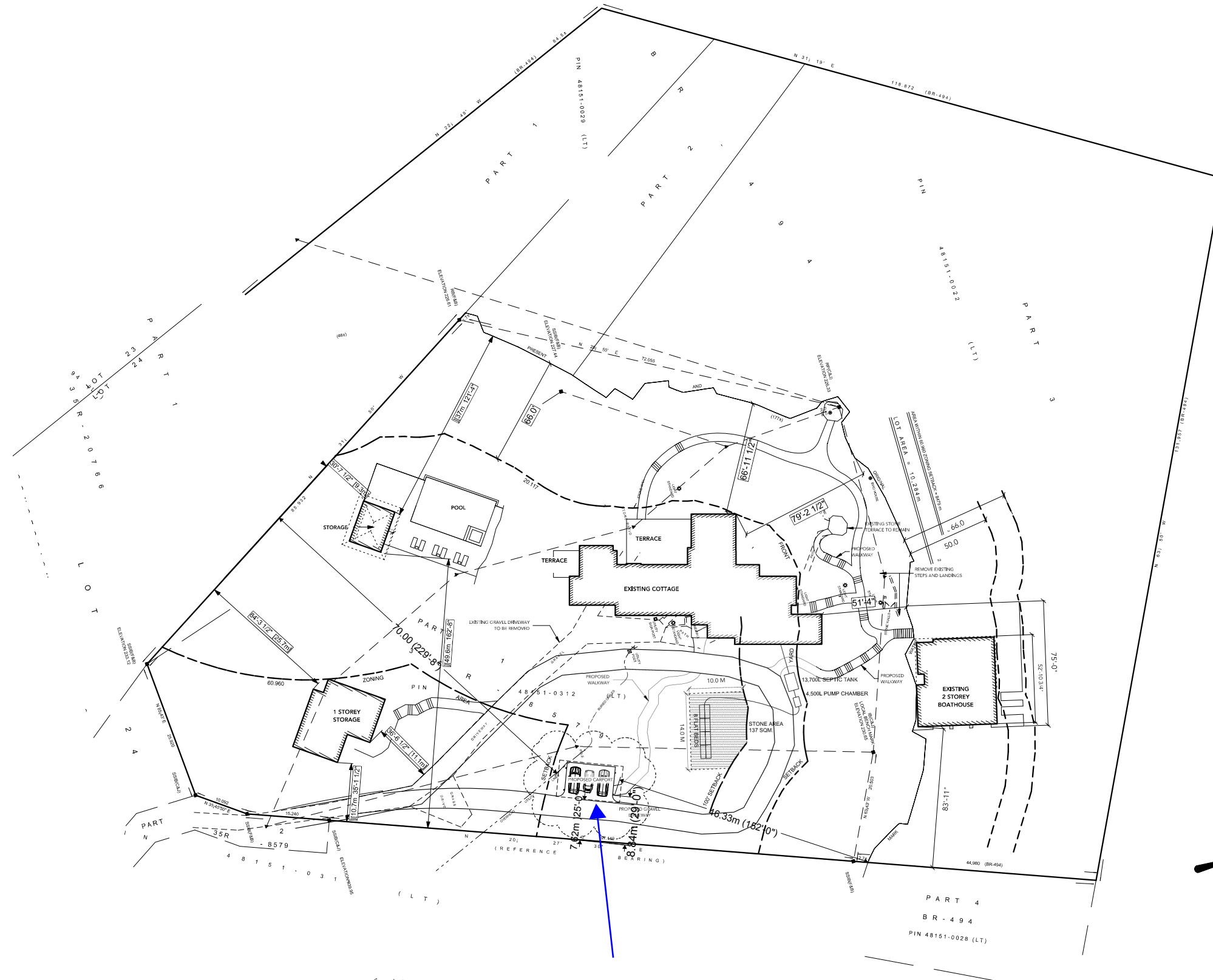
"Original Signed by C. Ward"
Chelsea Ward,
Secretary-Treasurer
Committee of Adjustment

KEY MAP



SITE PLAN

NOT TO SCALE



The Architect is not responsible for the accuracy of the engineering information contained in these drawings, including property survey, structural, mechanical & electrical. Refer to the appropriate engineering drawings before proceeding with the work.

The Contractor shall check all dimensions on the work and report any discrepancy to the Architect prior to proceeding.



Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The drawings are not to be scaled.

This drawing is not to be used for construction unless noted specifically as: ISSUED FOR CONSTRUCTION

No.	Date	Description
1	2019-04-12	ISSUED FOR BUILDING PERMIT

Issues


WAYNE SWADRON
architecture | interiors | gardens

160 Pears Avenue, Suite 210, Toronto, Ontario M5R 3P8
t 416 486 4800 f 416 486 6808 www.wayneswadron.com

Project: NEW CARPORT
3864-2 HIGHWAY 118 WEST,
LAKE JOSEPH
MUSKOKA, ONTARIO

Sheet Title: SITE PLAN

Drawn By: PC/KS	Checked By: WS
Date Drawn: APR 2019	Sheet Number:
Project Number: 15009	A-1.0
Scale: 1" = 50' @ 11" X 17"	

REQUEST FOR VARIANCES:

- TO PERMIT A 11% COVERAGE IN FIRST 200', WHEREAS 10% IS THE MAXIMUM ALLOWED
- TO PERMIT A 10.62% IN THE TOTAL COVERAGE, WHEREAS 10% IS THE MAXIMUM ALLOWED

**NOTE:
THE PUPOSE OF THIS MINOR VARIANCE APPLICATION IS TO LEGALIZE AND MAINTAIN THE EXISTING CARPORT WHICH WAS CONSTRUCTED BY THE PREVIOUS OWNER.**

PROPERTY DETAILS:

Roll number: 4453060026029000000
Municipal ID: 68633

LEGAL DESCRIPTION:

MEDORA CON 3 PT LOT 24 RP;BR494 PARTS 1 TO 3 RP;35R8579 PART 1

FOR INFORMATIONAL PURPOSES

SITE STATISTICS

1.0 LOT AREA	(in first 200')	91,267 f2	(8,479 m2)
1.1 LOT AREA	(total)	110,696 f2	(10,284 m2)
2.0 COVERAGE	(in first 200') ALLOWED	EXISTING	PROPOSED
BOATHOUSE		2,427 f2 (225.47 m2)	2,427 f2 (225.47 m2)
COTTAGE		6,182 f2 (574.31 m2)	6,182 f2 (574.31 m2)
STORAGE		681 f2 (63.26 m2)	681 f2 (63.26 m2)
CARPORT			425 f2 (39.45 m2)
TOTAL		9,290 f2 (863.04 m2)	9,715 f2 (902.49 m2)
PERCENTAGE	10%	10.17%	10.64%
2.0 COVERAGE	(total) ALLOWED	EXISTING	PROPOSED
BOATHOUSE		2,427 f2 (225.47 m2)	2,427 f2 (225.47 m2)
COTTAGE		6,182 f2 (574.31 m2)	6,182 f2 (574.31 m2)
STORAGE		681 f2 (63.26 m2)	681 f2 (63.26 m2)
STORAGE		1,640 f2 (152.36 m2)	1,640 f2 (152.36 m2)
CARPORT			425 f2 (39.48 m2)
TOTAL		10,930 f2 (1,015.4 m2)	11,355 f2 (1,054.88 m2)
PERCENTAGE	10%	9.87%	10.26%
2.0 CARPORT HEIGHT	ALLOWED	EXISTING	PROPOSED
			13'-6 3/4" (4.13 m)



24 Ovida Ave., Toronto
Ontario M9B 1E1
Cell (416) 729-8497
Email: john.sibenik@sympatico.ca

Project:
**Legalize Carport Constructed by
the Previous Owner**
3864-2 Hwy 118 W
Lake Joseph, Muskoka, ON

No.	Description	Date

Site Statistics

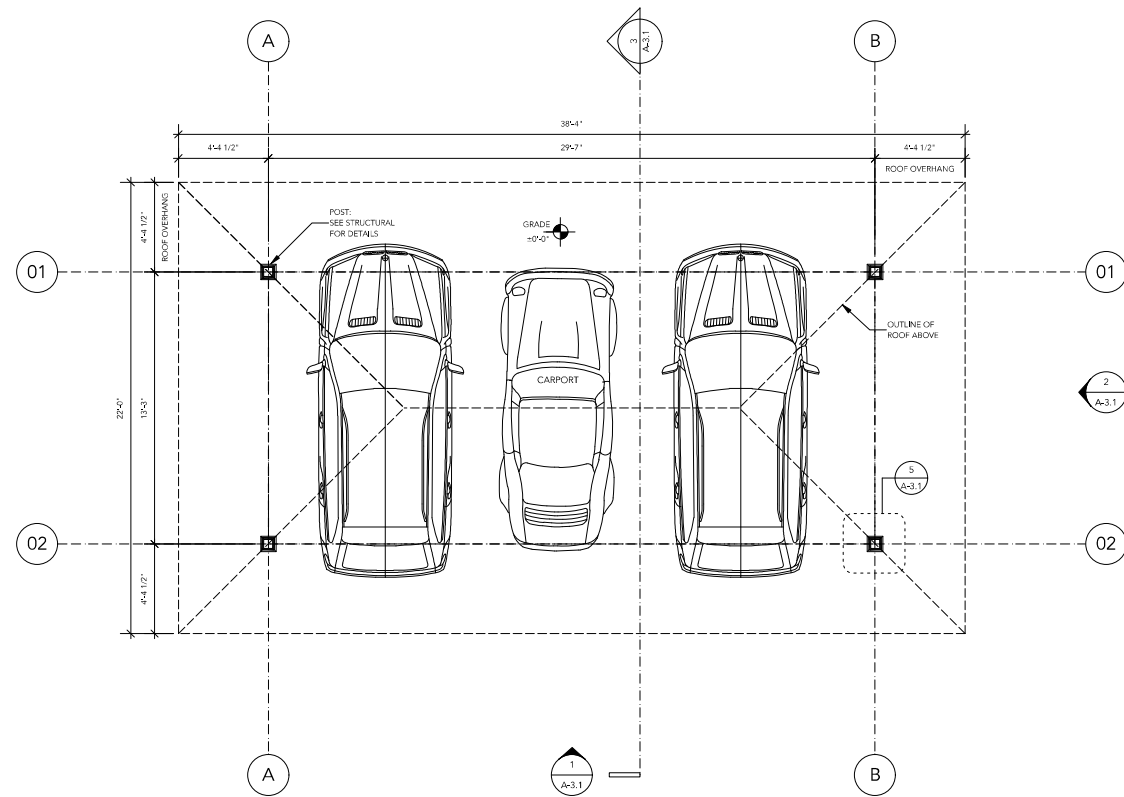
Project number 2024-07
Date Feb. 20, 2024
Drawn by J.S.
Checked by J.S.

A100

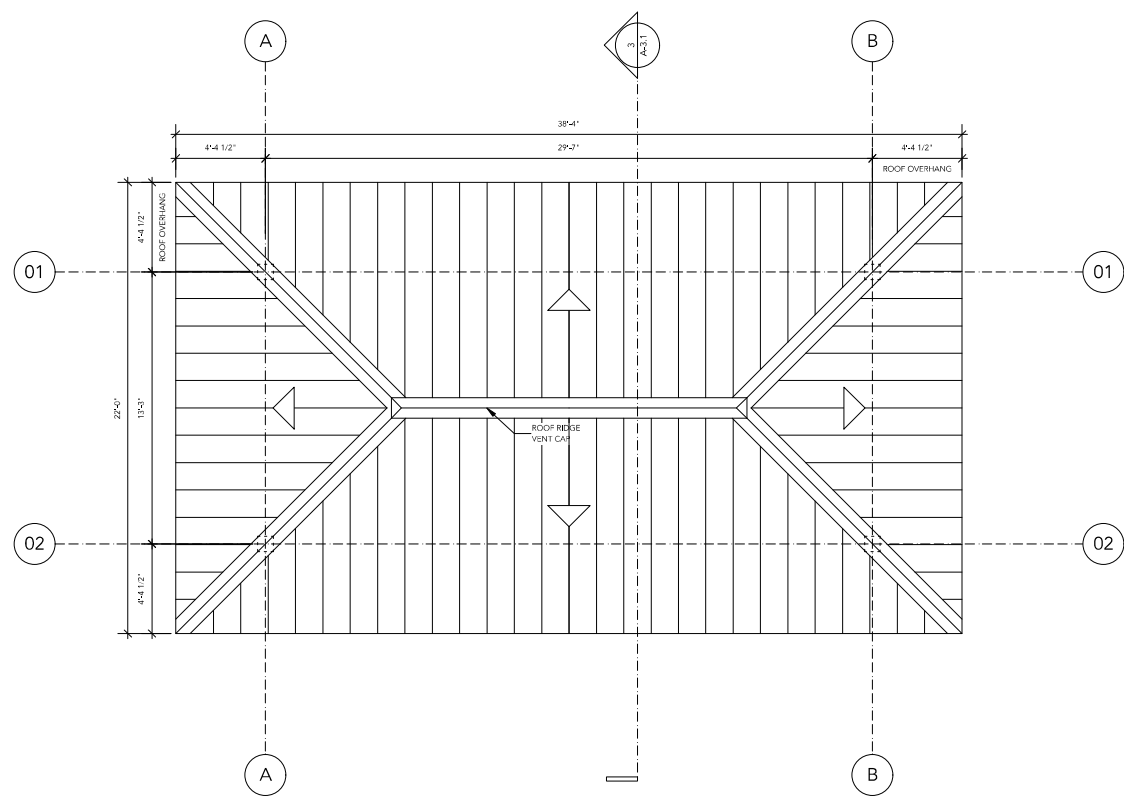
Scale 1 : 500

CARPORT FLOOR PLAN

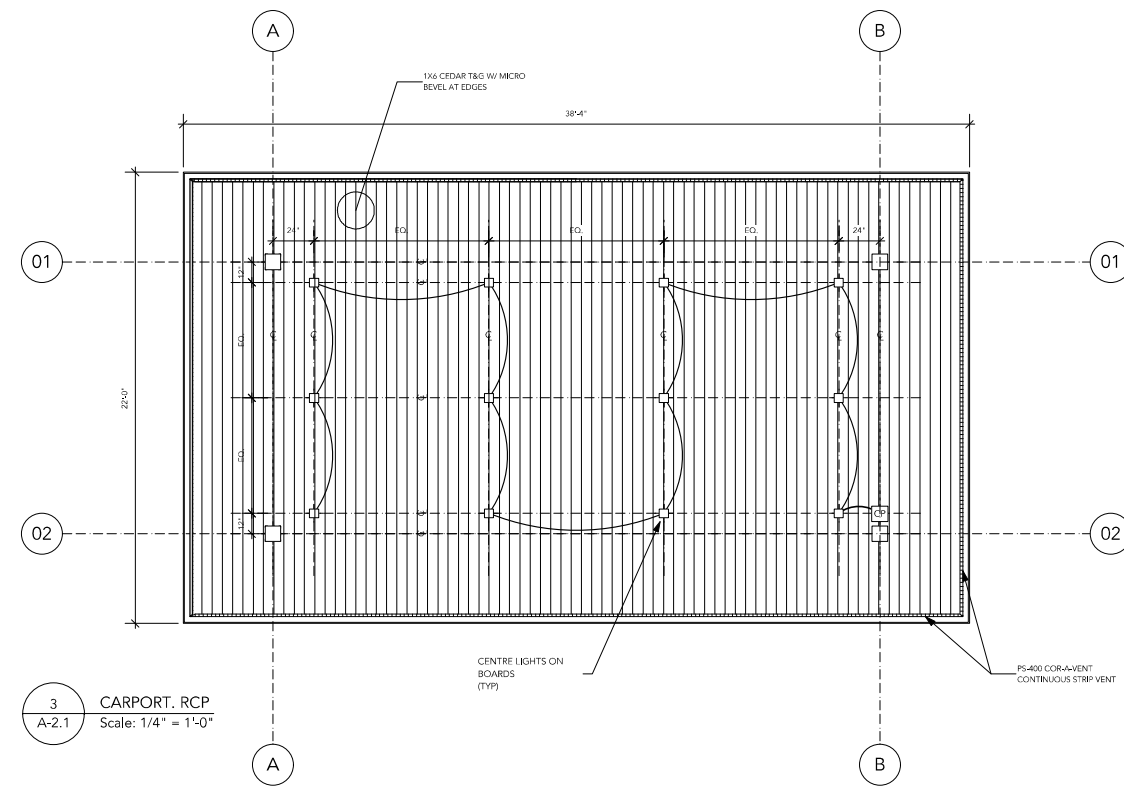
NOT TO SCALE



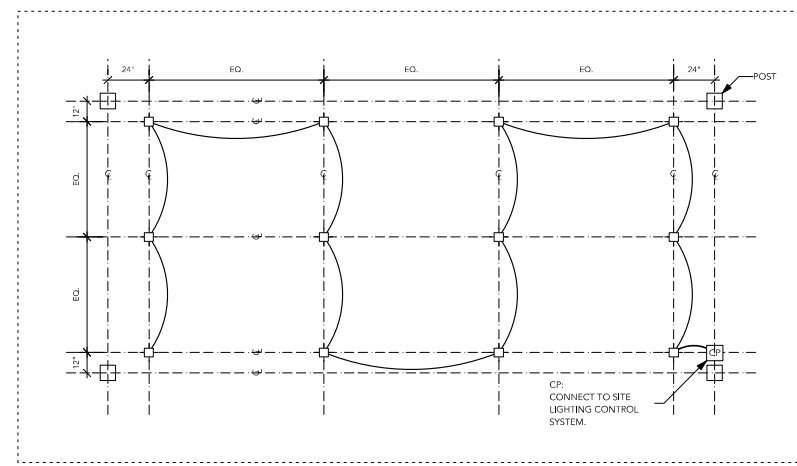
1 CARPORT. PLAN
A-2.1 Scale: 1/4" = 1'-0"



2 CARPORT. ROOF LAYOUT
A-2.1 Scale: 1/4" = 1'-0"



3 CARPORT. RCP
A-2.1 Scale: 1/4" = 1'-0"



4 CARPORT. LIGHTING LAYOUT
A-2.1 Scale: 1/4" = 1'-0"

LEGEND

- ☐ - RECESSED LIGHT FIXTURE
- ☐ - CONTROL PANEL

NOTE:
SEE REFLECTED CEILING PLAN FOR LIGHTING LOCATIONS
ALL FIXTURES TO BE CENTRED ON CEILING BOARDS
CEILING BOARDS TO BE LAID OUT TO CORRESPOND TO FIXTURE LOCATIONS
ALL CONFLICTS WITH STRUCTURAL AND MECHANICAL ELEMENTS TO BE BROUGHT TO THE ATTENTION OF THE CONSULTANT
ANY ADDITIONAL CEILING ELEMENTS NOT SHOWN TO BE COORDINATED WITH CONSULTANT BEFORE INSTALLATION

CP: CONNECT TO SITE LIGHTING CONTROL SYSTEM.

The Architect is not responsible for the accuracy of the engineering information contained in these drawings, including property survey, structural, mechanical & electrical. Refer to the appropriate engineering drawings before proceeding with the work.

The Contractor shall check all dimensions on the work and report any discrepancy to the Architect prior to proceeding.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

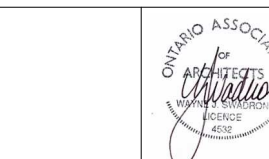
The drawings are not to be scaled.

This drawing is not to be used for construction unless noted specifically as: ISSUED FOR CONSTRUCTION

NOTE:
-GRID SET TO CENTER OF STEEL / STUD WALL FRAMING
-UNLESS NOTED OTHERWISE ALL DIMENSIONS TO GRID OR CENTER OF FRAMING

REFER TO STRUCTURAL DRAWINGS FOR BEAM AND COLUMN SIZES AND SPECIFICATIONS. TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

No.	Date	Description
1	2018-04-12	ISSUED FOR BUILDING PERMIT



180 Peers Avenue, Suite 210, Toronto, Ontario M5R 3P8
t: 416 496 4930 f: 416 496 6809 www.wayswadron.com

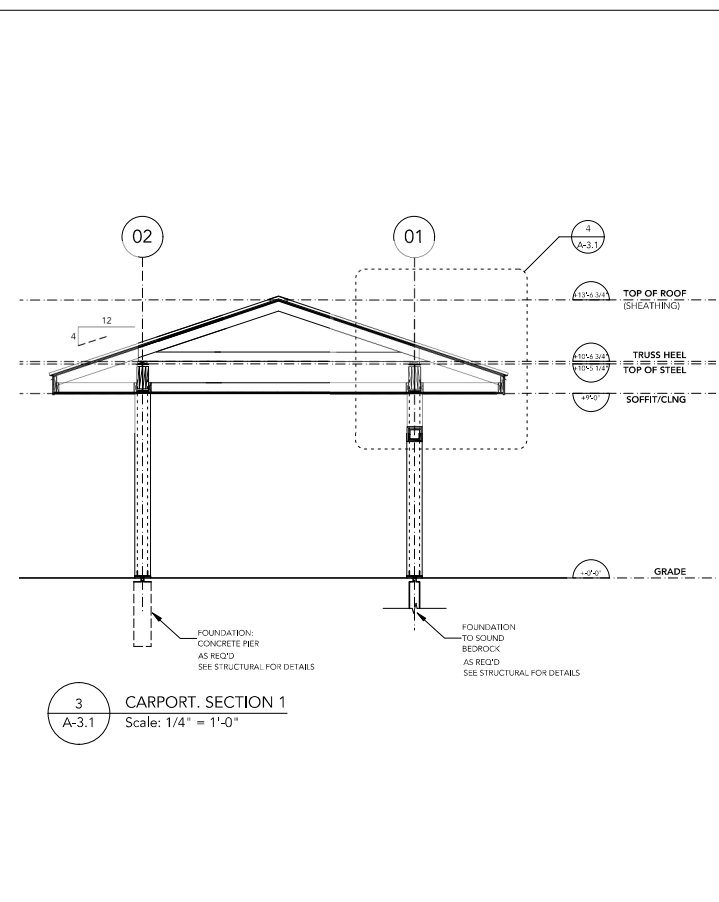
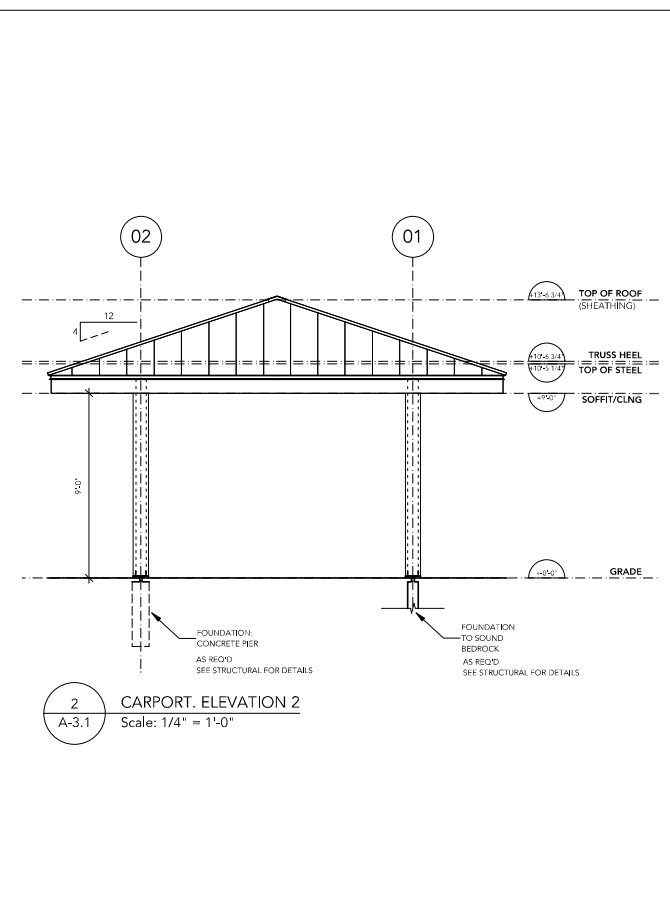
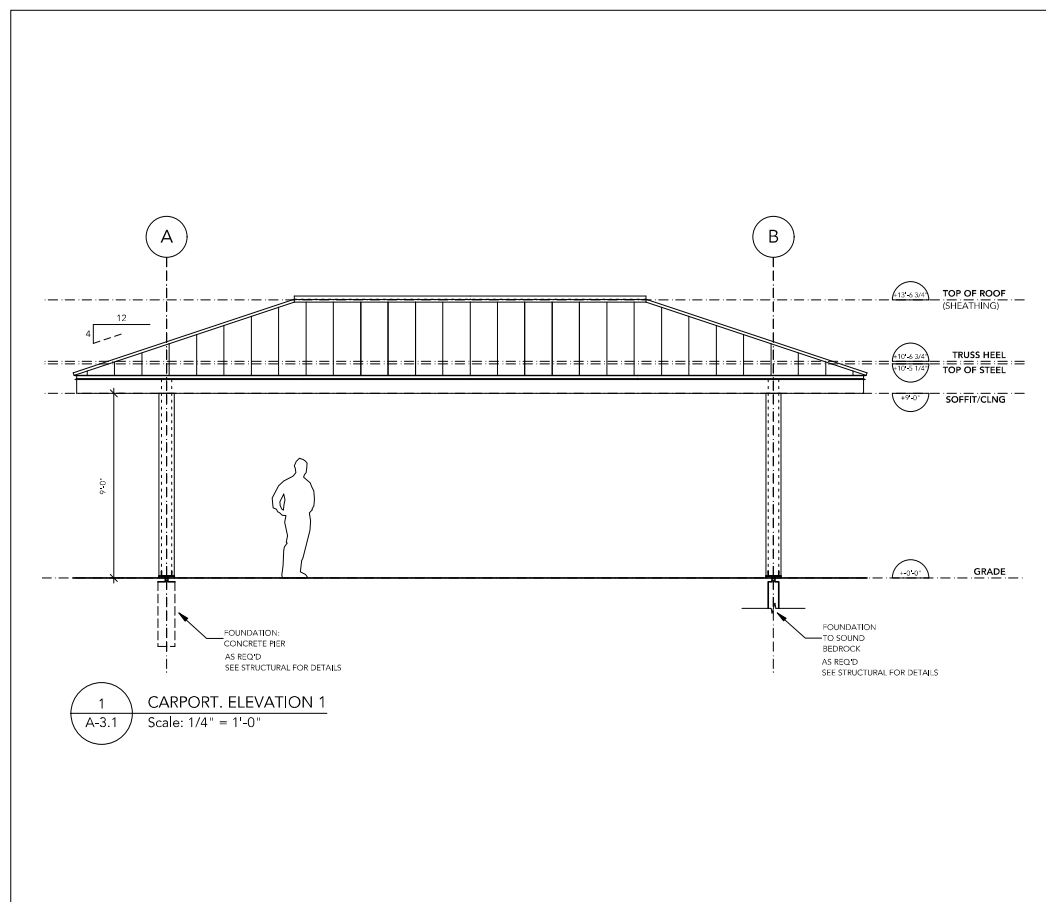
Project: **NEW CARPORT**
3864-2 HIGHWAY 118 WEST,
LAKE JOSEPH
MUSKOKA, ONTARIO

Sheet Title
PLANS, RCP & ELECTRICAL LAYOUT

Drawn By: PC/MB	Checked By: WS
Date Drawn: APR 2019	Sheet Number: A-2.1
Project Number: 15009	
Scale:	

CARPORT ELEVATIONS

NOT TO SCALE



The Architect is not responsible for the accuracy of the engineering information contained in these drawings, including property survey, structural, mechanical & electrical. Refer to the appropriate engineering drawings before proceeding with the work.

The Contractor shall check all dimensions on the work and report any discrepancy to the Architect prior to proceeding.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The drawings are not to be scaled.

This drawing is not to be used for construction unless noted specifically as: ISSUED FOR CONSTRUCTION

NOTE:
-GRID SET TO CENTER OF STEEL / STUD WALL FRAMING
-UNLESS NOTED OTHERWISE ALL DIMENSIONS TO GRID OR CENTER OF FRAMING

REFER TO STRUCTURAL DRAWINGS FOR BEAM AND COLUMN SIZES AND SPECIFICATIONS. TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

No.	Date	Description
1	2019-04-12	ISSUED FOR BUILDING PERMIT

Issues	

ONTARIO ASSOCIATION OF ARCHITECTS
Wayne Swadron
MEMBER SINCE 1988

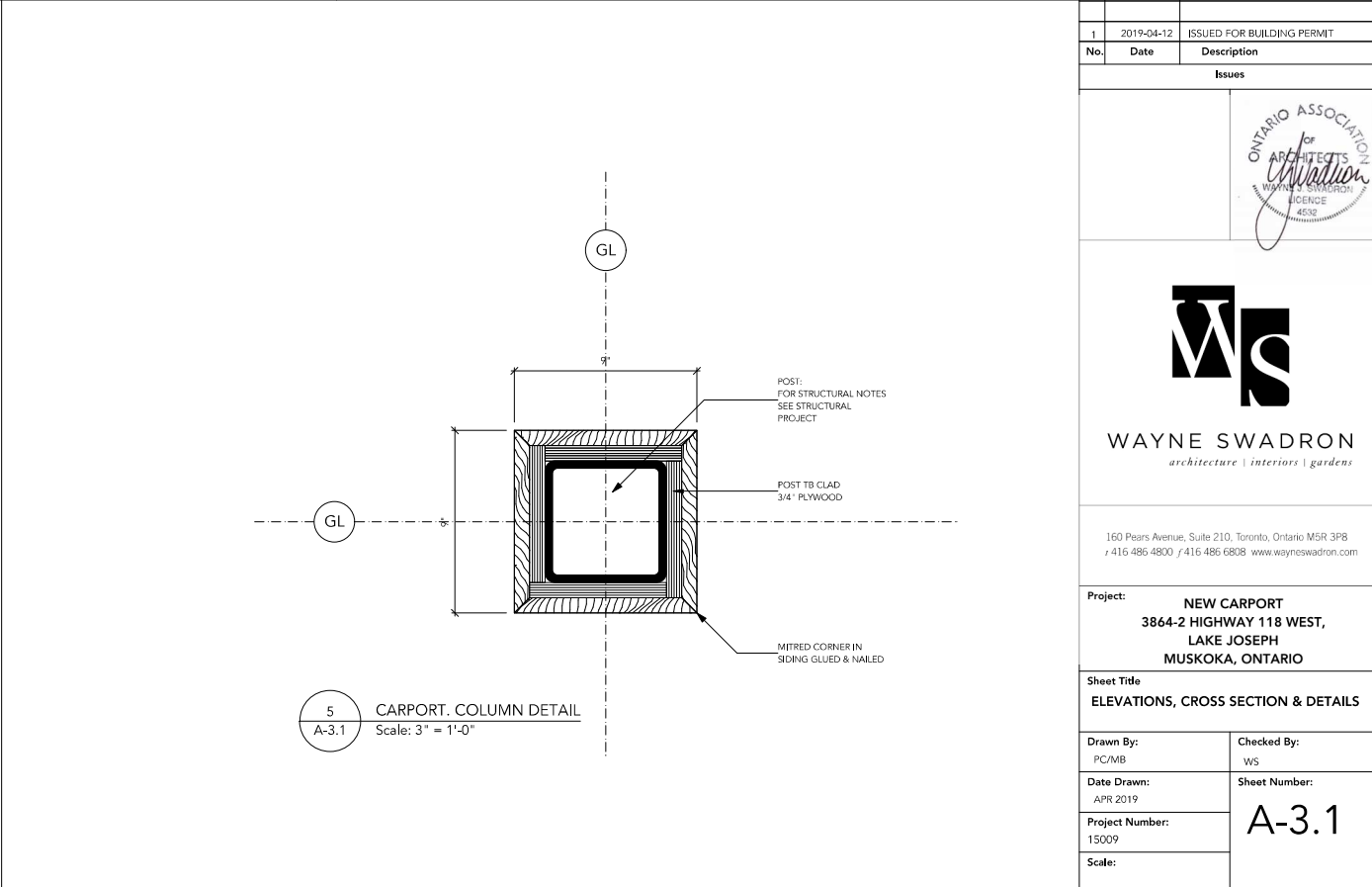
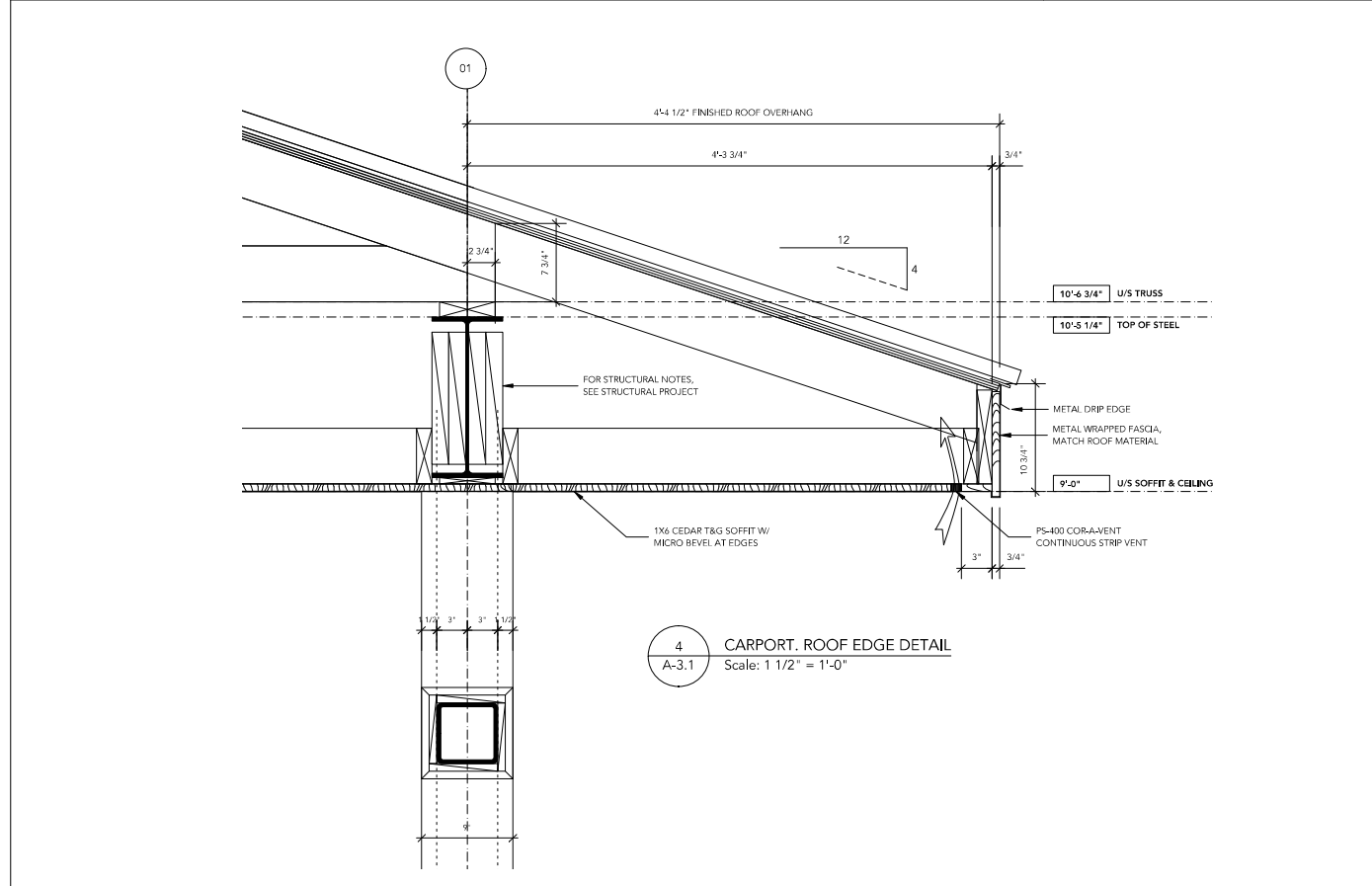
WAYNE SWADRON
architecture | interiors | gardens

160 Pears Avenue, Suite 210, Toronto, Ontario M5R 3P8
+416 486 4800 / 416 486 6808 www.wayneswadron.com

Project:
NEW CARPORT
3864-2 HIGHWAY 118 WEST,
LAKE JOSEPH
MUSKOKA, ONTARIO

Sheet Title
ELEVATIONS, CROSS SECTION & DETAILS

Drawn By: PC/MB	Checked By: WS
Date Drawn: APR 2019	Sheet Number: A-3.1
Project Number: 15009	
Scale:	



FOR INFORMATIONAL PURPOSES