



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, April 8, 2024 at 9:00 a.m.

File #.: A-21/24
Roll #: 6-1-066
Civic Address: 1182 Ashforth Drive
Owner: Franco Doracin, 785 Canyon Street, Mississauga, ON, L5H 4M3
Legal Description: Lot 26, Concession 3, Lot 21, Plan M-477, (Wood)
Lake/River: Lake Muskoka (Category 1 Lake)
Zoning: Waterfront Residential (WR6-7 and WR6-7R)
Zoning Schedule: 42

EXPLANATION OF THE PURPOSE AND EFFECT: The applicant proposes to construct a one storey dwelling addition with a walkout basement, a one storey garage with a walkout basement, and a one storey boathouse.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.3 and 4.1.3.6	Maximum Lot Coverage (Entire Lot)	2,627 sq. ft. (10%)	2,845 sq. ft. (10.8%)	218 sq. ft. (0.8%)

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

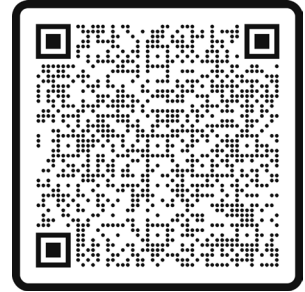
TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.**

ZOOM Guide

More information about viewing and/or participating in the zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

Electronic Version of Notice of Hearing

Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code:



Submit Comments in Writing

Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.



Active Verbal Participation in Person or on Zoom

Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit: www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.



Watch the Meeting Online

You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

For more information, please contact the Planning Department weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

FAILURE TO PARTICIPATE: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

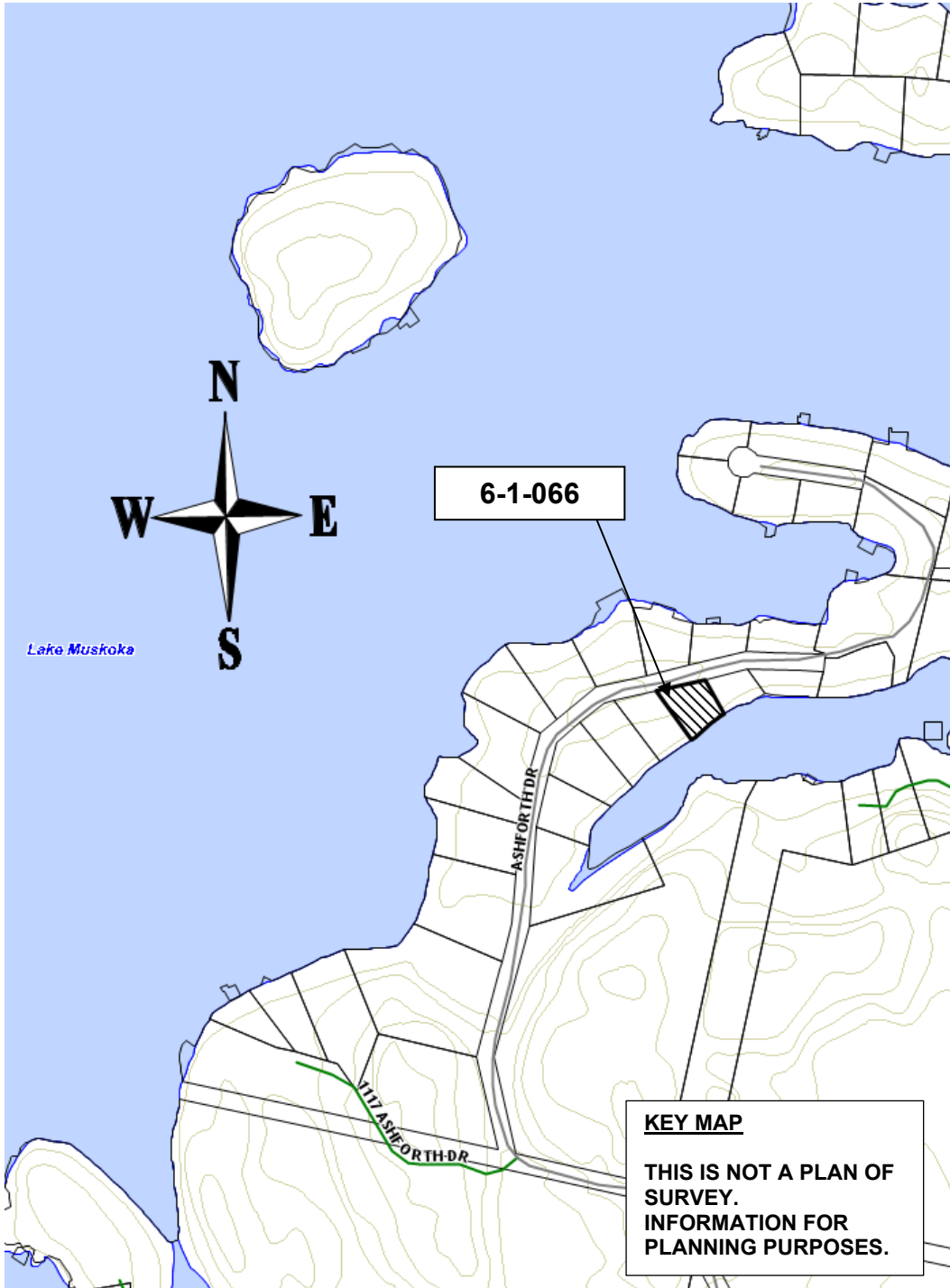
DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, no one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

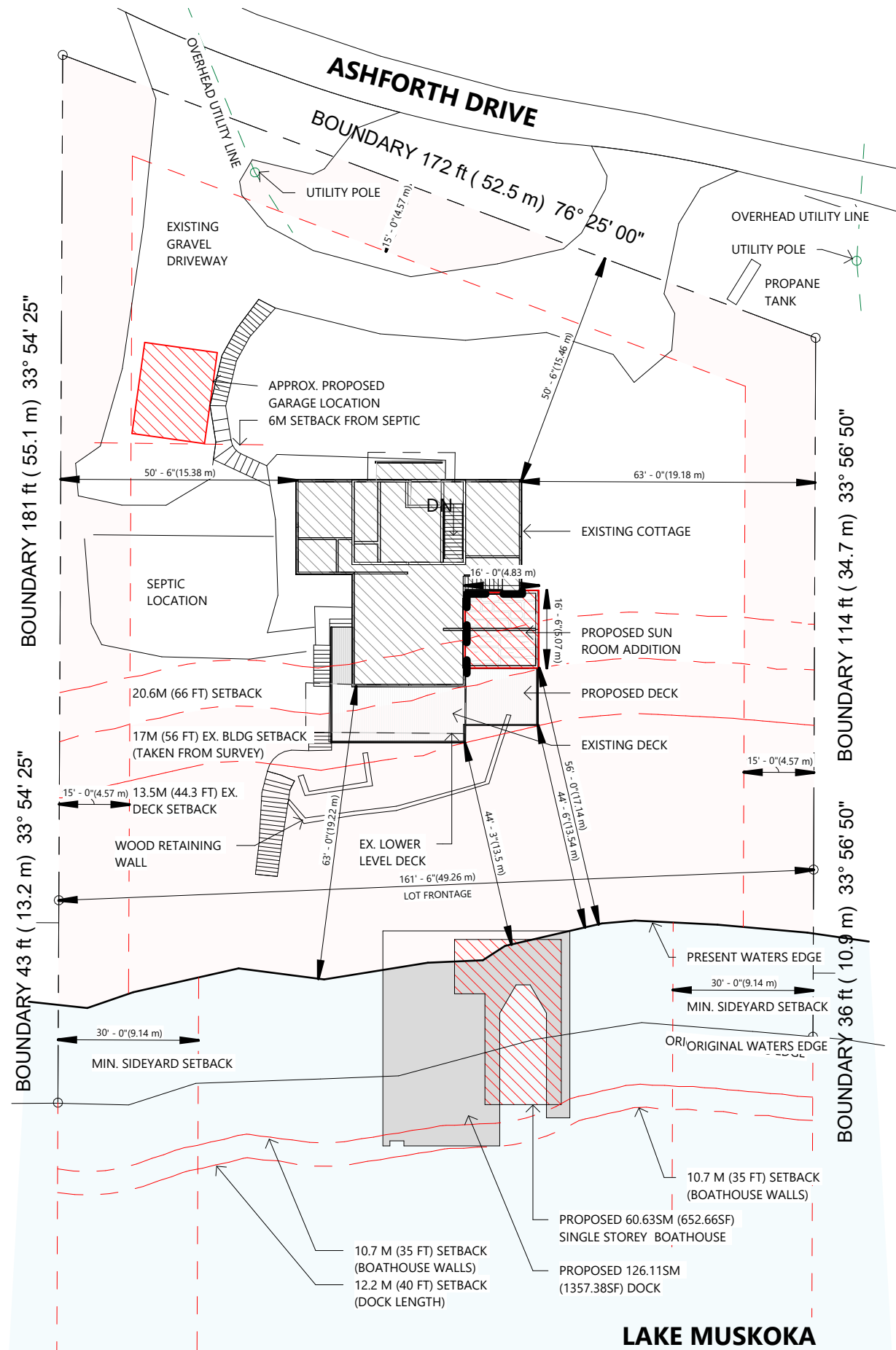
PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 27th day of March, 2024.

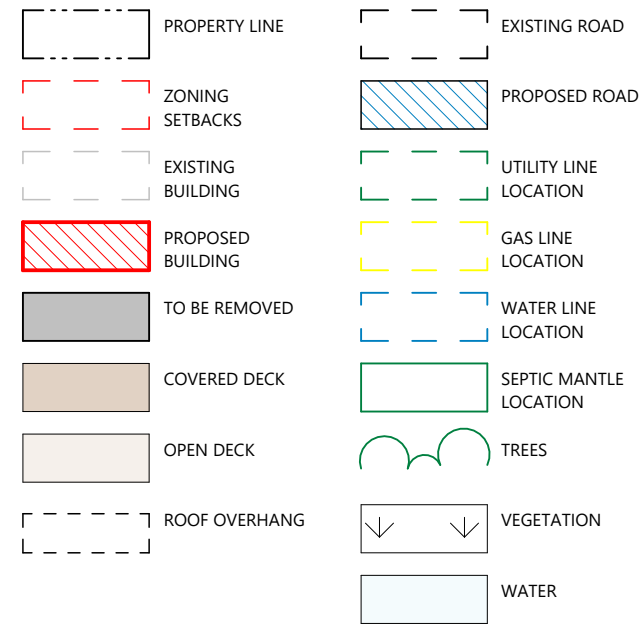
"Original Signed by C. Ward"
Chelsea Ward,
Secretary-Treasurer
Committee of Adjustment

KEY MAP





SITE PLAN LEGEND



ZONING REQUIREMENTS

PER TBL 4.1.3 & TBL 4.1.7 OF TOWNSHIP OF MUSKOKA LAKES ZONING BY-LAWS (LAKE MUSKOKA)
 SITE ADDRESS: 1182 ASHFORTH DR. MUSKOKA LAKES, ON P0C 1M0
 ZONING TYPE = WR6-7 & WR6-7R (-7 IS SUBJECT TO SITE PLAN CONTROL)
 ROLL NUMBER = 445306000106600
 LEGAL DESCRIPTION = CON 3 LOT 26 PLAN M477 LOT 21 (PCL 25144)

	REQUIRED	PROPOSED
LOT AREA (MIN)	= 0.8 HA	= 0.244054 HA
LOT FRONTAGE (MIN)	= 122 M (400 FT)	= 49.26 M (161.61 FT)
LOT COVERAGE (MAX) (FIRST 61M)	= 11%	= 10.83%
REQUIRED YARDS		
FRONT YARD (MIN)	= 20.1 M (66 FT)	= 17 M (56 FT)
EXTERIOR SIDE YARD (MIN)	= 9.1 M (30 FT)	= N/A
REAR YARD (MIN)	= 4.6 M (15 FT)	= 15.5 M (51 FT)
INTERIOR SIDE YARD (MIN)	= 4.6 M (15 FT)	= 15.5 M (51 FT)
BUILDING HEIGHT (MAX)(highest point of roof)	= 10.7 M (35 FT)	= 8.23 M (27 FT)
ACCESSORY STRUCTURES AND BUILDINGS		
BUILDING HEIGHT (MAX)(highest point of roof)	= 6.1 M (20 FT)	= 3.31 M (11.5 FT)
FRONT YARD SETBACK EXEMPTIONS		
PUMPHOUSE GFA (MAX)	= 4.6 SM (50 SF)	= # M (# FT)
SAUNA GFA (MAX)	= 9.3 SM (100 SF)	= # M (# FT)
GAZEBO GFA (MAX)	= 18.6 SM (200 SF)	= # M (# FT)
(PH, S, G) BLDG HGHT(MAX)(highest pt of roof)	= 4.6 M (15 FT)	= # M (# FT)
(PH, SAUNA, GAZ.) SEPARATION FROM BLDGS	= 4.6 M (15 FT)	= # M (# FT)
SUNDECK SETBACK FROM HWM (MIN)	= 15.2 M (49.87 FT)	= # M (# FT)
PH & SAUNA SETBACK FROM HWM (MIN)	= 4.6 M (15 FT)	= # M (# FT)
GAZEBO SETBACK FROM HWM (MIN)	= 1.0 M (3 FT)	= # M (# FT)

4.1.6.v. A gazebo exceeding 18.6m2 (200ft2) in floor area, which is screened or glassed, shall be considered to be a sleeping cabin.
 4.1.6.vi. where a habitable room is located in an attached garage which is attached by means of a walkway, breezeway or other such passage, the max. height shall be 10.7m (35ft) and the max. floor area of all such habitable rooms shall be 60.4m2 (650ft2)

AREA STATISTICS

AREA - SITE

Name	Area	Area (SM)	Perimeter
SITE AREA (OVERALL & FIRST 61M)	26270 SF	2440.54 m ²	667' - 6 1/8"

AREA - EXISTING LOT COVERAGE

Name	Area	Area (SM)	Coverage %
EXISTING COTTAGE	1645 SF	152.80 m ²	6.26%
Grand total: 1	1645 SF	152.80 m ²	6.26%

AREA - PROPOSED LOT COVERAGE

Name	Area	Area (SM)	Coverage %
EXISTING COTTAGE	1645 SF	152.80 m ²	6.26%
COTTAGE ADDITION PROPOSED	262 SF	24.38 m ²	1.00%
PROPOSED GARAGE	285 SF	26.48 m ²	1.08%
PROPOSED BOATHOUSE	653 SF	60.63 m ²	2.48%
Grand total: 4	2845 SF	264.29 m ²	10.83%

SHORELINES STRUCTURES AND FACILITIES

DOCKS

DOCK LENGTH (25% or 12.2)	= 12.20 M (40 FT)	= 12.2 M (40 FT)
DOCK WIDTH (CUMULATIVE MAX) (25% or 22.9)	= 12.32 M (40.40 FT)	= 12.19 M (40 FT)
DOCK SETBACK (MIN)	= 9.10 M (30 FT)	= 15.83 M (52 FT)

BOATHOUSES

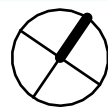
# OF BUILDING STOREYS PERMITTED	= 1	= 1
BOATHOUSE LENGTH (MAX) (25% or 10.7)	= 10.70 M (35 FT)	= 10.7 M (35 FT)
1ST STOREY WIDTH (MAX) (16% or 22.9)	= 7.88 M (25.85 FT)	= 6.96 M (23 FT)
BOATHOUSE SETBACK (1 STOREY)	= 9.1 M (30 FT)	= 16.44 M (54 FT)
HABITABLE FLOOR AREA	= NO	
BLDG HEIGHT (MAX)(highest point of roof)	= 4.9 M (16 FT)	= 4.83 M (15.83 FT)

4.1.7.19 -

For those portions of land fronting onto a restricted waterbody and zoned with a "-R" suffix to the zone symbol, a dock, boathouse, boatport, or sun shelter may be located in the abutting Waterbody Open Space (WOS) zone and subject to the following additional provisions:

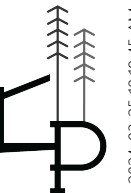
- The maximum length of a dock, measured from the high water mark, is the lesser of 12.2 m (40 ft.) or 25% of the distance from shoreline to opposite shoreline as established by the Schedules to By-law 2014-14, measured from the subject dock to the closest shoreline of another lot opposite the subject dock;
- The maximum length of a boathouse, boatport or sun shelter, measured from the high water mark, is the lesser of 10.7 m (35 ft.) or 25% of the distance from shoreline to opposite shoreline as established by the Schedules to By-law 2014-14, measured from the subject boathouse to the closest shoreline of another lot opposite the subject boathouse;
- A two storey boathouse is not permitted; and
- A single storey boathouse, boatport or sun shelter where the roof is capable of being used as a sundeck shall not be permitted.

1 SITE PLAN - DESIGN
 1" = 30'-0"



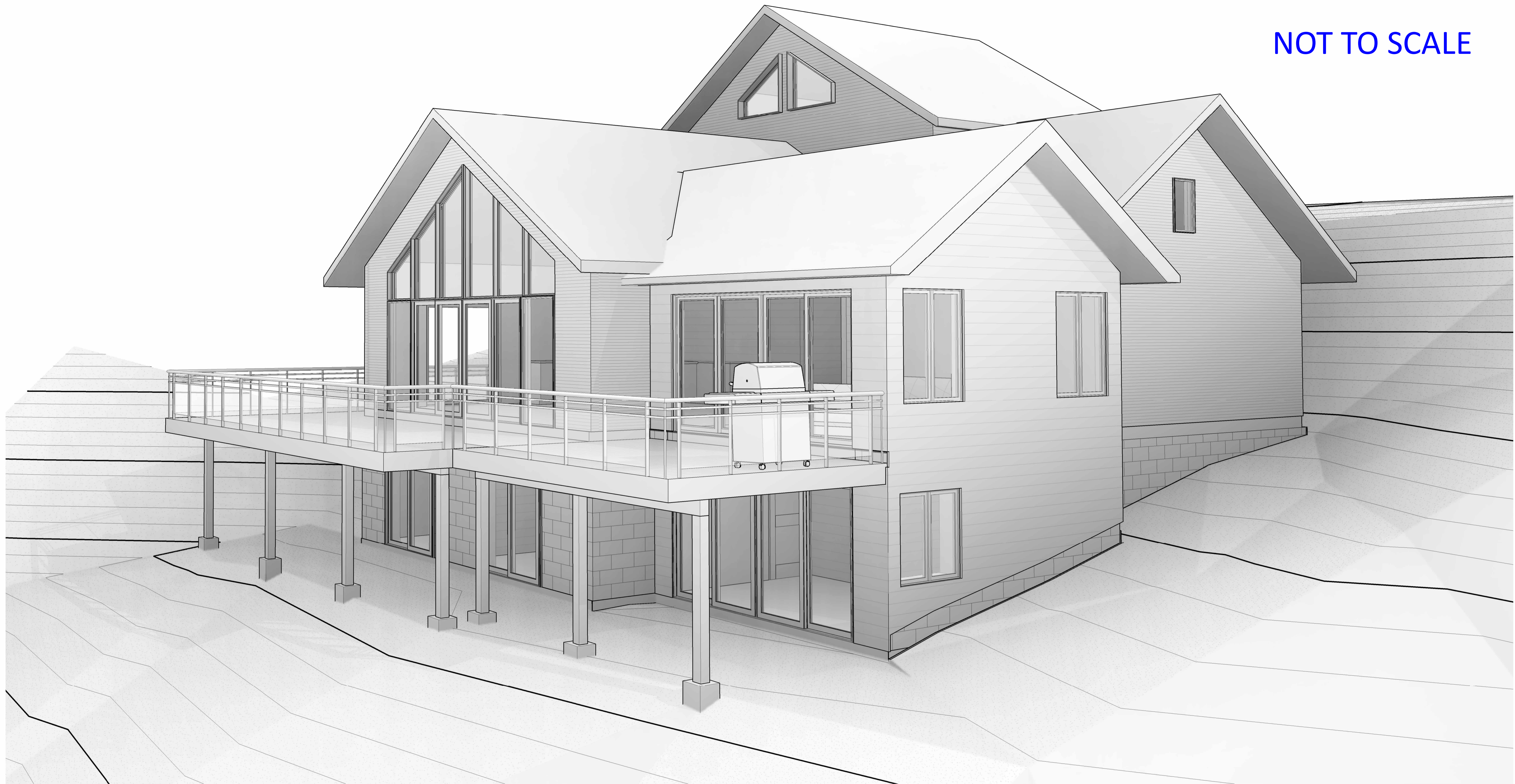
LAKE MUSKOKA

SITE PLAN
 DORACIN | COTTAGE ADDITION
 CORBIN PATTEN DESIGNS
 877.562.1959 | DESIGN@CORBINPATTEN.COM

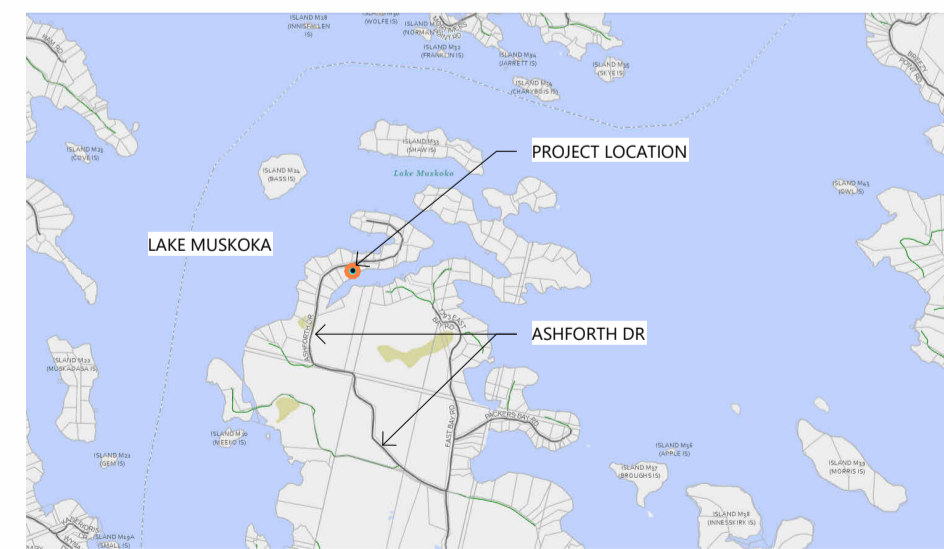


NOT TO SCALE

ENGINEER



LOCATION MAP



FOR INFORMATIONAL PURPOSES ONLY

COTTAGE ADDITION

DORACIN

1182 ASHFORTH DR, MUSKOKA LAKES, ON

CLIENT: DORACIN
 PROJECT: COTTAGE ADDITION

SHEET LIST

#	SHEET NAME	#	SHEET NAME	#	SHEET NAME
A000	COVER SHEET	S101	1ST FL FRAMING PLAN		
A001	NOTES AND LEGENDS	S102	ROOF FRAMING PLAN		
A100	SITE PLAN	S200	N/S FRAMING ELEVATION		
A200	BASEMENT PLAN / DEMO	S201	E/W FRAMING ELEVATION		
A300	EXISTING ELEVATIONS				
A400	SECTIONS				
A401	DETAILS				
E100	BSMT. & 1ST POWER & DATA				
E101	2ND POWER & DATA				
E200	BSMT. AND 1ST SWITCHING				
E201	2ND FL SWITCHING				
S100	STRUCTURAL PLANS				

AREA

Name	Level	Area	Area (SM)
SITE AREA (OVERALL & FIRST 61M)	1ST FL	26270 SF	2440.54 m ²
EXISTING COTTAGE	1ST FL	1645 SF	152.80 m ²
COTTAGE ADDITION PROPOSED	1ST FL	262 SF	24.38 m ²
PROPOSED GARAGE	1ST FL	285 SF	26.48 m ²
PROPOSED BOATHOUSE	1ST FL	653 SF	60.63 m ²

PROJECT INFORMATION

INSULATION REQUIREMENTS	OS: 12 - 3.11.2.A - A2	CEILING WITH ATTIC	- R60
CEILING W/O ATTIC			- R31
EXPOSED FLOOR			- R31
WALL ABOVE GRADE			- R19+50
BASEMENT WALLS			- R12+
TOI			
BELOW GRADE SLAB			- N/A
HEATED SLAB			- R10
EDGE OF BELOW GRADE SLAB			- R10
WINDOWS / GLASS DOORS			- U0.26
SKYLIGHTS			- U0.49
SPACE HEATING EQUIPMENT			- 96%
HRV			- 75%
DOMESTIC WATER HEATER			- 0.75

CI = CONTINUOUS INSULATION

REVISION SCHEDULE

#	DATE	DESCRIPTION
1	2022.0105	DESIGN APPROVAL
2	2023.1215	ISSUED FOR PERMIT

PROJECT CONTACTS

CLIENT
FRANK DORACIN AND ELIZABETH HARDING
 1182 ASHFORTH DRIVE, MUSKOKA LAKES
 ON, POC 1M0

CONTACT: **FRANK DORACIN**
 PHONE NUMBER
 FRANK@DORACINTSL.COM

CONTACT: **PERSON NAME**
 PHONE NUMBER
 COMPANY EMAIL

CONTRACTOR
 TBD

DESIGNER
CORBIN PATTEN DESIGNS
 1150 HWY. 141, ROSSEAU, ON
 887.562.1959
 DESIGN@CORBINPATTEN.COM

CONTACTS
 PRINCIPAL
 CORBIN PATTEN
 887.562.1959 EXT. 1
 CORBIN@CORBINPATTEN.COM

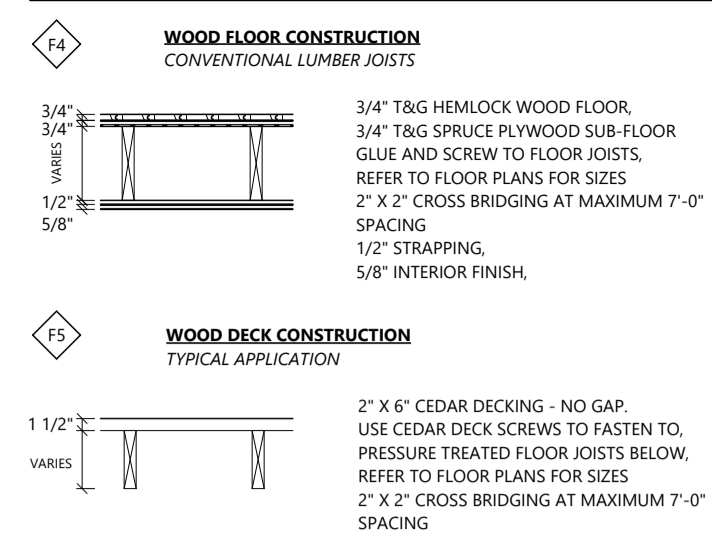
COVER SHEET

DRAWN BY: CM | CHECKED BY: JM, CP
 PROJECT NUMBER: 2112 | SHEET: ARCH D 36" X 24"
 ADDRESS: 1182 ASHFORTH DR, MUSKOKA LAKES, ON
 2024-05-25 2:57:06 PM

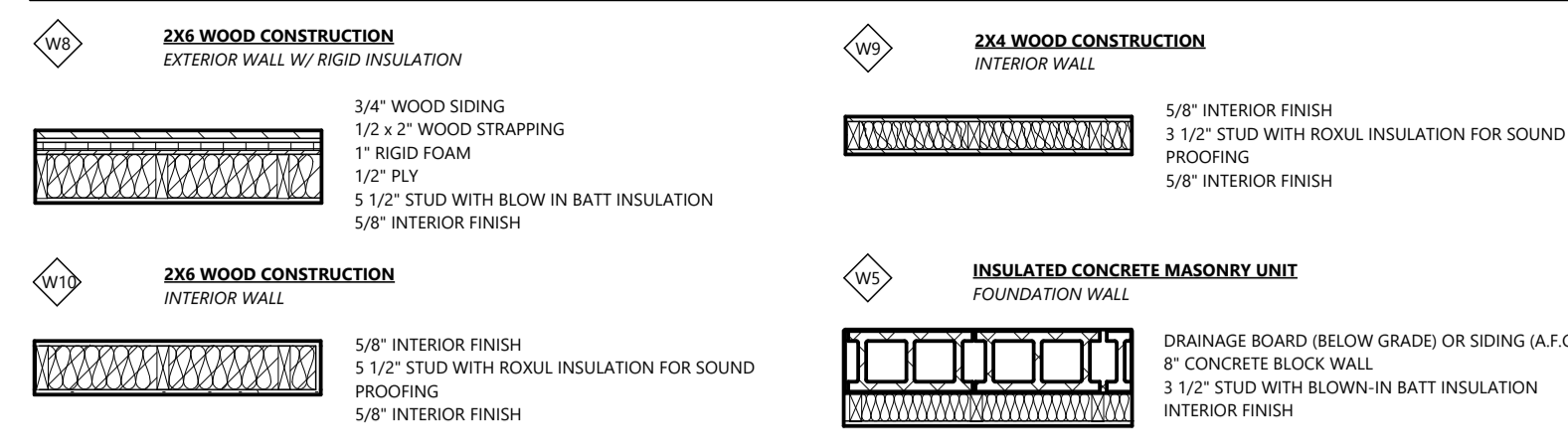
A000
 C.D. DRAFT

NOT TO SCALE

FLOOR LEGEND



WALL LEGEND

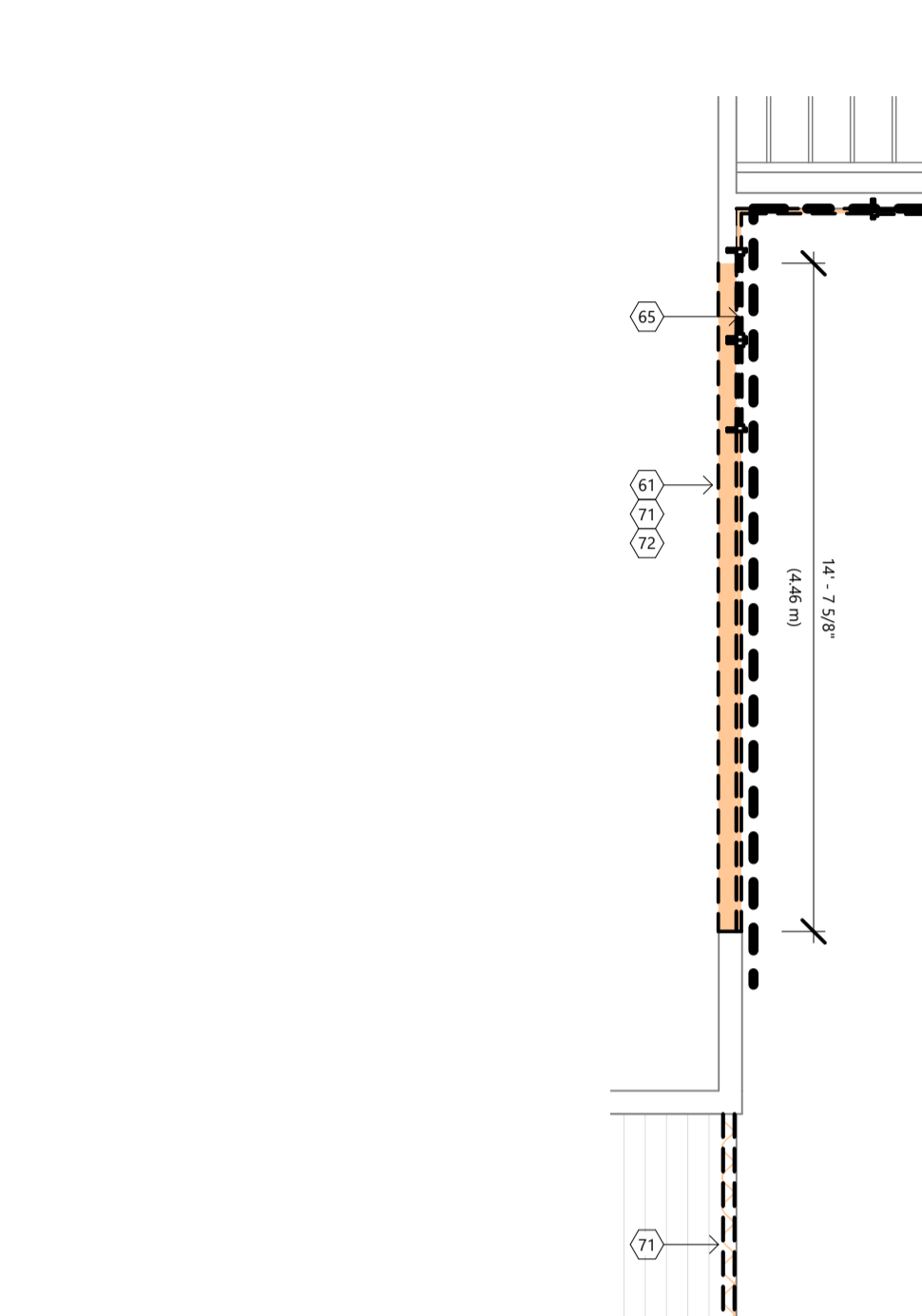
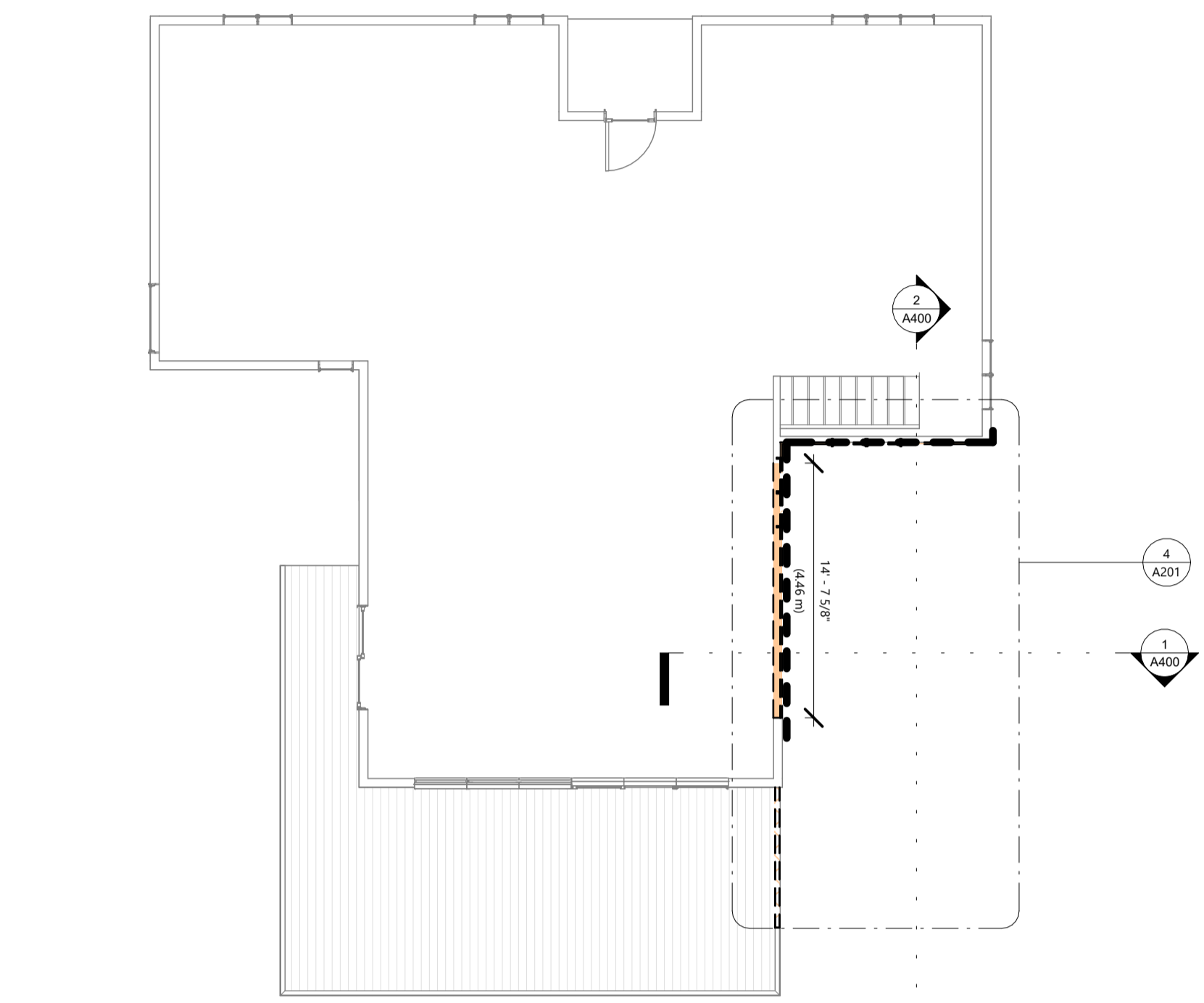


GENERAL NOTES - EXISTING/DEMO PLANS

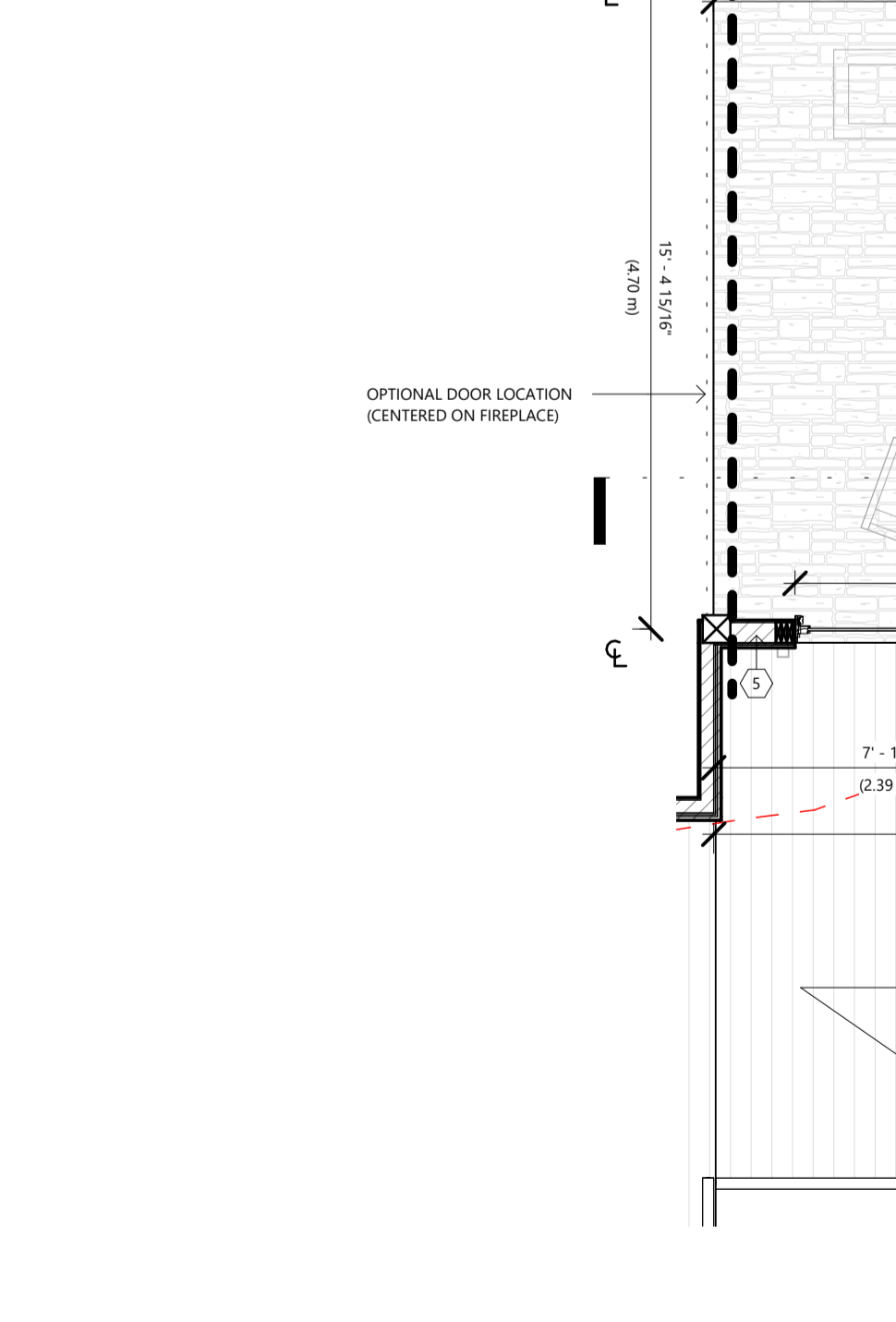
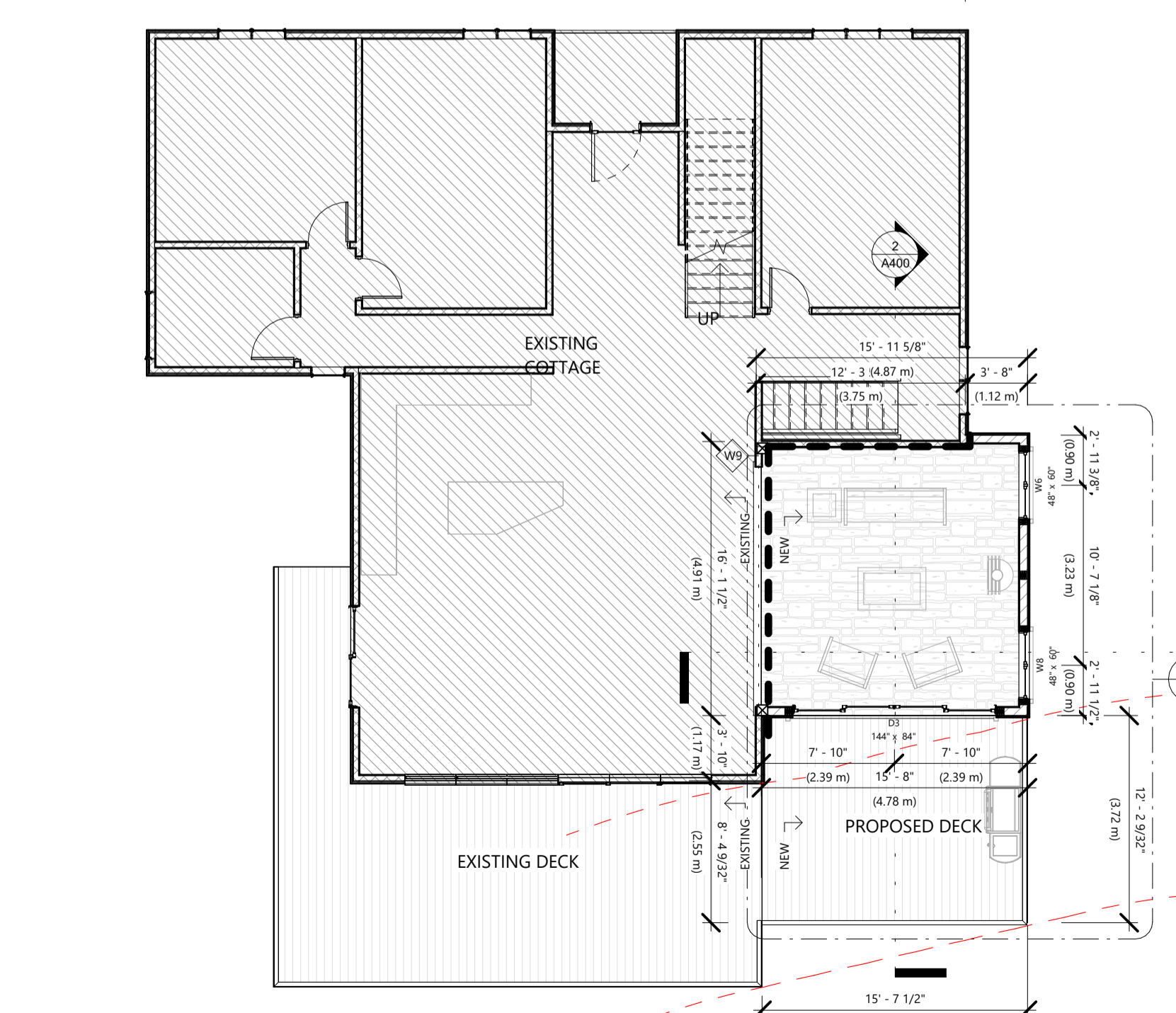
- PRIOR TO DEMOLISHING ANY EXISTING COMPONENTS, CONTRACTOR TO VERIFY ANY EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL SERVICES THAT MAY BE WITHIN DEMOLITION SCOPE ARE DISCONNECTED AND DEEMED SAFE TO DEMOLISH
- CONTRACTOR TO VERIFY ANY PARTITIONS AND WALLS ARE NOT LOAD BEARING PRIOR TO THE DEMOLITION OF THESE WALLS. IF THEY ARE LOAD BEARING THEN NOTIFY THE BUILDING DESIGNER AND ENGINEER PRIOR TO ANY DEMOLITION WORK.
- ALL SURFACES TO BE BROUGHT TO SAFE AND CLEAN CONDITION AFTER DEMOLITION OF ANY PARTITIONS, WALLS, FLOORS AND CEILINGS AND OTHER BUILDING COMPONENT ELEMENTS
- ALL EXISTING STRUCTURE INCLUDING LOAD BEARING WALLS, BEAMS, RAFTERS, JOISTS, LINTELS, COLUMNS, FOUNDATIONS, AND FOOTINGS TO BE VERIFIED FOR THEIR STRUCTURAL STABILITY. ALL SHORTCUTTINGS INCLUDING SIGNS OF DECAY, WROUGHT, PERMANENT BENDING, AND ANYTHING ELSE DEEMED TO NOT MEET CURRENT BUILDING CODE STANDARDS SHOULD BE REPAIRED AND BROUGHT IN COMPLIANCE. ALL STRUCTURAL ISSUES TO BE BROUGHT TO THE ATTENTION BUILDING DESIGNER AND ENGINEER.
- WALLS TO BE REMOVED AND DEMOLISHED UNLESS NOTED OTHERWISE
- DOORS TO BE REMOVED AND DEMOLISHED UNLESS NOTED OTHERWISE
- WINDOWS TO BE REMOVED AND DEMOLISHED UNLESS NOTED OTHERWISE

GENERAL NOTES - PLANS

- ALL DIMENSIONS ARE TO THE EDGE OF THE STUD AND DO NOT INCLUDE FINISH MATERIALS.
- ALL CONCRETE TO BE 34 MPa UNLESS SPECIFIED ON DRAWINGS.
- S1-1 FLAGSTONE FLOORING TO BE DETERMINED BY CLIENT
- 3 STUD ON FOUNDATION WALL INTERIOR FOUNDATION WALL AS PER NOTE
1/2" SPACE BETWEEN STUD AND CONCRETE WALL
3 1/2" STUD WITH SPRAY FOAM INSULATION
INTERIOR FINISH AS PER DRAWINGS OR AS SPECIFIED BY BUILDING DESIGNER AND OWNER
- 5 EXTERIOR WALL EXTERIOR WALL AS SPECIFIED.
1/2" STRAPPING TO BE FASTENED AND ALIGNED WITH STUDS SPACED AT 16" O.C.
AIR BARRIER
1/2" 1/4" WOOD SHEATHING
WALL STUDS TO BE SPACED AT 16" O/C OR AS OTHERWISE SPECIFIED.
INSULATION REQUIRED AS PER WALL TYPE. BATT OR SPRAY FOAM INSULATION TO MEET DESIGN CRITERIA OR APPLICABLE CODES.
- 6 INTERIOR WALL DOUBLE PLATE @ TOP AND SINGLE PLATE @ BOTTOM.
WALLS TO BE BLOCKED HORIZONTALLY A MID POINT
INTERIOR WALL STUD TO BE FILLED WITH ROKUL INSULATION FOR SOUND PROOFING
WALLS TO BE BLOCKED HORIZONTALLY A MID POINT
- 7 EXTERIOR RIGID INSULATION CONTINUOUS RIGID FOAM INSULATION
1" AMVIC SILVERBOARD RIGID INSULATION OR 1.5" ZIP R SHEATHING (1/2" OSB WITH 1" RIGID FOAM) TO BE DEFAULT EXTERIOR INSULATION OR AS SPECIFIED BY DRAWINGS.
- 20 DOOR DOORS TO HAVE A BLACK EXTERIOR FINISH OR AS SPECIFIED BY DRAWINGS SPECIFICATION TO BE APPROVED BY BUILDING DESIGNER AND OWNER.
ALL WINDOWS AND DOORS TO BE ALIGNED WITH THE TOPS AT THE SAME HEIGHT. SEE SCHEDULE
- 21 WINDOWS WINDOWS TO HAVE A BLACK EXTERIOR AND BLACK INTERIOR FINISH OR AS SPECIFIED BY DRAWINGS
DOUBLE PANEL, LOW-E, AND GAS FILLED.
SPECIFICATION TO BE APPROVED BY BUILDING DESIGNER AND OWNER.
ALL WINDOWS AND DOORS TO BE ALIGNED WITH THE TOPS AT THE SAME HEIGHT. SEE SCHEDULE.
- 22 EXTERIOR DECKS EXTERIOR DECKS TO BE 2 X 6" BROWN PRESSURE TREATED DECKING.
- 23 RAILINGS RAILING TO BE 42" (1.07M) IN HEIGHT WITH DISTANCE ABOVE GRADE MORE THAN 71" (1.8M) OTHERWISE RAILING TO BE 35 1/2" (0.9M) IN HEIGHT.
RAILING OPENINGS TO BE NOT MORE THAN 4" (101)
- 24 STAIRS STAIR RISE TO BE NOT LESS THAN 5" (0.125M) AND NOT MORE THAN 7 7/8" (0.2M)
TREAD DEPTH NOT LESS THAN 9 1/4" (0.235M) AND NOT MORE THAN 13 7/8" (0.35M)
STAIR RAILINGS TO BE A MIN. OF 34" (0.865M) AND A MAX. 38" (0.965M) IN HEIGHT
- 26 FIREPLACE WOOD BURNING OR GAS FIREPLACE INSERT TO BE LOCATED MAIN LEVEL.
TOP OF FIREPLACE CHIMNEYS SHALL BE 900mm (2'-11") ABOVE HIGHEST AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 600mm (23 5/8") ABOVE ROOF SURFACE OR STRUCTURE (INCLUDING ADJACENT BUILDINGS WITHIN A HORIZONTAL DISTANCE OF 3000mm (9'-10") FROM THE CHIMNEY. MAX. HEIGHT OF UNSUPPORTED CHIMNEY IS 3600mm (11'-10") ABOVE LAST POINT OF LATERAL SUPPORT
COMBUSTION AIR SUPPLY TO FIREPLACE MIN. 100mm (4") DIA. INSULATED NON-COMBUSTIBLE DUCT WITH CREARABLE DAMPER AND INSERT SCREEN 50mm (2") CLEARANCE TO COMBUSTIBLES.
- 27 SMOKE ALARM AND CARBON DIOXIDE SMOKE ALARMS AND CARBON DIOXIDE TO BE INSTALLED ON EACH STOREY, INCLUDING BASEMENTS, AND TO BE LOCATED IN EACH SLEEPING ROOM OR A LOCATION BETWEEN THE SLEEPING ROOMS. SMOKE ALARMS SHALL BE WIRED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND.
- 30 STONE OR BRICK VENER 1 1/2" VENEER.
VENEER TO BE INSTALLED WITH MORTAR ON REINFORCEMENT MESH.
1/2" CEDAR BREATHER TO BE USED AS AIR SPACE UNDER REINFORCING MESH.
REINFORCEMENT MESH TO BE SCREWED TO CONCRETE BOARD.
4" STONE VENEER.
STONE VENEER TO ATTACH TO CONCRETE BLOCK WALL WITH METAL TIES @ 400mm (16") O.C. HORIZ., 600mm (24") O.C. VERTICAL.
- 33 HORIZONTAL SIDING 6" BEVL. HORIZONTAL WOOD SIDING, PAINT ALL SIDES
- 43 CABINETS CABINETS AND MILLWORK AS PER DRAWINGS.
UPPER CABINETS LIGHTING TO BE COORDINATED WITH OWNER AND BUILDING DESIGNER.
BATHROOM VANITY AND MILLWORK AS PER CABINETS MANUFACTURER'S LAYOUT, C/W FULL HEIGHT VANITY MIRROR.
BATHROOM VANITY TO BE COORDINATED WITH OWNER AND BUILDING DESIGNER.
MANUFACTURER TO CONFIRM LOCATION OF APPLIANCES WITH OWNER AND BUILDING DESIGNER.
- 44 SEPARATION OF GARAGE SEPARATION OF GARAGES SHALL CONFORM TO 9.10.9.16
AN AIR BARRIER SHALL BE INSTALLED BETWEEN THE GARAGE AND THE REMAINDER OF THE BUILDING TO PROVIDE AN EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES
- 46 WOOD FLOORING 3/4" TONGUE AND GROOVE WOOD FLOOR TO BE COORDINATED WITH OWNER AND BUILDING DESIGNER.
- 47 TILE FLOOR 1/2" TILE FLOOR TO BE COORDINATED WITH OWNER AND BUILDING DESIGNER.
TILE FLOOR TO BE PLACED ON UNDERLAY.
- 54 INTERIOR FINISH TRIM TO BE APPROVED BY OWNER AND BUILDING DESIGNER.
LINEN CLOSET PROVIDE 5 ADJUSTABLE WOOD SHELVES
CLOSET FINISH ROD & SHELF EXCEPT FOR MASTER BEDROOM WALK IN CLOSETS, WILL HAVE CUSTOM BUILT-INS TO LATER DETAIL.
- 59 MDF WALL CONSTRUCTION 1X8" T&G MDF WALL WALL TO HAVE SQUARE NICKEL REVEAL

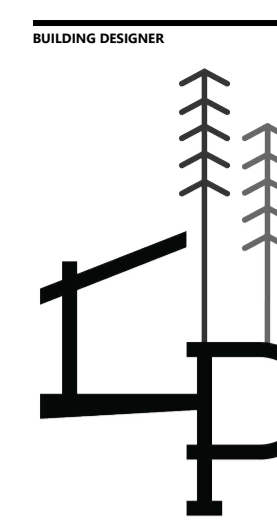


FOR INFORMATIONAL PURPOSES ONLY



ROOM SCHEDULE - LEVEL 1 - FINISH

Name	Level	Area	Volume	Perimeter	Height	Wall Finish	Floor Finish	Ceiling Finish	Base Finish
MUSKOKA ROOM	1ST FL.	244 SF	0.00 CF	61'-8 3/4"	8'-0"	TBD BY CLIENT	TBD BY CLIENT	TBD BY CLIENT	TBD BY CLIENT
Grand total:	1	244 SF	0.00 CF	61'-8 3/4"					



CORBIN PATTEN DESIGNS
1150 HWY. #141, ROSSELL, ON
DESIGN@CORBINPATTEN.COM
877-562-1999

REVISION SCHEDULE
DATE DESCRIPTION
1 2023 0108 DESIGN APPROVAL
2 2023 1215 ISSUED FOR PERMIT

CLIENT: DORACIN
PROJECT: COTTAGE ADDITION
ISSUED FOR PERMIT ON 2023_1215

1ST FL. PLAN / DEMO
SHEET SIZE: ARCH C 24" X 18"
DRAWN BY: CM | CHECKED BY: JM, CP
PROJECT NUMBER: 2112
ADDRESS: 1182 ASHFORTH DR, MUSKOKA LAKES, ON
2024-03-25 2:57:23 PM

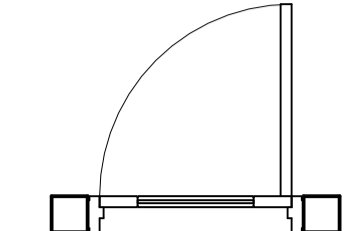
A201
C.D. DRAFT

NOT TO SCALE

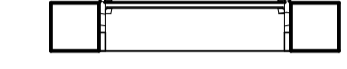
GENERAL NOTES - EXISTING/DEMO PLANS

- PRIOR TO DEMOLISHING ANY EXISTING COMPONENTS, CONTRACTOR TO VERIFY ANY EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL SERVICES THAT MAY BE WITHIN DEMOLITION SCOPE ARE DISCONNECTED AND DEEMED SAFE TO DEMOLISH.
 - CONTRACTOR TO VERIFY ANY PARTITIONS AND WALLS ARE NOT LOAD BEARING PRIOR TO THE DEMOLITION OF THESE WALLS. IF THEY ARE LOAD BEARING THEN NOTIFY THE BUILDING DESIGNER AND ENGINEER PRIOR TO ANY DEMOLITION WORK.
 - ALL SURFACES TO BE BROUGHT TO SAFE AND CLEAN CONDITION AFTER DEMOLITION OF ANY PARTITIONS, WALLS, FLOORS AND CEILINGS AND OTHER BUILDING COMPONENT ELEMENTS.
 - ALL EXISTING STRUCTURE INCLUDING LOAD BEARING WALLS, BEAMS, RAFTERS, JOISTS, LINTELS, COLUMNS, FOUNDATIONS, AND FOOTINGS TO BE VERIFIED FOR THEIR STRUCTURAL STABILITY. ALL SHORTCOMINGS INCLUDING SAGS OF DECKAY, WROUGHT, PERMANENT BENDING, AND ANYTHING ELSE DEEMED TO NOT MEET CURRENT BUILDING CODE STANDARDS SHOULD BE REPAIRED AND BROUGHT IN COMPLIANCE. ALL STRUCTURAL ISSUES TO BE BROUGHT TO THE ATTENTION BUILDING DESIGN AND ENGINEER.

WALLS TO BE REMOVED AND DEMOLISHED UNLESS NOTED OTHERWISE

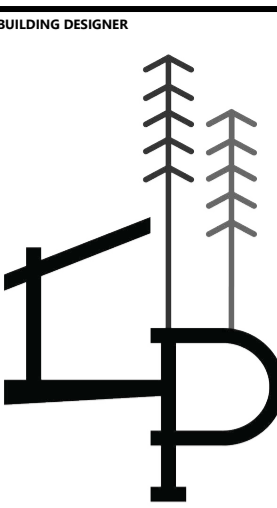


DOORS TO BE REMOVED AND DEMOLISHED UNLESS NOTED OTHERWISE



WINDOWS TO BE REMOVED AND DEMOLISHED UNLESS NOTED OTHERWISE

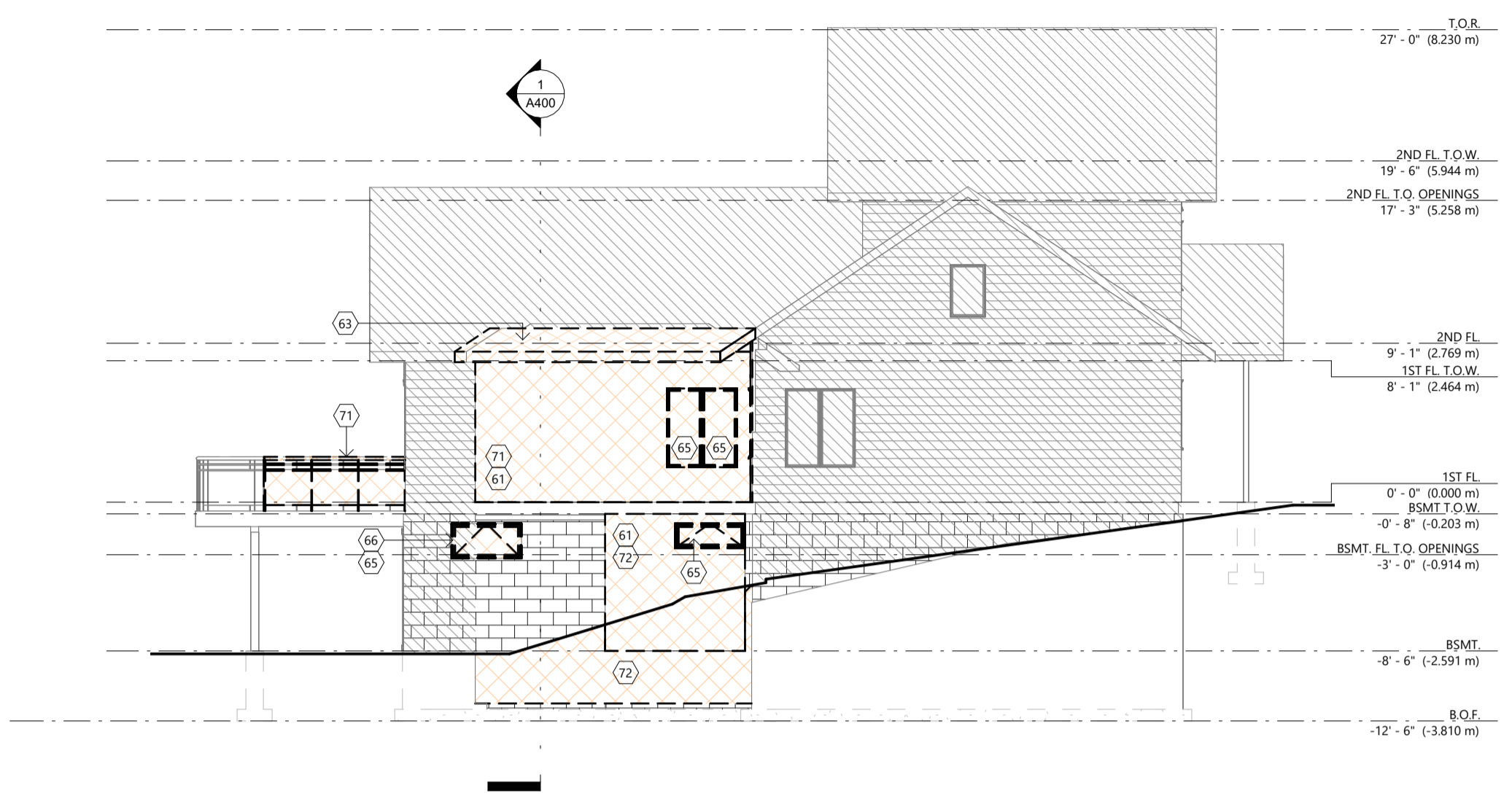
- 61 DEMOLISH WALL
- 62 DEMOLISH FLOOR
- 63 DEMOLISH ROOF
- 64 DEMOLISH STRUCTURE
DEMOLISH BEAM, JOIST, COLUMN, FOUNDATION
- 65 DEMOLISH WINDOW / OPENING
- 66 FILL IN WALL / OPENING
- 67 DEMOLISH ELECTRICAL AND RELOCATE ELECTRICAL AND / OR ELECTRICAL PANEL
- 68 SAW CUT FLOOR FOR NEW PLUMBING / ELECTRICAL
- 69 SHORE STRUCTURE
LOAD BEARING WALLS, FLOORS, AND ROOF TO BE SHORED WHERE APPLICABLE PRIOR TO DEMOLISHING
- 70 DEMOLISH STAIRS
STAIRS TO BE REMOVED AND CONTRACTOR TO PROVIDE TEMPORARY RAILING AROUND OPENING
- 71 SAFETY RAILING
CONTRACTOR TO BUILD SAFETY RAILINGS IN OPENINGS WHERE APPLICABLE UNTIL AREA IS MADE ECODE COMPLIANT
- 72 WALL TO BE ALTERED, EXTERIOR MATERIAL TO BE REMOVED, NEW OPENINGS TO BE PROVIDED.
- 73 DEMOLISH FIREPLACE
REMOVE FIREPLACE IN ITS ENTIRETY. PATCH ROOF AS REQUIRED



CORBIN PATTEN DESIGNS
 1150 HWY. #141, ROSSFALL, ON
 DESIGN@CORBINPATTEN.COM
 877.562.1959

INTERIOR DESIGNER

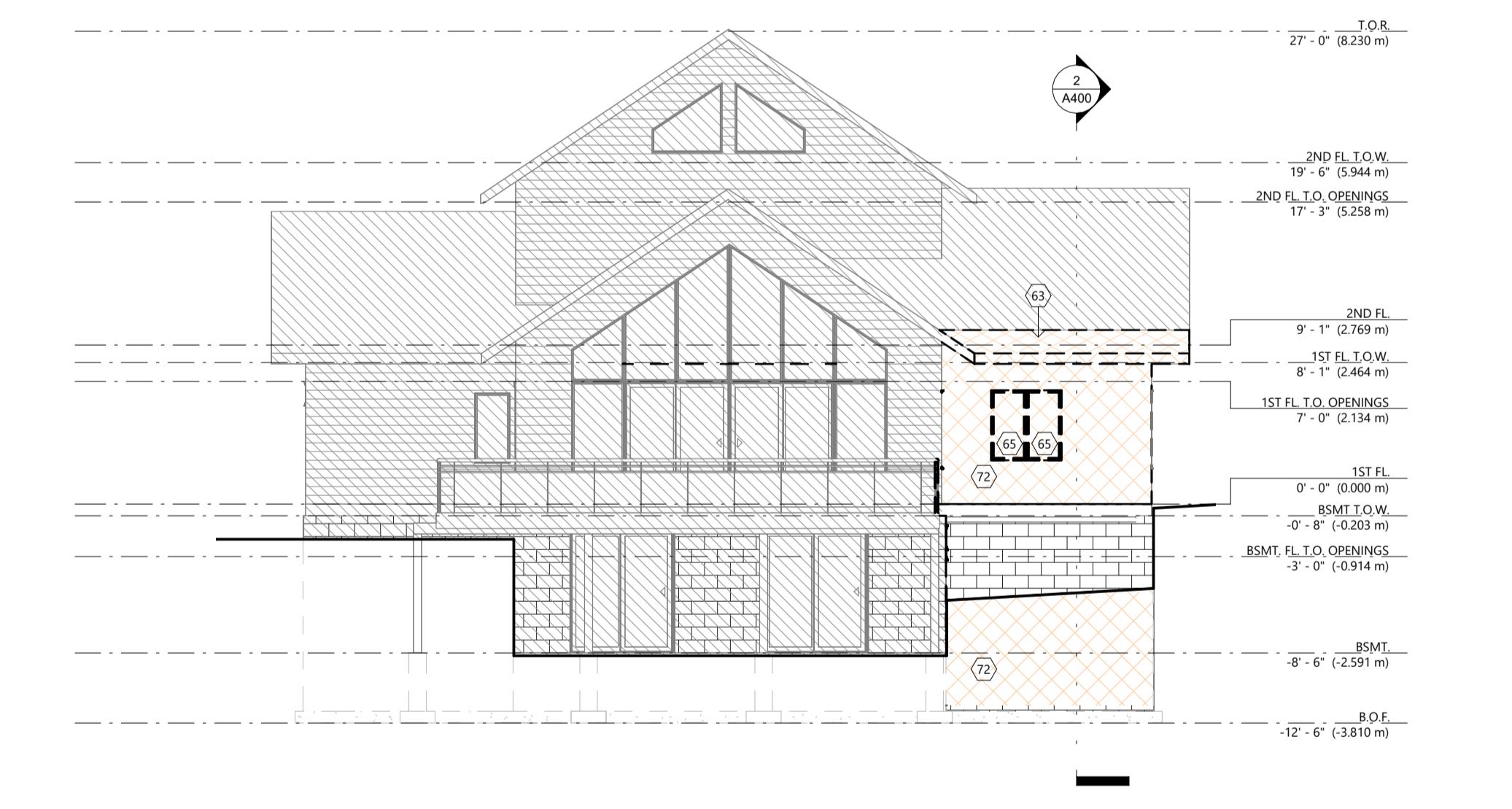
ENGINEER



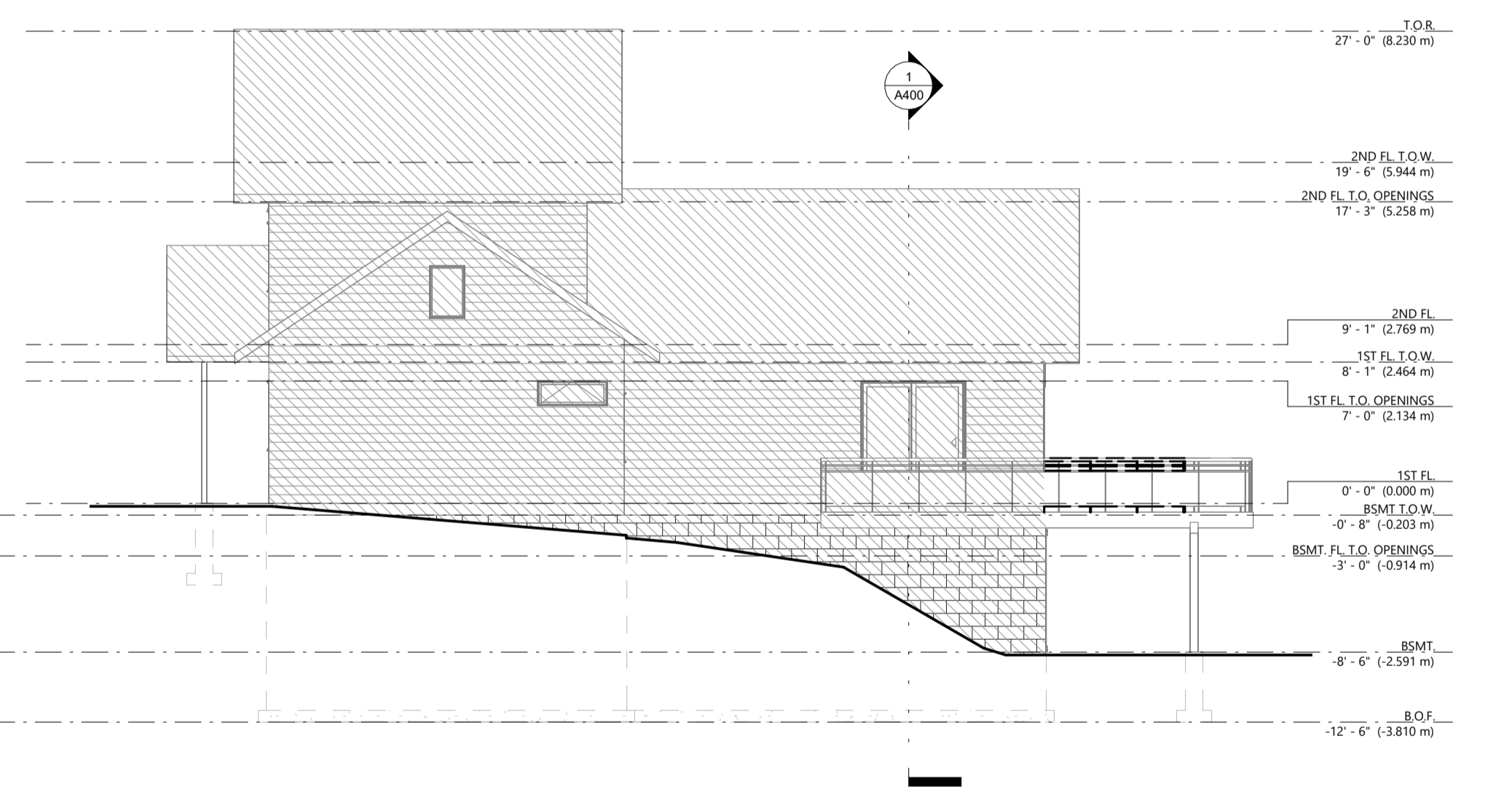
1 EAST ELEVATION - EXISTING / DEMO
 1/8" = 1'-0"



2 NORTH ELEVATION - EXISTING / DEMO
 1/8" = 1'-0"



3 SOUTH ELEVATION - EXISTING / DEMO
 1/8" = 1'-0"



4 WEST ELEVATION - EXISTING / DEMO
 1/8" = 1'-0"

REVISION SCHEDULE	
#	DATE
1	2022.09.08 DESIGN APPROVAL
2	2023.12.15 ISSUED FOR PERMIT

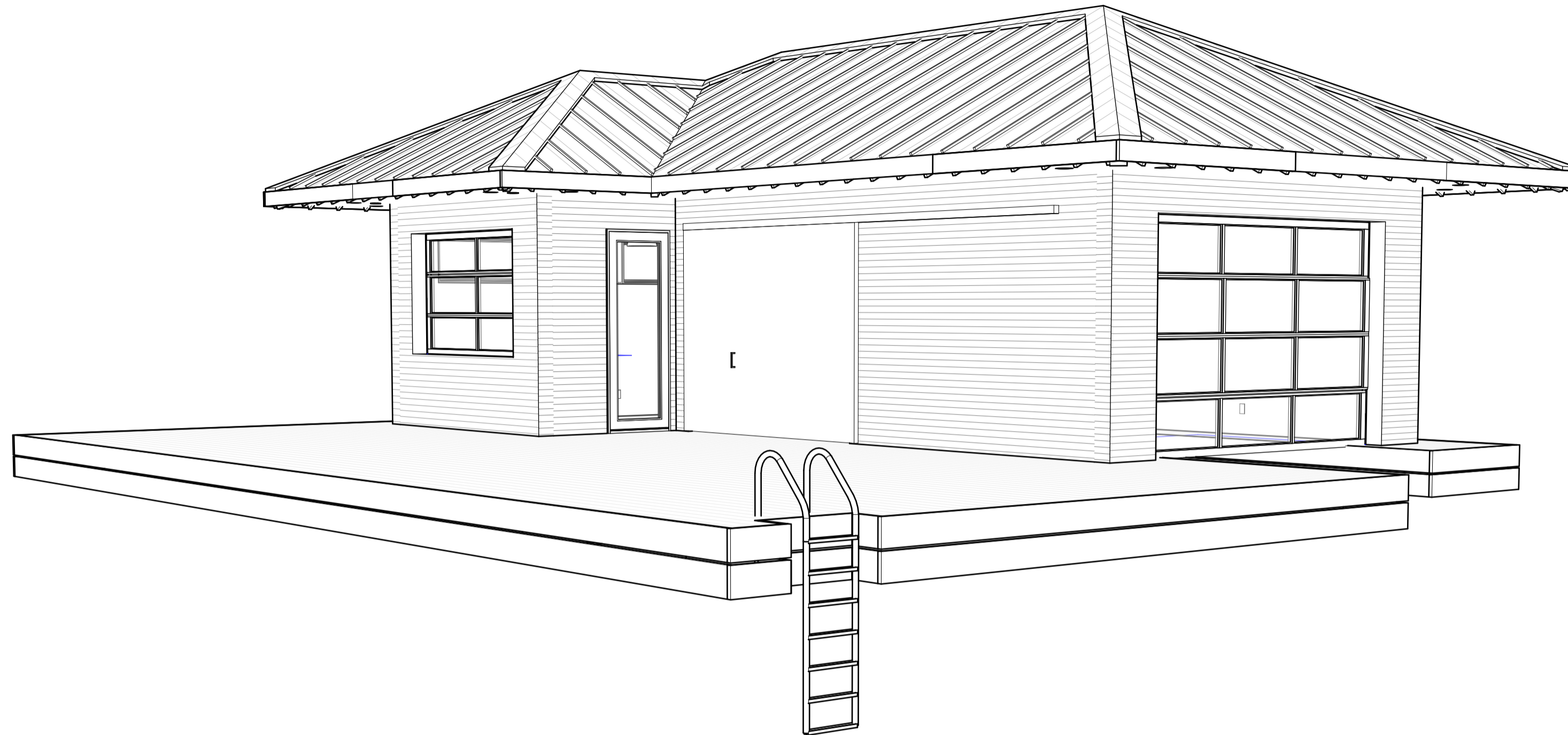
CLIENT: DORACIN
 PROJECT: COTTAGE ADDITION
 ISSUED FOR PERMIT ON 2023_1215

EXISTING ELEVATIONS
 SHEET SIZE: ARCH C 24" X 18"
 DRAWN BY: CM | CHECKED BY: JM, CP
 PROJECT NUMBER: 2112
 ADDRESS: 1182 ASHFORTH DR, MUSKOKA LAKES, ON
 2024-03-25 2:57:27 PM

A300
 C.D. DRAFT

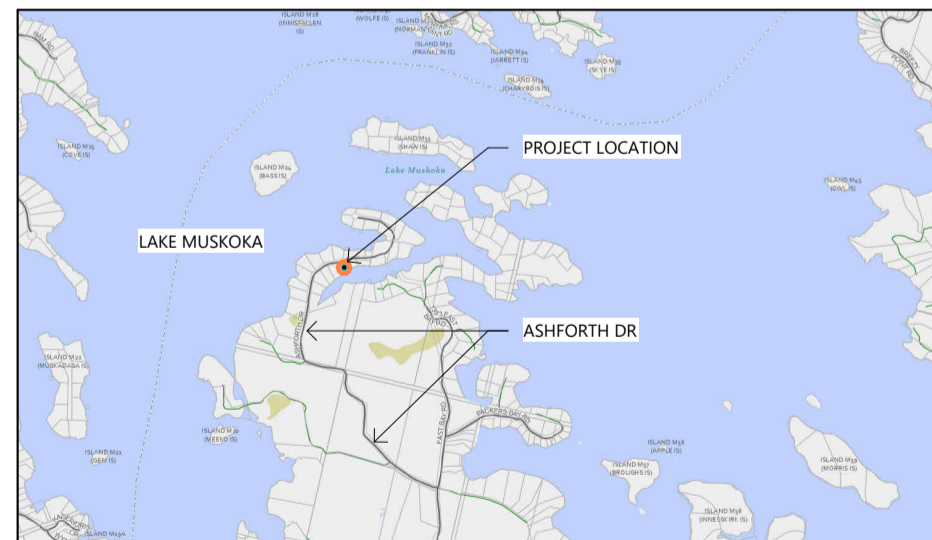
FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE



FOR INFORMATIONAL PURPOSES ONLY

LOCATION MAP



SHEET LIST

#	SHEET NAME
A000	COVER SHEET
A001	NOTES AND LEGENDS
A100	SITE PLAN
A200	1ST FL DOCK PLAN
A201	1ST FL BH & ROOF PLAN
A300	N/S ELEVATIONS
A301	E/W ELEVATIONS
A400	LONGITUDINAL SECTIONS
A401	LATITUDINAL SECTIONS
A500	DETAILS
E100	1ST FL LIGHTING/POWER

AREA

Name	Area	Area (SM)
SITE AREA (OVERALL & FIRST 61M)	26270 SF	2440.54 m ²
EXISTING COTTAGE	1645 SF	152.80 m ²
PROPOSED BOATHOUSE	653 SF	60.63 m ²
PROPOSED GARAGE	286 SF	26.57 m ²
PROPOSED COTTAGE ADDITION	285 SF	26.46 m ²

REVISION SCHEDULE

#	DATE	DESCRIPTION
1	2021_0512	DESIGN APPROVAL
2	2021_0512	ISSUED FOR ENG.
3	2021_0811	ISSUED FOR DOCK PERMIT
4	2022_0105	ISSUED FOR BIDDING
5	2023_0531	ISSUED FOR BH. PERMIT

OWNER

FRANK AND ELIZABETH DORACIN
 1182 ASHFORTH DRIVE, MUSKOKA LAKES, ON, POC 1M0
 P .
 E FRANK@DORACINTSL.COM
 CONTACT FRANK DORACIN

CONTRACTOR

TBD
 P .
 E .
 CONTACT .

DESIGNER

CORBIN PATTEN DESIGNS
 1150 HWY. #141, ROSSEAU, ON
 P 877.562.1959
 E DESIGN@CORBINPATTEN.COM
 CONTACT CORBIN PATTEN

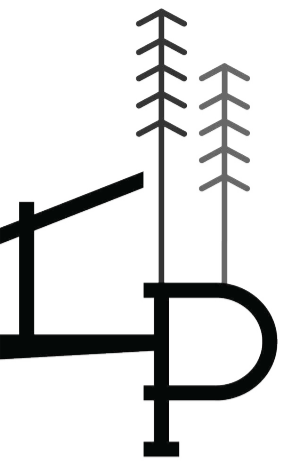
ENGINEER

DE KONING GROUP
 3-3 LEE VALLEY DRIVE, PORT CARLING, ON, POB 1J0
 P 705.646.3800
 E DEKONINGGROUP.COM
 CONTACT NICK DE KONING

BOATHOUSE DORACIN

1182 ASHFORTH DR, MUSKOKA LAKES, ON

BUILDING DESIGNER



CORBIN PATTEN DESIGNS

1150 HWY. #141, ROSSEAU, ON
DESIGN@CORBINPATTEN.COM
877.562.1959

INTERIOR DESIGNER

ENGINEER

CLIENT: DORACIN

PROJECT: BOATHOUSE

COVER SHEET

SHEET SIZE: ARCH C 24" X 18"
 DRAWN BY: CM, JM | CHECKED BY: JM, CP
 PROJECT NUMBER: 2113
 ADDRESS: 1182 ASHFORTH DR, MUSKOKA LAKES, ON
 2023-11-02 4:16:29 PM

A000

C.D. SET

ROOM SCHEDULE - LEVEL 1 - FINISH

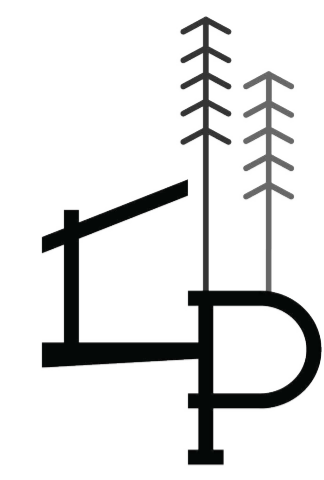
Name	Level	Area	Volume	Perimeter	Height	Wall Finish	Floor Finish	Ceiling Finish	Base Finish
BOATHOUSE SLIP AREA	1ST FL. DOCK	607 SF	Not Computed	113' - 2"	8' - 0"				
		607 SF	0.00 CF	113' - 2"					
Grand total:		607 SF	0.00 CF	113' - 2"					

NOT TO SCALE

GENERAL NOTES - PLANS

- ALL DIMENSIONS ARE TO THE EDGE OF THE STUD AND DO NOT INCLUDE FINISH MATERIALS.
- ALL CONCRETE TO BE 24 MPa UNLESS SPECIFIED ON DRAWINGS.
- 5 EXTERIOR WALLS
EXTERIOR FINISH AS SPECIFIED.
1/2" STRAPPING TO BE FASTENED AND ALIGNED WITH STUDS SPACED AT 16" O.C.
AIR BARRIER
1/2" PRESSURE TREATED PLYWOOD SHEATHING
PRESSURE TREATED WALL STUDS TO BE SPACED AT 16" O.C. OR AS OTHERWISE SPECIFIED.
INSULATION REQUIRED AS PER WALL TYPE, BATT OR SPRAY FOAM INSULATION TO MEET DESIGN CRITERIA OR APPLICABLE CODES.
INTERIOR FINISH
DOUBLE PLATE @ TOP AND SINGLE PRESSURE TREATED PLATE @ BOTTOM.
WALLS TO BE BLOCKED HORIZONTALLY AT MID POINT.
- 19 LINTELS
L1 = 2 - 2" X 6", 1- PLY BUILT-UP POST
L2 = 3 - 2" X 6", 1- PLY BUILT-UP POST
L3 = 2 - 2" X 8", 1- PLY BUILT-UP POST
L4 = 3 - 2" X 8", 1- PLY BUILT-UP POST
L5 = 2 - 2" X 10", 1- PLY BUILT-UP POST
L6 = 2 - 2" X 12", 2- PLY BUILT-UP POST
L7 = 3 - 7 1/4" LVL, 2- PLY BUILT-UP POST
L8 = 3 - 9 1/2" LVL, 2- PLY BUILT-UP POST
L9 = 3 - 11 7/8" LVL, 2- PLY BUILT-UP POST
LINTELS OTHERWISE TO BE SPECIFIED BY ENGINEER OR TRUSS MANUFACTURER.
- 20 DOORS
DOORS TO HAVE A BLACK EXTERIOR FINISH OR AS SPECIFIED BY DRAWINGS SPECIFICATION TO BE APPROVED BY OWNER AND BUILDING DESIGNER.
ALL WINDOWS AND DOORS TO BE ALIGNED WITH THE TOPS AT THE SAME HEIGHT.
SEE SCHEDULE.
- 21 WINDOWS
WINDOWS TO HAVE A BLACK EXTERIOR AND BLACK INTERIOR FINISH OR AS SPECIFIED BY DRAWINGS
DOUBLE PANEL, LOW-E, AND GAS FILLED.
SPECIFICATION TO BE APPROVED BY OWNER AND BUILDING DESIGNER.
ALL WINDOWS AND DOORS TO BE ALIGNED WITH THE TOPS AT THE SAME HEIGHT.
SEE SCHEDULE.
- 22 EXTERIOR DECKS
EXTERIOR DECKS TO BE 2 X 8" CEDAR DECKING WITH 1/4" GAP.
- 23 RAILINGS
RAILING TO BE 42" (1.07M) IN HEIGHT WITH DISTANCE ABOVE GRADE MORE THAN 71" (1.8M) OTHERWISE RAILING TO BE 35 1/2" (0.9M) IN HEIGHT.
RAILING OPENINGS TO BE NOT MORE THAN 4" (0.1M).
- 27 SMOKE ALARM AND CARBON MONOXIDE
SMOKE ALARMS AND CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH STOREY, INCLUDING BASEMENTS, AND TO BE LOCATED IN EACH SLEEPING ROOM OR A LOCATION BETWEEN THE SLEEPING ROOMS. SMOKE ALARMS SHALL BE WIRED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND.
- 30 STONE OR BRICK VENEER
1.5" VENEER.
VENEER TO BE INSTALLED WITH MORTAR ON REINFORCEMENT MESH.
1/2" CEDAR BREATHER TO BE USED AS AIR SPACE UNDER REINFORCING MESH.
REINFORCEMENT MESH TO BE SCREWED TO CONCRETE BOARD.
4" STONE VENEER.
STONE VENEER TO ATTACH TO CONCRETE BLOCK WALL WITH METAL TIES @ 400mm (16") O.C. HORIZ. 600mm (24") O.C. VERTICAL.
- 33 HORIZONTAL SIDING
6" BEVEL HORIZONTAL WOOD SIDING, PAINT ALL SIDES.
- 43 CABINERY
CABINERY AND MILLWORK AS PER DRAWINGS.
UPPER CABINERY LIGHTING TO BE COORDINATED WITH OWNER AND BUILDING DESIGNER.
BATHROOM VANITY AND MILLWORK AS PER CABINERY MANUFACTURER'S LAYOUT. C/W FULL HEIGHT x VANITY WIDTH MIRROR.
BATHROOM VANITY TO BE COORDINATED WITH OWNER AND BUILDING DESIGNER.
MANUFACTURER TO CONFIRM LOCATION OF APPLIANCES WITH OWNER AND BUILDING DESIGNER.
- 54 INTERIOR FINISH
TRIM TO BE APPROVED BY OWNER AND BUILDING DESIGNER.
LINEN CLOSET PROVIDE 5 ADJUSTABLE WOOD SHELVES.
CLOSET FINISH, ROD & SHELF, EXCEPT FOR MASTER BEDROOM WALK IN CLOSETS, WILL HAVE CUSTOM BUILT-INS TO LATER DETAIL.
- 59 MDF WALL CONSTRUCTION
1X8" T&G MDF WALL. WALL TO HAVE SQUARE NICKEL REVEAL.

BUILDING DESIGNER



CORBIN PATTEN DESIGNS
1150 HWY. #141, ROSSEAU, ON
DESIGN@CORBINPATTEN.COM
877.562.1959

INTERIOR DESIGNER

ENGINEER

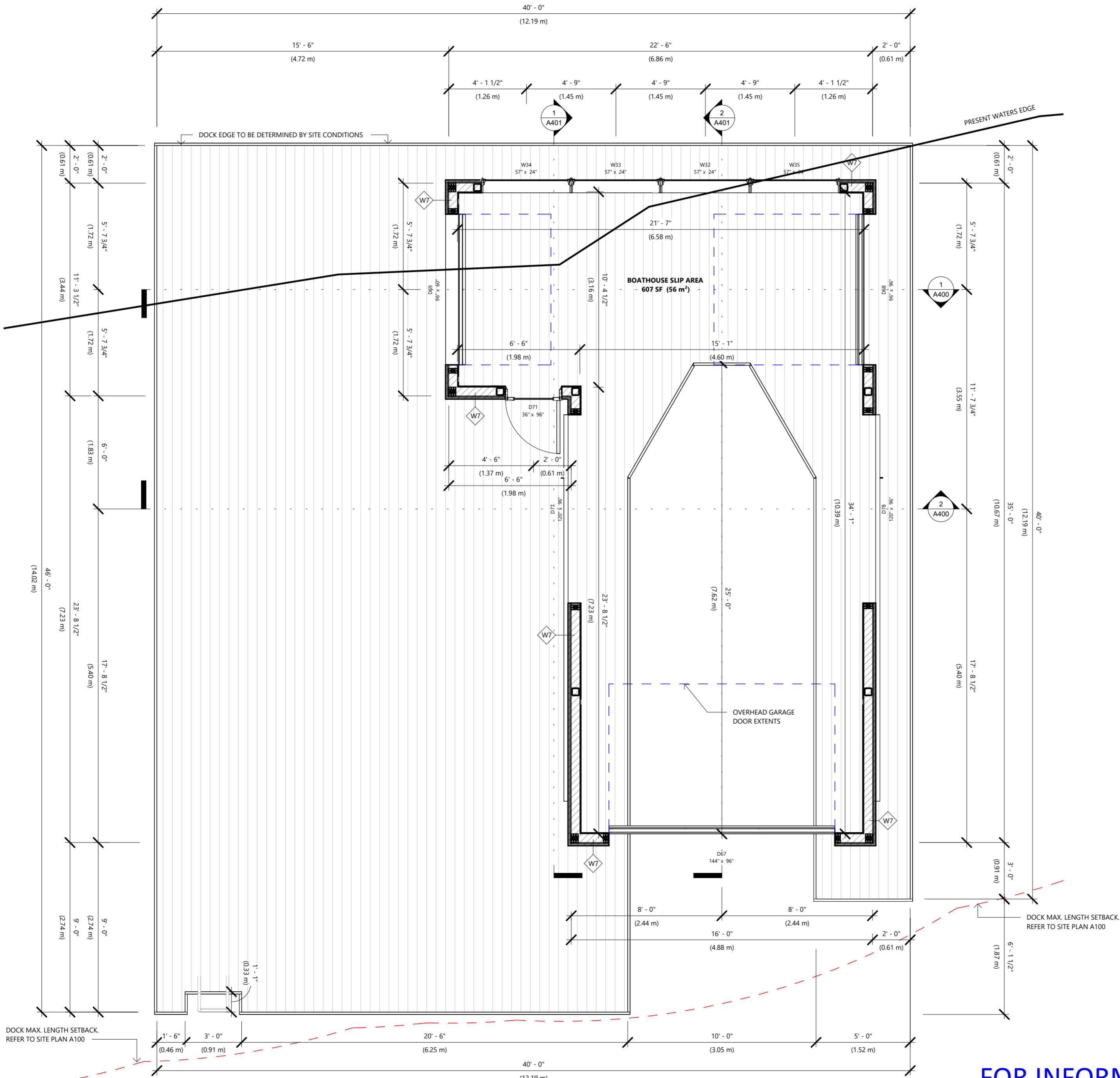
REVISION SCHEDULE

#	DATE	DESCRIPTION
1	2021_0512	DESIGN APPROVAL
2	2021_0512	ISSUED FOR ENG.
3	2021_0511	ISSUED FOR DOCK PERMIT
4	2022_0105	ISSUED FOR BIDDING
5	2023_0531	ISSUED FOR BH. PERMIT

CLIENT: DORACIN
PROJECT: BOATHOUSE
ISSUED FOR BH. PERMIT ON
2023_0531

1ST FL. DOCK PLAN
SHEET SIZE: ARCH C 24" X 18"
DRAWN BY: CM | CHECKED BY: JM, CP
PROJECT NUMBER: 2113
ADDRESS: 1182 ASHFORTH DR, MUSKOKA LAKES, ON
2023-11-02 4:18:33 PM

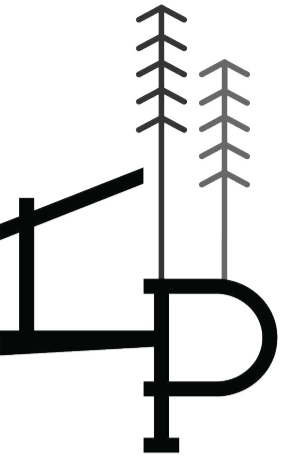
A200
C.D. SET



FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

BUILDING DESIGNER

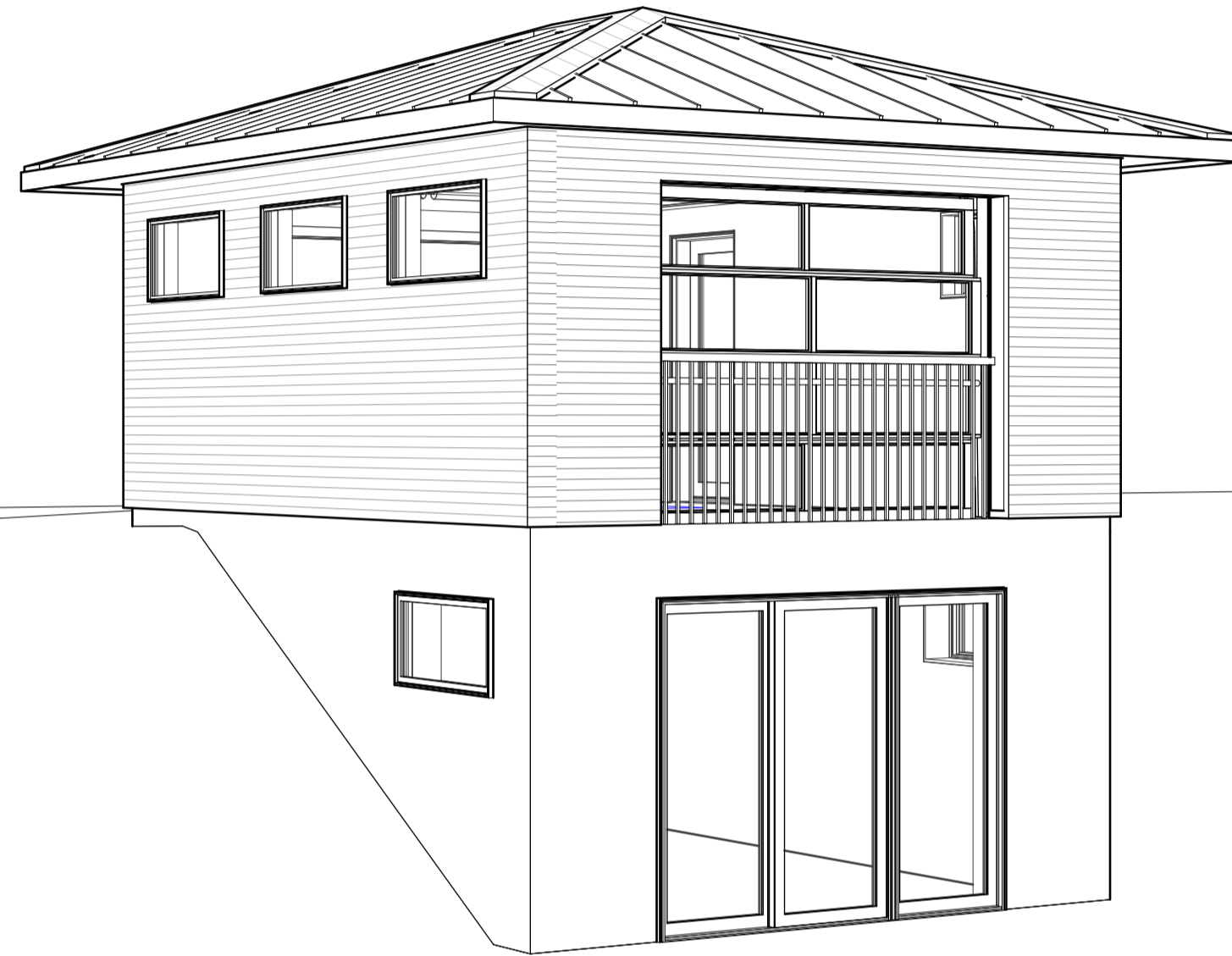


CORBIN PATTEN DESIGNS

1150 HWY. #141, ROSSEAU, ON
DESIGN@CORBINPATTEN.COM
877.562.1959

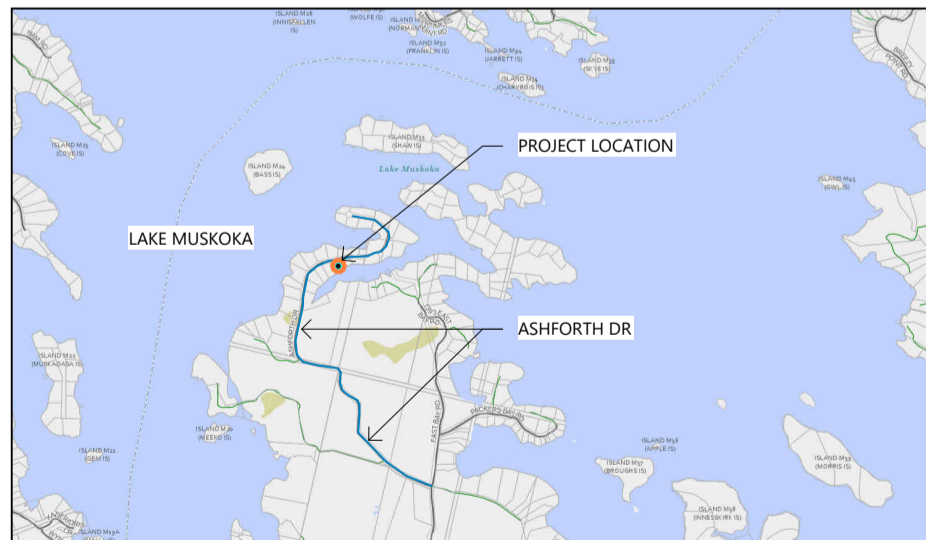
INTERIOR DESIGNER

ENGINEER



FOR INFORMATIONAL PURPOSES ONLY

LOCATION MAP



SHEET LIST

SHEET LIST

- # SHEET NAME
- A000 COVER SHEET
- A001 NOTES AND LEGENDS
- A100 SITE PLAN
- A200 PLAN
- A300 ELEVATIONS + 3D
- A400 SECTIONS & DETAILS
- E100 BSMT. & 1ST POWER & DATA
- E101 2ND POWER & DATA
- E200 BSMT. AND 1ST SWITCHING
- E201 2ND FL SWITCHING

SHEET LIST

- # SHEET NAME

SHEET LIST

- # SHEET NAME

AREA

Name	Level	Area	Area (SM)
SITE AREA (OVERALL & FIRST 61M)	1ST FL.	26270 SF	2440.54 m ²
EXISTING COTTAGE	1ST FL.	1645 SF	152.80 m ²
PROPOSED BOATHOUSE	1ST FL.	653 SF	60.63 m ²
PROPOSED GARAGE	1ST FL.	285 SF	26.48 m ²
PROPOSED COTTAGE ADDITION	1ST FL.	263 SF	24.41 m ²

REVISION SCHEDULE

#	DATE	DESCRIPTION
1	2022_0105	DESIGN APPROVAL
2	2023_0925	ISSUED FOR PERMIT

OWNER

FRANK AND ELIZABETH DORACIN
1182 ASHFORTH DRIVE, MUSKOKA LAKES, ON, POC 1M0
P
E FRANK@DORACINTSL.COM
CONTACT FRANK DORACIN

CONTRACTOR

TBD
P
E
CONTACT

DESIGNER

CORBIN PATTEN DESIGNS
1150 HWY. #141, ROSSEAU, ON
P 877.562.1959
E DESIGN@CORBINPATTEN.COM
CONTACT CORBIN PATTEN

ENGINEER

DE KONING GROUP INC.
3 ARMSTRONG POINT RD., PORT CARLING, ON, POB 1J0
P 705.640.3800
E NICK@DEKONINGGROUP.COM
CONTACT NICHOLAS DE KONING

CLIENT: DORACIN

PROJECT: GARAGE

GARAGE

DORACIN

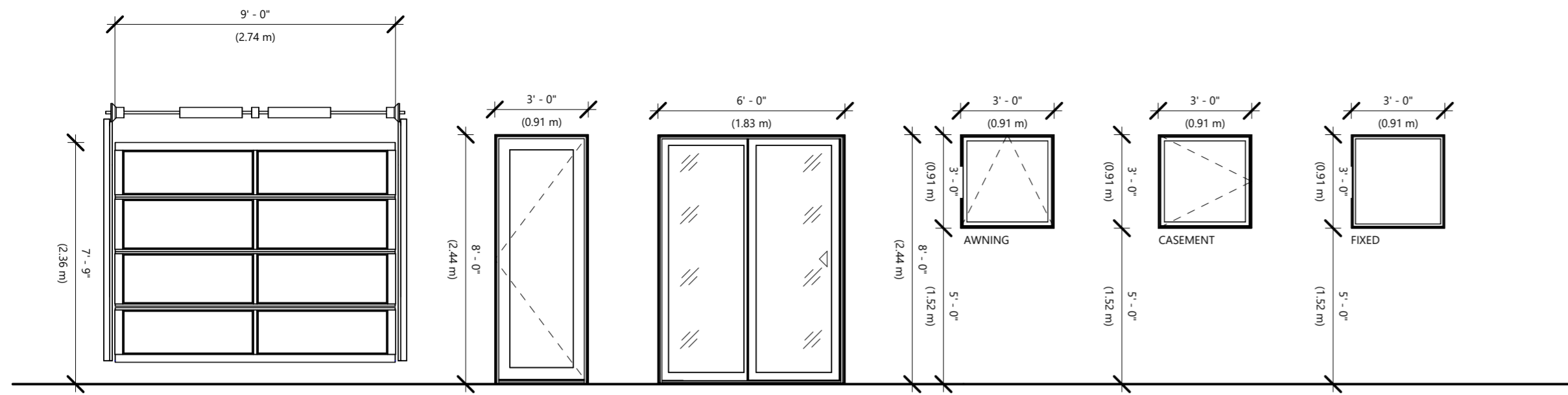
1182 ASHFORTH DR, MUSKOKA LAKES, ON

COVER SHEET

SHEET SIZE: ARCH C 24" X 18"
DRAWN BY: AUSTIN Y. | CHECKED BY: CORBIN P.
PROJECT NUMBER: 2114
ADDRESS: 1182 ASHFORTH DR, MUSKOKA LAKES, ON
2023-11-22 8:41:51 AM

A000

PERMIT SET

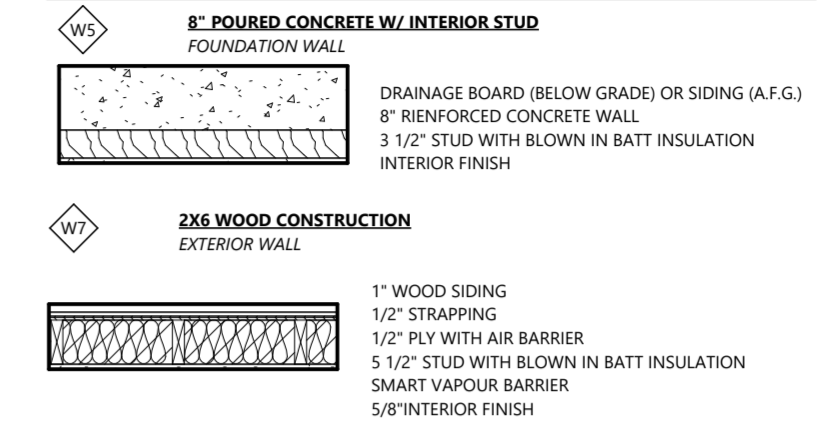


NOT TO SCALE

GENERAL NOTES - FRAMING

- GENERAL NOTES:
 - ALL DIMENSIONS ARE TO THE EDGE OF THE STUD AND DO NOT INCLUDE FINISH MATERIALS.
 - SITE SNOW LOAD: 60 PSF (TRUSS SUPPLIER TO CONFIRM)
 - ALL GABLE ENDS, LADDERS AND DORMERS WALLS ARE TO BE SITE FRAMED UNLESS SUPPLIED BY TRUSS SUPPLIER.
 - TRUSS SUPPLIER DRAWINGS SUPERCEDE ARCHITECTURAL ROOF & TRUSS DRAWINGS

WALL LEGEND

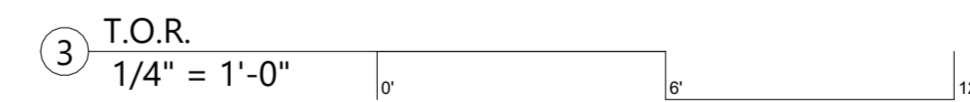
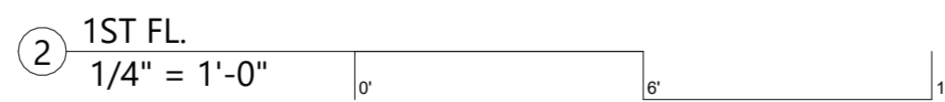
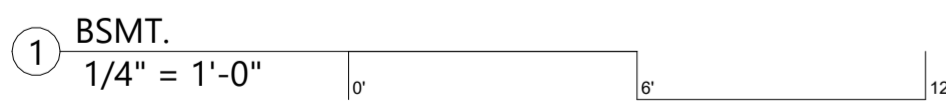
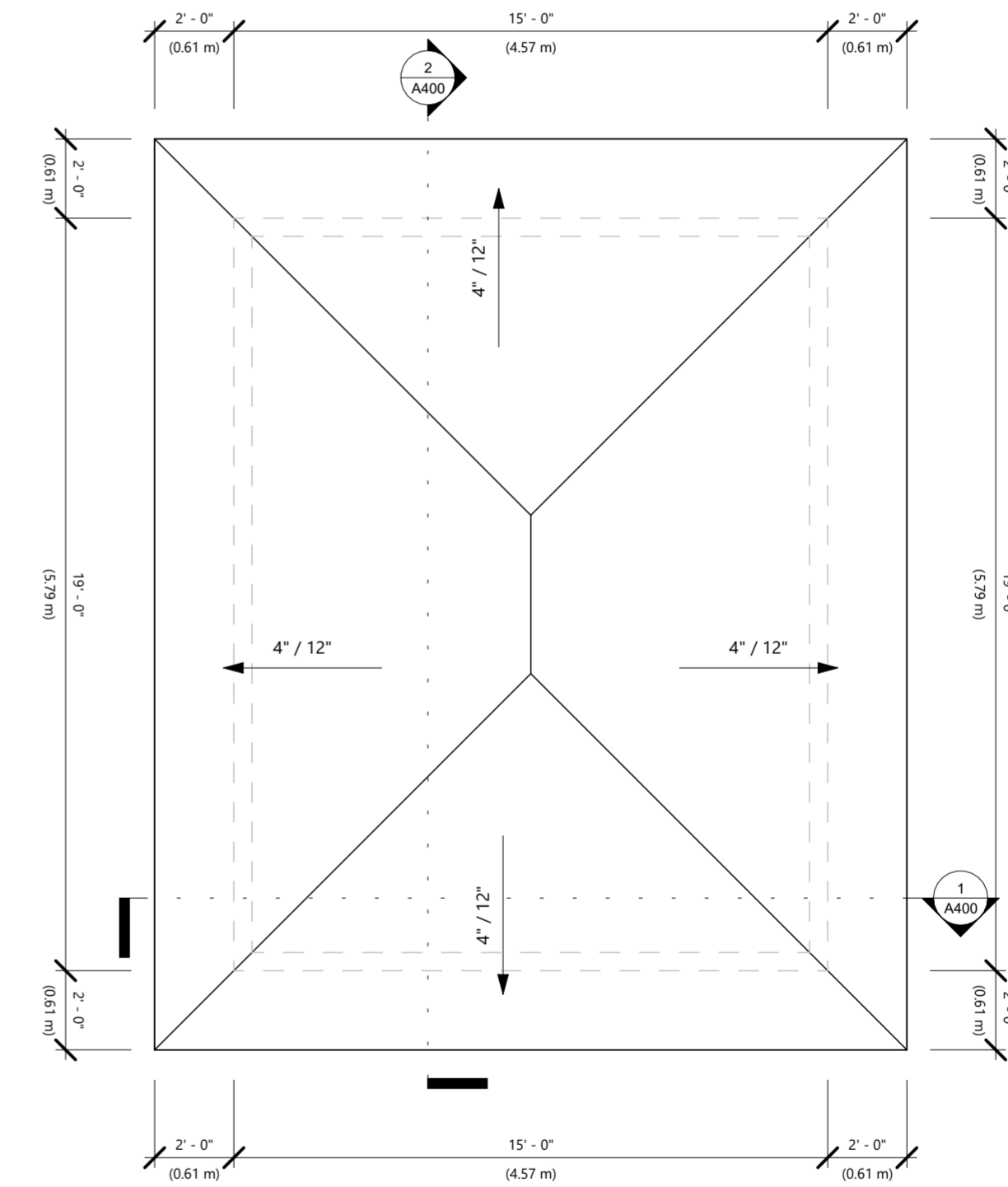
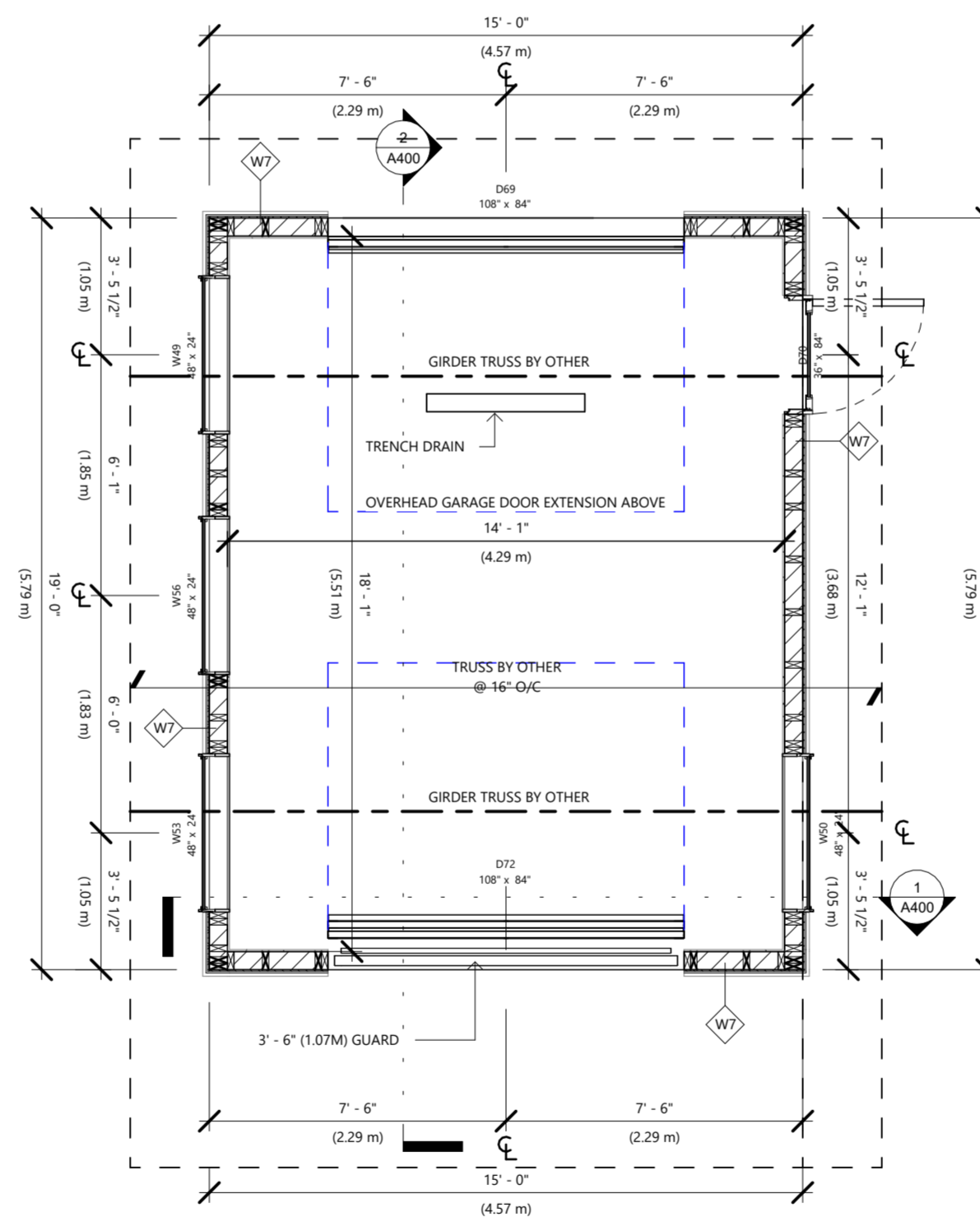
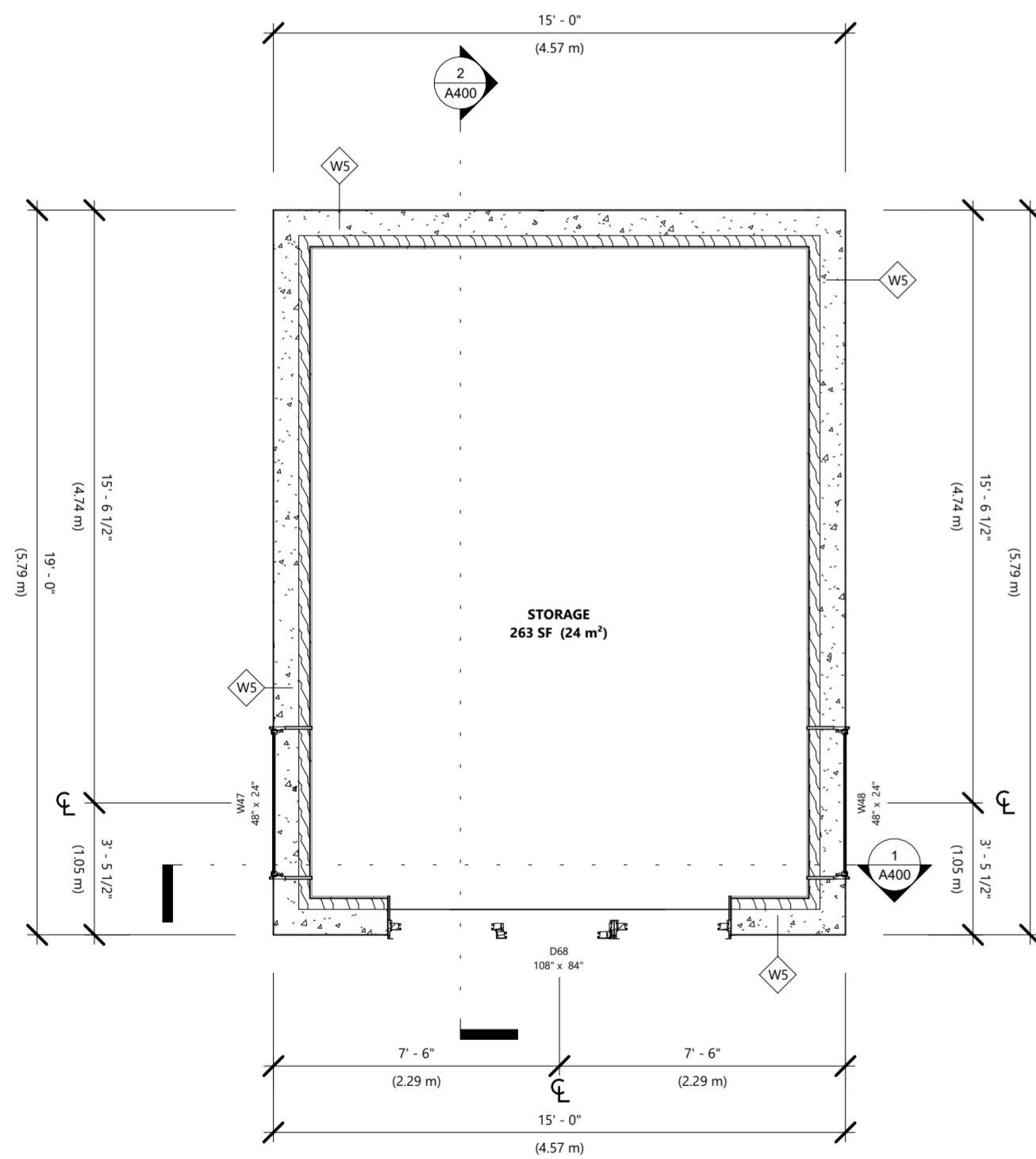


WINDOW SCHEDULE

#	Description	Level	Sill Height	Rough Width	Rough Height	Area
47	Window-Awning: 4' - 0" X 2' - 0"	BSMT.	5' - 0"	4' - 0 3/4"	2' - 0 3/4"	1 m ²
48	Window-Awning: 4' - 0" X 2' - 0"	BSMT.	5' - 0"	4' - 0 3/4"	2' - 0 3/4"	1 m ²
49	Window-Fixed: 4' - 0" X 2' - 0"	1ST FL.	5' - 0"	4' - 0 3/4"	2' - 0 3/4"	1 m ²
50	Window-Fixed: 4' - 0" X 2' - 0"	1ST FL.	5' - 0"	4' - 0 3/4"	2' - 0 3/4"	1 m ²
53	Window-Fixed: 4' - 0" X 2' - 0"	1ST FL.	5' - 0"	4' - 0 3/4"	2' - 0 3/4"	1 m ²
56	Window-Fixed: 4' - 0" X 2' - 0"	1ST FL.	5' - 0"	4' - 0 3/4"	2' - 0 3/4"	1 m ²
Grand total: 6						4 m ²

DOOR SCHEDULE - EXTERIOR

#	Description	Rough Width	Rough Height	Area	Level
68	Door-Slider-3_Panel: 9' - 0" X 7' - 0"	9' - 0 3/4"	7' - 0 3/4"	64 SF	BSMT.
70	Door-In-Swing-Single: 3' - 0" X 7' - 0"	3' - 0 3/4"	7' - 0 3/4"	22 SF	1ST FL.



ROOM SCHEDULE - BSMT. FINISH

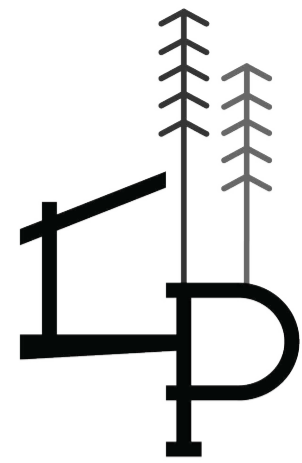
Name	Level	Area	Volume	Perimeter	Height	Wall Finish	Floor Finish	Ceiling Finish	Base Finish
STORAGE	BSMT.	263 SF	Not Computed	70' - 10"	8' - 0"				
		263 SF	0.00 CF	70' - 10"					
Grand total: 1		263 SF	0.00 CF	70' - 10"					

ROOM SCHEDULE - LEVEL 1

Name	Level	Area	Area M2
GARAGE	1ST FL.	270 SF	25 m ²
		270 SF	25 m ²
Grand total: 1		270 SF	25 m ²

FOR INFORMATIONAL PURPOSES ONLY

BUILDING DESIGNER



CORBIN PATTEN DESIGNS

1150 HWY. #141, ROSSEAU, ON
 DESIGN@CORBINPATTEN.COM
 877.562.1959

INTERIOR DESIGNER

ENGINEER

REVISION SCHEDULE

#	DATE	DESCRIPTION
1	2022_0105	DESIGN APPROVAL
2	2023_0925	ISSUED FOR PERMIT

CLIENT: DORACIN
 PROJECT: GARAGE

PLAN

SHEET SIZE: ARCH C 24" X 18"
 DRAWN BY: AUSTIN Y. | CHECKED BY: CORBIN P.
 PROJECT NUMBER: 2114
 ADDRESS: 1182 ASHFORTH DR, MUSKOKA LAKES, ON
 2023-11-22 8:41:58 AM

A200
 PERMIT SET

NOT TO SCALE

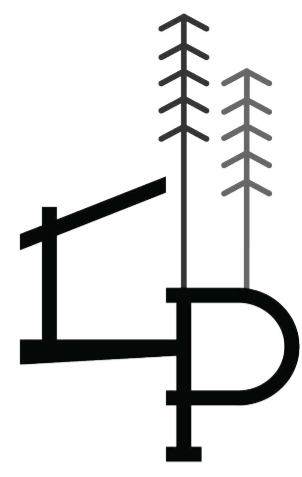
GENERAL NOTES - ELEVATIONS

REFER TO A001 FOR CODED NOTE DESCRIPTIONS

CODED NOTES - ELEVATIONS

- 2 FOUNDATION WALL
POURED FOUNDATION WALL
DRAINAGE BOARD (BELOW GRADE) OR SIDING (ABOVE GRADE)
8" REINFORCED CONCRETE WALL
WHERE FOUNDATION IS BELOW GRADE, DRAINAGE BOARD ON WATERPROOF MEMBRANE
5/8" (15M) REINFORCEMENT @ 12" VERTICAL AND HORIZONTAL PER ENGINEER
- 3 STUD ON FOUNDATION WALL INTERIOR
FOUNDATION WALL AS PER NOTE
1/2" SPACE BETWEEN STUD AND CONCRETE WALL
3 1/2" STUD WITH SPRAY FOAM INSULATION
INTERIOR FINISH AS PER DRAWINGS OR AS SPECIFIED BY BUILDING DESIGNER AND OWNER.
- 6 2X6 EXTERIOR WALL
EXTERIOR FINISH AS SPECIFIED.
1/2" STRAPPING TO BE FASTENED AND ALIGNED WITH STUDS SPACED AT 16" O/C.
EXTERIOR RIGID FOAM AS PER DRAWINGS, AMVIC SILVERBOARD RIGID FOAM INSULATION TO BE PLACED ON EXTERIOR OF SHEATHING TO ACT AS AIR BARRIER AND TO BE TAPED AT JOINTS.
AIR BARRIER
1/2" OSB OR PLYWOOD
5 1/2" WALL STUDS TO BE SPACED AT 16" O/C, OR AS OTHERWISE SPECIFIED.
INSULATION REQUIRED AS PER WALL TYPE, BATT OR SPRAY FOAM INSULATION TO MEET DESIGN CRITERIA OR APPLICABLE CODES.
INTERIOR FINISH
ADDITIONAL NOTES:
DOUBLE PLATE @ TOP AND SINGLE PLATE @ BOTTOM.
- 7 EXTERIOR RIGID INSULATION
CONTINUOUS RIGID FOAM INSULATION TO ACT AS AIR BARRIER AND TO BE TAPED AT JOINTS.
1" AMVIC SILVERBOARD RIGID INSULATION OR 1.5" ZIP R SHEATHING (1/2" OSB WITH 1" RIGID FOAM) TO BE DEFAULT EXTERIOR INSULATION OR AS SPECIFIED BY DRAWINGS.
- 10 FOOTINGS
ALL FOOTINGS TO REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL
FOUNDATION WALL FOOTINGS:
REINFORCED CONCRETE FOOTING SIZE AS SPECIFIED BY ENGINEER.
- 11 ROOF CONSTRUCTION
FINISHING ROOFING TYPE AS PER SPECIFICATION.
ROOF TRUSSES SPECIFIED BY TRUSS MANUFACTURER
- 12 OVERHANG CONSTRUCTION
PREFINISHED WOOD FOR SOFFIT FASCIA, TO MATCH EXISTING FINISHES. PROVIDE DRIP EDGE AT FASCIA AND SOFFIT VENT.
- 13 EAVES PROTECTION
EAVES PROTECTION MEMBRANE TO EXTEND FROM THE EDGE OF THE ROOF, 60" UP THE SLOPE BUT NOT LESS THAN 36" BEYOND THE INTERIOR FACE OF THE EXTERIOR WALL.
- 19 DOOR
DOORS TO HAVE A BLACK EXTERIOR FINISH OR AS SPECIFIED BY DRAWINGS
SPECIFICATION TO BE APPROVED BY BUILDING DESIGNER AND OWNER.
ALL WINDOWS AND DOORS TO BE ALIGNED WITH THE TOPS AT THE SAME HEIGHT.
SEE SCHEDULE
ADDITIONAL NOTES:
DOOR INTO GARAGE TO BE GAS PROOFED WITH SELF CLOSER AND WEATHER STRIPPING.
FOUNDATION WALLS TO BE CUT OUT FOR OVERHEAD DOOR, OR MAN DOOR ABOVE.
- 20 WINDOWS
WINDOWS TO HAVE A BLACK EXTERIOR FINISH OR AS SPECIFIED BY DRAWINGS
DOUBLE PANEL, LOW-E, AND GAS FILLED.
SPECIFICATION TO BE APPROVED BY BUILDING DESIGNER AND OWNER.
ALL WINDOWS AND DOORS TO BE ALIGNED WITH THE TOPS AT THE SAME HEIGHT.
SEE SCHEDULE.
- 33 HORIZONTAL SIDING
6" BEVEL HORIZONTAL WOOD SIDING, PAINT ALL SIDES
- 45 ROOF VENTING
CONTINUOUS VENTING TO PROVIDED AT RIDGE AND EAVE.
MIN. 1.5" AIR SPACE TO PROVIDED ON THE U/S OF SHEATHING FOR VENTILATION.

BUILDING DESIGNER



CORBIN PATTEN DESIGNS

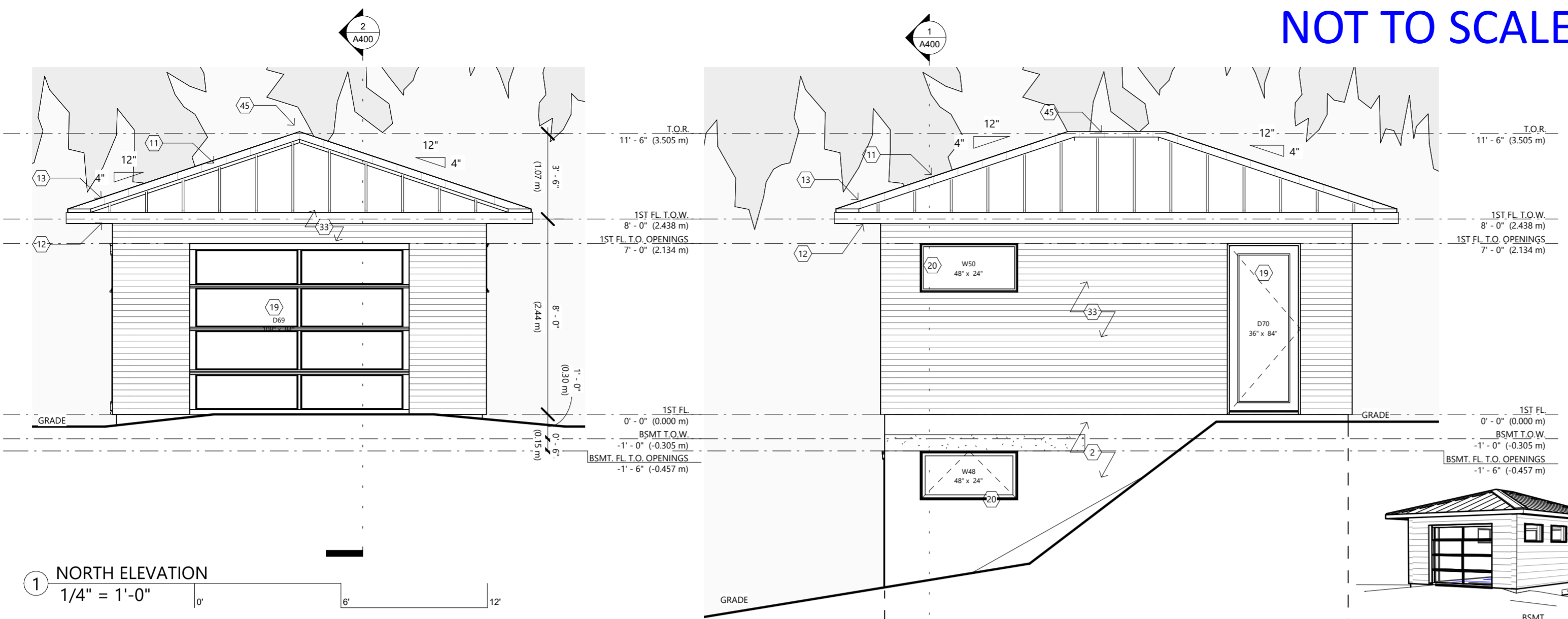
1150 HWY. #141, ROSSEAU, ON
DESIGN@CORBINPATTEN.COM
877.562.1959

INTERIOR DESIGNER

ENGINEER

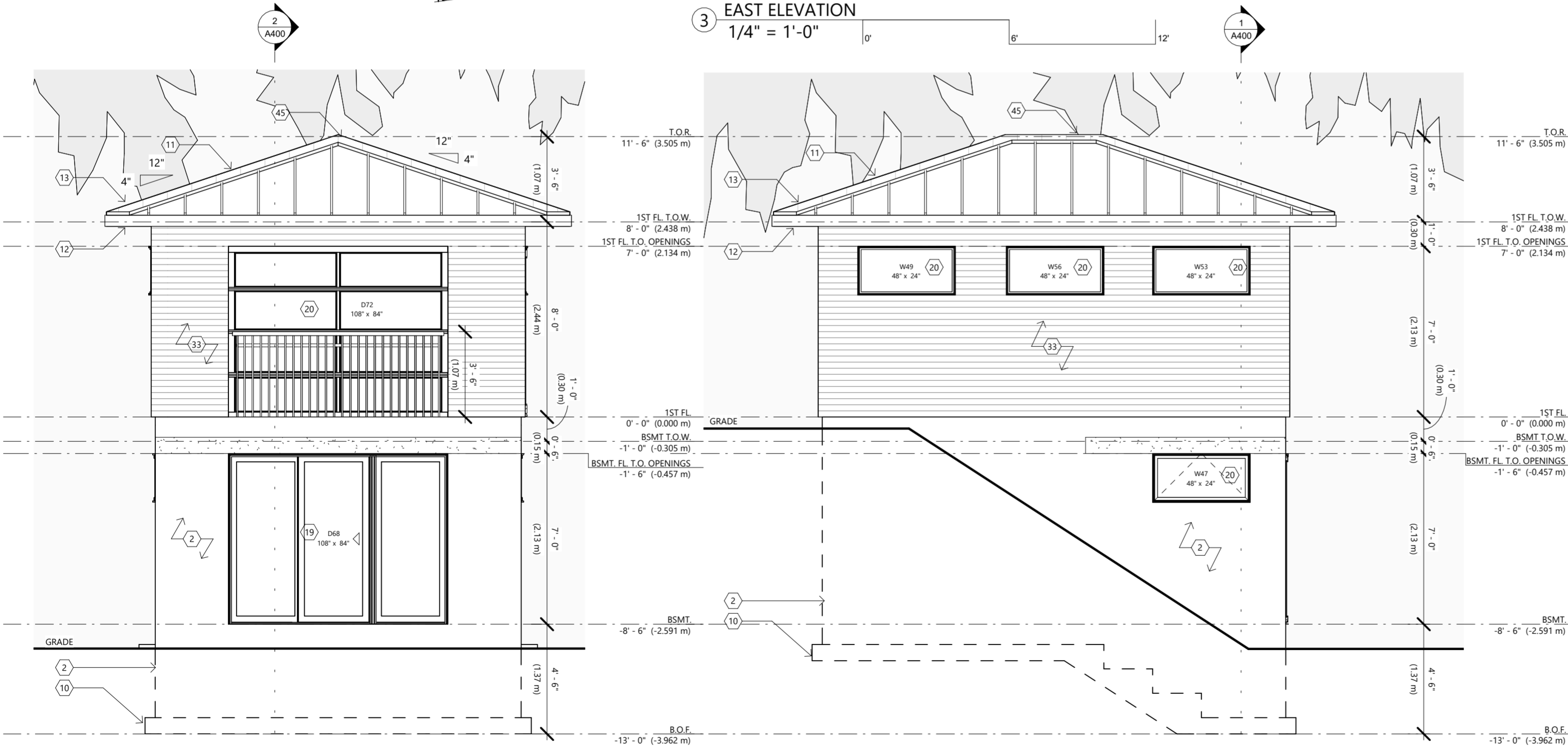
REVISION SCHEDULE

#	DATE	DESCRIPTION
1	2022_0105	DESIGN APPROVAL
2	2023_0925	ISSUED FOR PERMIT



1 NORTH ELEVATION
1/4" = 1'-0"

3 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

4 WEST ELEVATION
1/4" = 1'-0"

ROOF LEGEND

- R4 METAL ROOF
SLOPED CEILING, FINISHED
- ASPHALT SHINGLES - 25 YEAR
1/2" SPRUCE PLYWOOD + 1" CLIPS ON,
2" X 4" CROSS PURLINS FOR VENTILATION
RAFTERS AND CEILING JOISTS AS PER PLANS
MIN. R-31 MINERAL WOOL BATT INSULATION
LOCATE "RAFT-R-MATE" ATTIC RAFTER VENTS TO ENSURE
MIN. 2.5" AIR FLOW SPACE
BETWEEN T.O. INSUL. AND B.O. PURLINS AT RAFTER-TO-WALL INTERSECTIONS.
CONTINUOUS SMART VAPOUR BARRIER
5/8" INTERIOR FINISH

CLIENT: DORACIN

PROJECT: GARAGE

ELEVATIONS + 3D

SHEET SIZE: ARCH C 24" X 18"
DRAWN BY: AUSTIN Y. | CHECKED BY: CORBIN P.
PROJECT NUMBER: 2114
ADDRESS: 1182 ASHFORTH DR, MUSKOKA LAKES, ON
2023-11-22 8:42:02 AM

A300
PERMIT SET

FOR INFORMATIONAL PURPOSES ONLY