



Box 129, Port Carling, ON, POB 1JO  
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5000506800

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES  
**COMMITTEE OF ADJUSTMENT**

**NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE**

This notice has been sent to you for your information and does not require any response unless you wish to make one.

**TAKE NOTICE THAT** the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

**Hearing Date: Monday, April 8, 2024 at 9:00 a.m.**

**File #.:** A-17/24

**Roll #:** 5-5-068

**Civic Address:** 98 Joseph Street

**Owner:** 821284 Ontario Limited, 12764 Yonge Street, P.O. Box 2046 Station B, Richmond Hill, ON, L4E 1A3

**Legal Description:** Lot 31, Concession 4, Part of Lot 112, Plan 1, (Medora)

**Lake/River:** Indian River (Category 1 River)

**Zoning:** Community Commercial (C3)

**Zoning Schedule:** 55

**EXPLANATION OF THE PURPOSE AND EFFECT:** The applicant proposes to construct a restaurant addition with a rooftop sundeck.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	5.2.3	Minimum Side Yard Setback (Restaurant Addition with a Rooftop Sundeck)	10 ft.	8.5 ft.	1.5 ft.
B	5.2.4.3	Minimum Required Setback from the High Water Mark (Restaurant Addition with a Rooftop Sundeck)	66 ft.	28 ft.	38 ft.

A key map of the subject property and the applicant's site plan and any drawings are included in this notice.

**TAKE FURTHER NOTICE** that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.**

**ZOOM Guide**

More information about viewing and/or participating in the zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

**Electronic Version of Notice of Hearing**

Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code:



**Submit Comments in Writing**

Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.



**Active Verbal Participation in Person or on Zoom**

Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit: [www.muskokalakes.ca/zoom](https://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.



**Watch the Meeting Online**

You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](https://www.muskokalakes.ca)

For more information, please contact the Planning Department weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**

**FAILURE TO PARTICIPATE:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

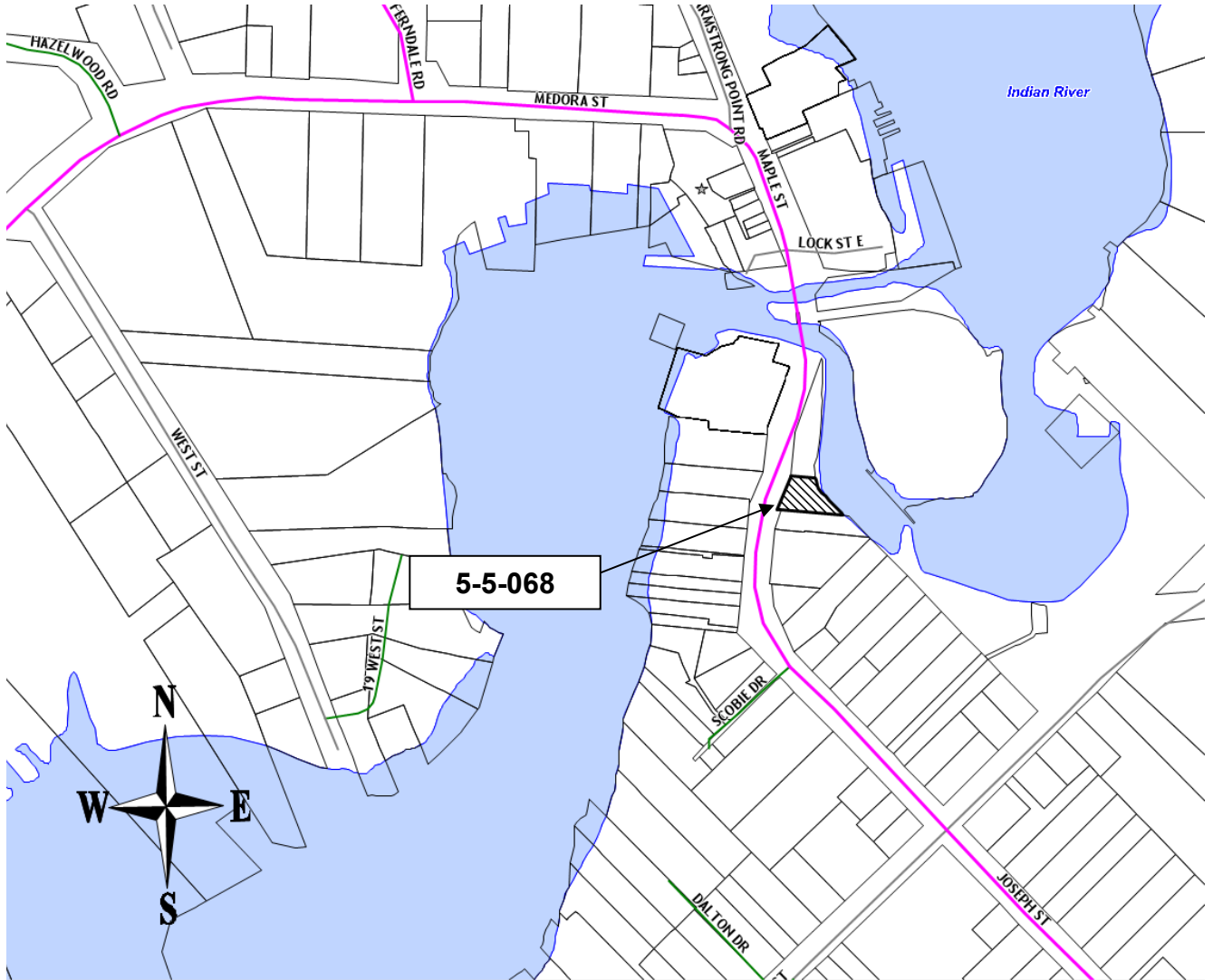
**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, no one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.**

Dated this 28<sup>th</sup> day of March, 2024.

"Original Signed by C. Ward"  
Chelsea Ward,  
Secretary-Treasurer  
Committee of Adjustment

**KEY MAP**

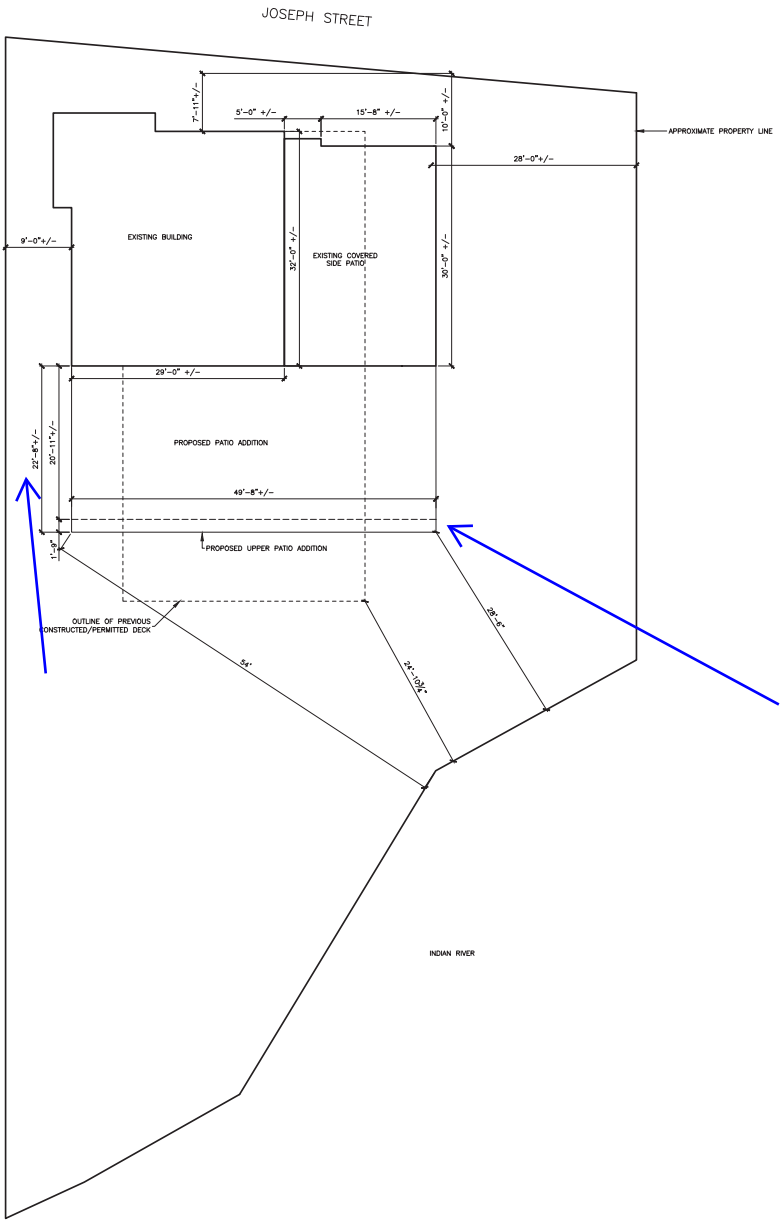


**KEY MAP**

**THIS IS NOT A PLAN OF  
SURVEY.  
INFORMATION FOR  
PLANNING PURPOSES.**

# SITE PLAN

NOT TO SCALE



ZONING DETAILS	
ZONING	CJ
LOT AREA	10,655 ft <sup>2</sup>
AREA WITHIN 200' OF HW MARK	10,655 ft <sup>2</sup>
MAX. LOT COVERAGE	-
MIN. FRONT YARD SETBACK	10'
MIN. INT. SIDE YARD SETBACK	10'
MIN. EXT. SIDE YARD SETBACK	10'
MIN. REAR YARD SETBACK	25'
MAX. HEIGHT	40'
MAX. HEIGHT ACCESSORY	20'

EXISTING LOT FRONTAGE STATISTICS		
DEFINITION	CUMULATIVE WIDTH	% COVERAGE
STRAIGHT LINE FRONTAGE	86'	-
EXISTING RESTAURANT	29'-0"	33.7%
EXISTING PATIO	49'-8"	57.6%

PROPOSED LOT FRONTAGE STATISTICS		
DEFINITION	CUMULATIVE WIDTH	% COVERAGE
STRAIGHT LINE FRONTAGE	86'	-
PROPOSED RESTAURANT	29'-0"	33.7%
PROPOSED PATIO	49'-8"	57.6%

EXISTING LOT AREA STATS		
DEFINITION	AREA (ft <sup>2</sup> )	% COVERAGE
TOTAL LOT AREA	10,655 ft <sup>2</sup>	-
AREA WITHIN 200' OF HW MARK	10,655 ft <sup>2</sup>	-
EXISTING STRUCTURES		
RESTAURANT	988	9.3%
PATIO	1191	11.2%
TOTAL WITHIN 200' OF HW MARK	2179	20.5%
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PROPOSED LOT AREA STATS		
DEFINITION	AREA (ft <sup>2</sup> )	% COVERAGE
TOTAL LOT AREA	10,655 ft <sup>2</sup>	-
AREA WITHIN 200' OF HW MARK	10,655 ft <sup>2</sup>	-
EXISTING STRUCTURES		
RESTAURANT	988	9.3%
PATIO	1191	11.2%
PROPOSED STRUCTURES		
PATIO	1663	15.6%
TOTAL WITHIN 200' OF HW MARK	2651	24.9%
TOTAL	2651	24.9%



LOWER SUNDECK TO BE ENCLOSED AS PART OF THE RESTAURANT



## DE KONING GROUP

Mail: 36 Beach Road  
 Utterson, Ontario  
 POB 1M0

Office: 3-1A Lee Valley Drive  
 Port Carling, Ontario  
 POB 1J0

705.646.3800  
 info@dekoninggroup.com

4	REVISED PER PERMIT	AUG.01.2021
3	REVISED PER CLIENT REQUEST	JUN.22.2021
2	ISSUED FOR PERMIT	MAR.10.2021
1	ISSUED FOR REVIEW	JUN.10.2021

No.	Revision/Issue Column	Date

CLIENT

PORTSIDE FUSION

PROJECT

PORTSIDE FUSION ADDITION  
 98 JOSEPH STREET  
 TOWNSHIP OF MUSKOKA LAKES

DRAWING

PROPOSED SITE PLAN

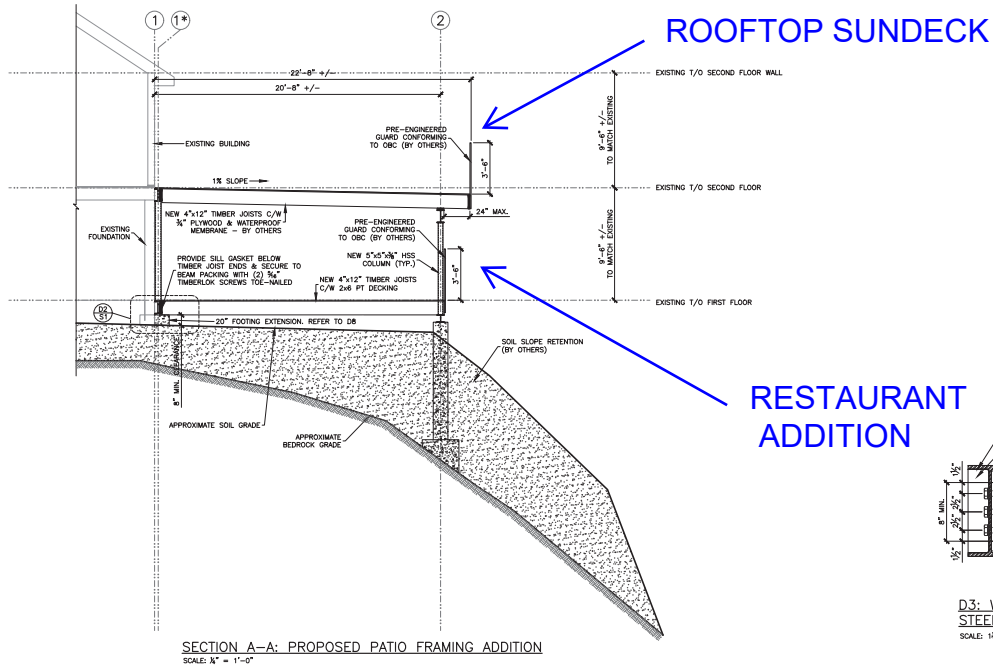
APPROVED

DATE	MAY 2021
PROJECT	21-177-01
DESIGNED	MM
REVIEWED	TK
SCALE	AS SHOWN
SHEET	SP2

PROPOSED SITE PLAN  
 SCALE: 1" = 1'-0"

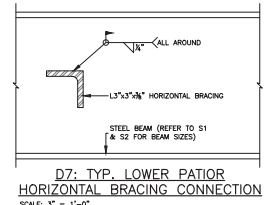
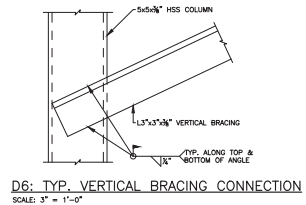
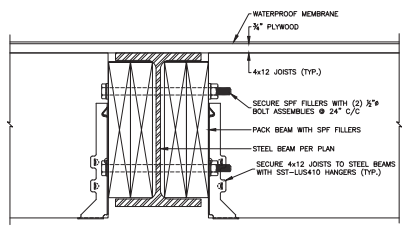
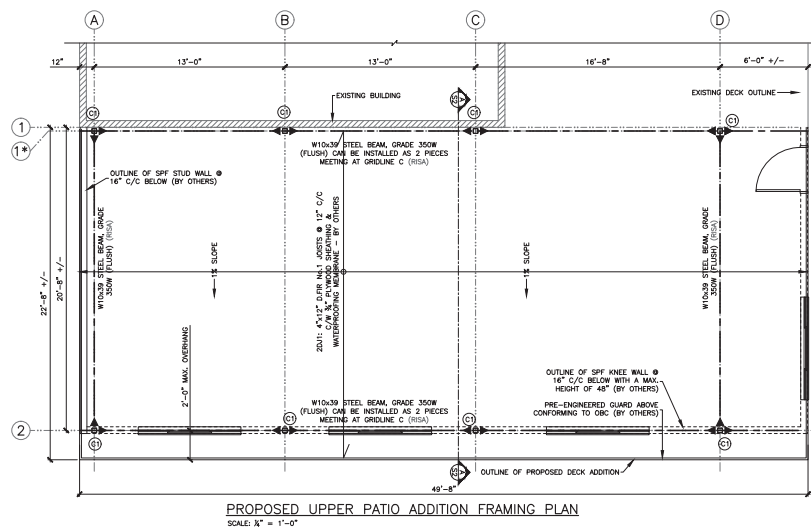
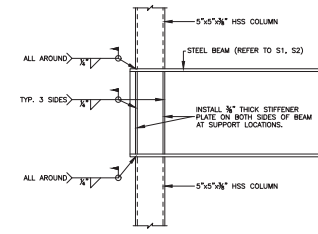
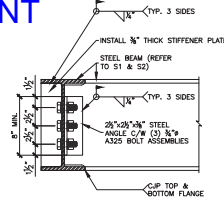
# ELEVATION DRAWING

NOT TO SCALE



COLUMN SCHEDULE			
#	SIZE	MATERIAL	GRADE
C1	5"x5"x1/2" HSS	STEEL	350W
C2	4PLY-2x6	SPF	No.1/No.2

◀ DENOTES LOCATION OF REQUIRED MOMENT CONNECTION



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#	DESCRIPTION	DATE
7	REVISED FOR PERMIT	AUG 01 2023
6	CONSTRUCTION REVISED FOR	JUN 22 2023
5	CONSTRUCTION REVISED FOR	MAY 10 2023
4	CONSTRUCTION REVISED FOR	MAY 01 2023
3	PERMIT	JUL 20 2022
2	ISSUED FOR PERMIT	MAY 18 2022
1	ISSUED FOR REVIEW	JUN 10 2021
101	Revision/Issue Column	Doc

## PORTSIDE FUSION

PROJECT  
**PORTSIDE FUSION ADDITION**  
98 JOSEPH STREET  
TOWNSHIP OF MUSKOKA LAKES

## PROPOSED PATIO FRAMING ADDITION PLAN & DETAILS



DATE	DESCRIPTION
MAY 2021	ISSUED FOR REVIEW
21-177-01	PROJECT
MW	DESIGNED BY
NJK	REVIEWED BY
AS SHOWN	SCALE
S2	SHEET

FOR INFORMATIONAL PURPOSES