



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES **COMMITTEE OF ADJUSTMENT**

NOTICE OF HEARING OF AN APPLICATION FOR CONSENT

To consider an application for consent for a proposed land severance pursuant to Section 53 of the Planning Act, R.S.O., 1990, Chapter P.13, as amended.

This notice has been sent to you for your information and does not require any response unless you wish to make one.

Hearing Date: Monday, April 8th, 2024 at 9:00 a.m.

File #.: B/10/24/ML

Roll #: 2-24-053-01

Owners: Henry Wolfond and Rochelle Reichert, Suite 2900, 199 Bay Street, P.O. Box 459 Station Commerce Court, Toronto, ON, M5L 1G4

Civic Address: 1379 Rostrevor Road, Unit #2

Legal Description: Part of Lot 32, Concession 10, Parts 1 to 3, Plan 35R-14999, (Watt)

Lake/River: Lake Rosseau (Category 1 Lake)

Zoning: Waterfront Residential (WR5-7)

Zoning Schedule: 22

EXPLANATION OF THE PURPOSE AND EFFECT: Through Consent Application B/10/24/ML, the applicants propose to grant an easement to Bell Canada for telecommunications infrastructure (pole line).

A KEY MAP of the subject property and the applicants' consent sketch are included in this notice.

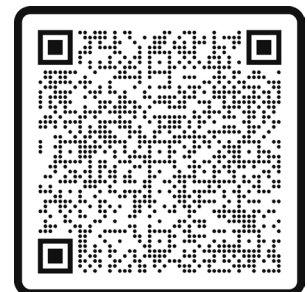
TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.**

ZOOM Guide

More information about viewing and/or participating in the zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

Electronic Version of Notice of Hearing

Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code:





Submit Comments in Writing

Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.



Active Verbal Participation in Person or on Zoom

Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit:

www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.



Watch the Meeting Online

You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

For more information, please contact the Planning Department weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

FAILURE TO PARTICIPATE: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

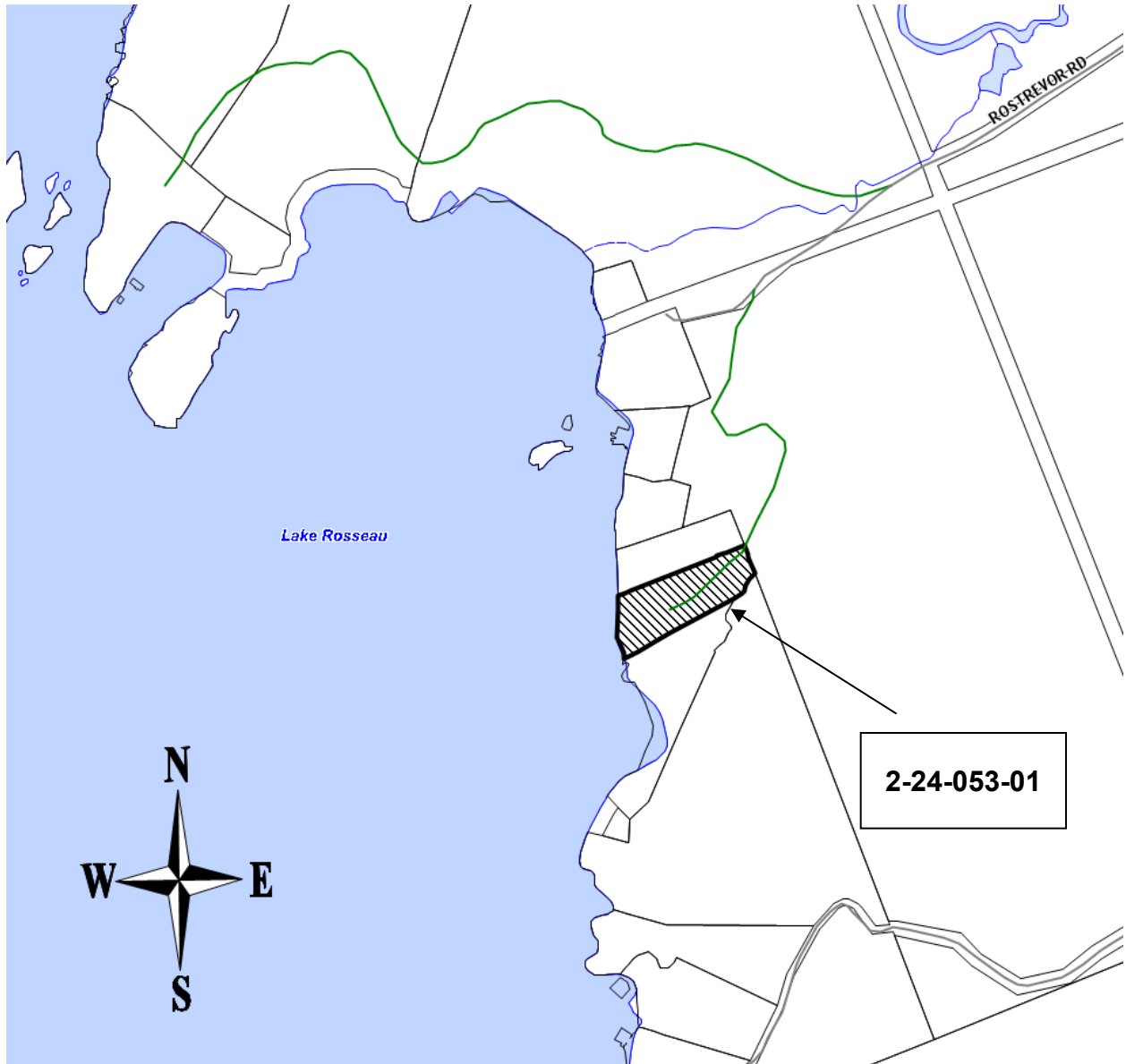
DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, no one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed consent. If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent does not make written submissions to the Committee of Adjustment before it gives or refuses to give a provisional consent, the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 22nd day of March, 2024.

“Original Signed by C. Ward”
Chelsea Ward,
Secretary-Treasurer
Committee of Adjustment

KEY MAP



KEY MAP

**THIS IS NOT A PLAN OF
SURVEY.
INFORMATION FOR
PLANNING PURPOSES.**

PLAN OF SURVEY OF
 PART OF LOT 32, CONCESSION 10 and
 PART OF THE ORIGINAL SHORE ROAD
 ALLOWANCE IN FRONT THEREOF
 (Closed by by-law 91-177,
 Registered as Inst 258569)
 TOWNSHIP OF WATT now in the
 TOWNSHIP OF MUSKOKA LAKES
 DISTRICT MUNICIPALITY OF MUSKOKA

CAUTION: THIS PLAN IS NOT
 A PLAN OF SUBDIVISION
 WITHIN THE MEANING OF THE
 PLANNING ACT.

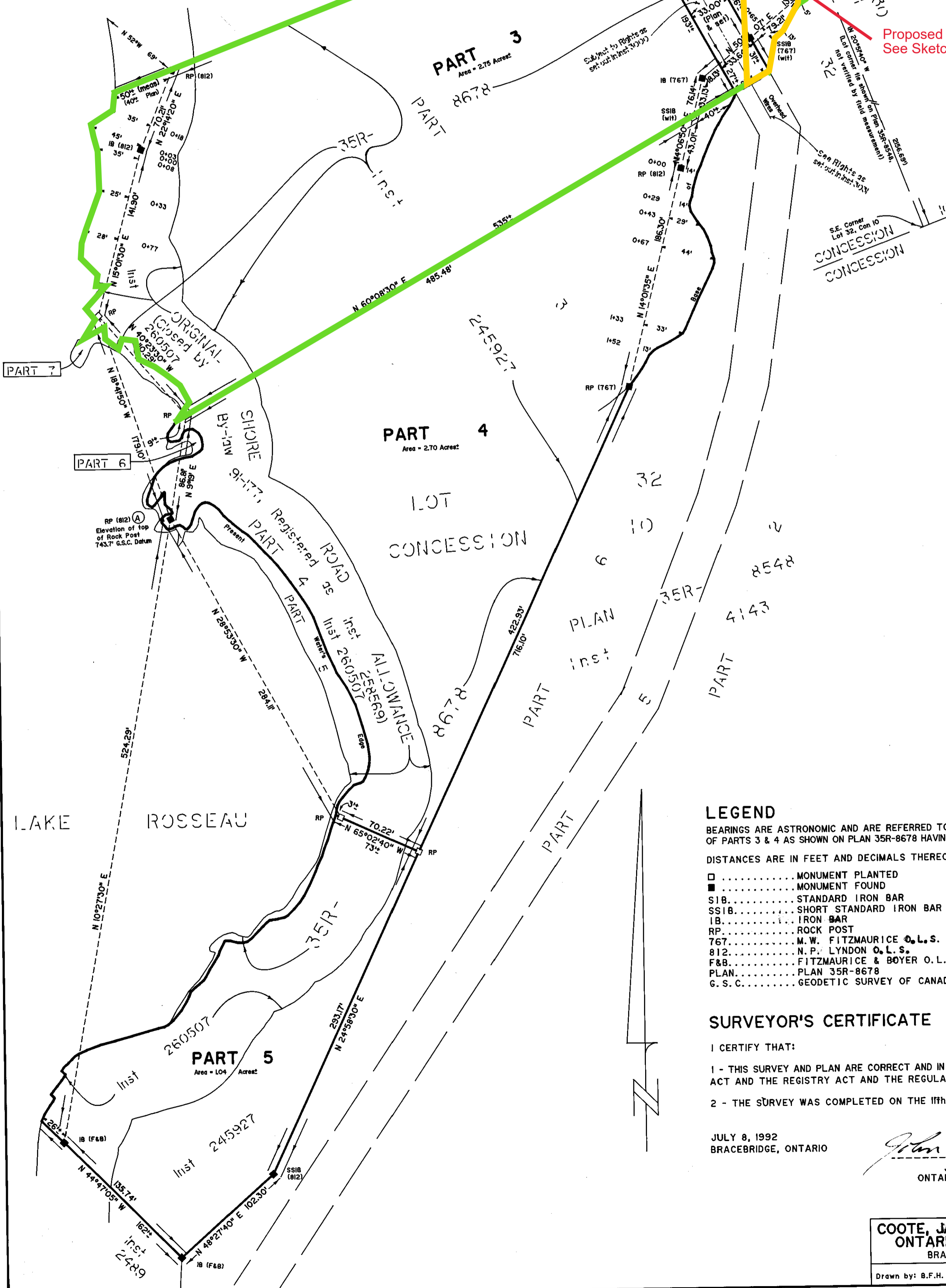
I REQUIRE THIS PLAN TO BE DEPOSITED
 UNDER THE REGISTRY ACT.
 DATE: JULY 8, 1992
John W. Hiley
 JOHN W. HILEY O.L.S.

PLAN 35R-14999
 RECEIVED AND DEPOSITED
 DATE: **August 4, 1992**
Mary Claxie
 DEPUTY LAND REGISTRAR FOR THE REGISTRY
 DIVISION OF MUSKOKA

SCHEDULE			
Part	Lot	Con	Inst
1,2	Part of 32	10	All of 245927
3,4,5	Part of the Original Shore Road Allowance in front of Lot 32, Con 10 (Closed by By-law 91-177, Reg'd as Inst 258569)		All of 260507

Part 2 - Subject to Rights as set out in Inst 3000

COOTE, JACKSON & HILEY LIMITED
 1992
 SCALE 1" = 60'



Proposed Easement
 See Sketch 2 - Enlargement

Shore Ties From (A)		
To Present Water's Edge	Azimuth	Distance
192° 05'	489'	
192° 28'	487'	
191° 29'	468'	
191° 55'	466'	
190° 51'	452'	
181° 03'	419'	
178° 23'	392'	
176° 41'	383'	
174° 17'	360'	
173° 28'	352'	
171° 04'	356'	
166° 59'	342'	
164° 50'	343'	
161° 19'	331'	
157° 54'	312'	
150° 00'	272'	
146° 13'	267'	
144° 32'	269'	
141° 36'	260'	
133° 43'	187'	
123° 32'	135'	
116° 50'	105'	
110° 10'	82'	
100° 43'	60'	
64° 42'	32'	
122° 15'	9'	
192° 00'	9'	
246° 00'	8'	
269° 00'	7'	
18° 00'	5'	
339° 00'	13'	
348° 00'	23'	
304° 00'	18'	
304° 00'	23'	
340° 30'	38'	
352° 45'	44'	
24° 40'	64'	
14° 40'	77'	
7° 00'	66'	
359° 06'	65'	
6° 53'	91'	
9° 12'	99'	
355° 48'	126'	
349° 05'	139'	
348° 55'	150'	
345° 15'	155'	
343° 27'	149'	
340° 57'	161'	
340° 40'	168'	
335° 16'	166'	
340° 10'	177'	
339° 00'	188'	
343° 00'	198'	
344° 55'	203'	
343° 27'	205'	
343° 42'	212'	
341° 55'	228'	

LEGEND

BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF PARTS 3 & 4 AS SHOWN ON PLAN 35R-8678 HAVING A BEARING OF N 68°41' E.
 DISTANCES ARE IN FEET AND DECIMALS THEREOF.

- MONUMENT PLANTED
- MONUMENT FOUND
- SIB..... STANDARD IRON BAR
- SSIB..... SHORT STANDARD IRON BAR
- IB..... IRON BAR
- RP..... ROCK POST
- 767..... M. W. FITZMAURICE O.L.S.
- 812..... N. P. LYNDON O.L.S.
- F&B..... FITZMAURICE & BOYER O.L.S.
- PLAN..... PLAN 35R-8678
- G. S. C..... GEODETIC SURVEY OF CANADA

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1 - THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE REGISTRY ACT AND THE REGULATIONS MADE THEREUNDER;
 2 - THE SURVEY WAS COMPLETED ON THE 11th. DAY OF JUNE, 1992.

JULY 8, 1992
 BRACEBRIDGE, ONTARIO

John W. Hiley
 JOHN W. HILEY
 ONTARIO LAND SURVEYOR

COOTE, JACKSON & HILEY LIMITED
 ONTARIO LAND SURVEYORS
 BRACEBRIDGE - HUNTSVILLE
 Drawn by: B.F.H. File: 17091 Plan: 7-WA-X-2

NOT TO SCALE

SCHEDULE					
PART	LOT	CONCESSION	PIN	NAME OF MOST RECENT TRANSFEREE	AREA
1					5.82 Sq.m.
2					0.94 Sq.m.
3					83.86 Sq.m.
4					70.54 Sq.m.
5	PART OF LOT 32	10	PART OF PIN 48138-0480 (LT)	WOLFOND, HENRY JAY AND REICHERT, ROCHELLE NITA	0.17 Sq.m.
6					158.29 Sq.m.
7					3.82 Sq.m.
8					2.56 Sq.m.
9					367.11 Sq.m.
10					8.72 Sq.m.

PLAN 35R-26942
 Received and deposited
October 17th, 2022
Carolyn Watson
 Representative for the
 Land Registrar for the
 Land Titles Division of
 Muskoka (No.35)

PARTS 2, 3, & 10 SUBJECT TO EASEMENT AS IN WA3000
 PARTS 5, 6 & 7 SUBJECT TO RIGHT OF WAY AS IN DM353983

**PLAN OF SURVEY OF
 PART OF LOT 32, CONCESSION 10
 GEOGRAPHIC TOWNSHIP OF WATT
 NOW IN THE TOWNSHIP OF MUSKOKA LAKES
 DISTRICT MUNICIPALITY OF MUSKOKA**

TULLOCH GEOMATICS INC.
 2022
 2m 0 2 10 15m
 SCALE 1 : 250

THE INTENDED PLOT SIZE OF THIS PLAN IS 610mm IN WIDTH BY 914mm IN HEIGHT
 WHEN PLOTTED AT A SCALE OF 1:250.

BEARING NOTE:
 BEARINGS ARE UTM GRID AND ARE DERIVED FROM OBSERVED REFERENCE
 POINTS ORP A AND ORP B BY BASE AND ROVER GNSS OBSERVATIONS,
 UTM ZONE 17 (81°00' W LONGITUDE) NAD83(CSRS)(2010.0)

METRIC:
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED
 TO FEET BY DIVIDING BY 0.3048.
 GROUND DISTANCES SHOWN HEREON CAN BE CONVERTED TO UTM GRID BY MULTIPLYING BY
 A COMBINED SCALE FACTOR OF 0.999726.

CONVERGENCE NOTE:
 A CONVERGENCE (ROTATION) FACTOR OF 0°58'40" COUNTER CLOCKWISE HAS BEEN APPLIED TO
 THE ASTRONOMIC BEARINGS OF UNDERLYING PLANS 35R-14999, 35R-16752, 35R-19663
 AND 35R-20020 TO ACCOUNT FOR DIFFERENT REFERENCE MERIDIANS.

- LEGEND:**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - SIB DENOTES STANDARD IRON BAR 0.025 x 0.025 x 1.22
 - SSIB DENOTES SHORT STANDARD IRON BAR 0.025 x 0.025 x 0.61
 - IB DENOTES IRON BAR
 - RP DENOTES ROCK POST
 - RP DENOTES ROCK POST
 - RB DENOTES ROCK BAR
 - PB DENOTES PLASTIC BAR
 - WIT DENOTES WITNESS MONUMENT
 - M DENOTES MEASURED
 - S DENOTES SET
 - ORP DENOTES OBSERVED REFERENCE POINT
 - NTS DENOTES NOT TO SCALE
 - C&J DENOTES COOTE, HILEY & JEMMETT LTD.
 - 787 DENOTES M. W. FITZMAURICE O.L.S.
 - 812 DENOTES N. P. LYNDON O.L.S.
 - P1 DENOTES PLAN 35R-14999
 - P2 DENOTES PLAN 35R-16752
 - P3 DENOTES PLAN 35R-19663
 - P4 DENOTES PLAN 35R-20020

INTEGRATION COORDINATE TABLE		
SPECIFIED CONTROL POINTS (SCP'S) AND OBSERVED REFERENCE POINTS (ORP'S): UTM ZONE 17 (81°00' W LONGITUDE) NAD83(CSRS)(2010.0) COORDINATES TO URBAN ACCURACY PER SECTION 14(2) OR O.REG 216/10.		
SCP	NORTHING	EASTING
00819950366	5007992.700	617160.841
00819990435	5008372.800	618394.793
ORP	NORTHING	EASTING
A	5004321.183	612395.499
B	5004373.711	612523.583

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

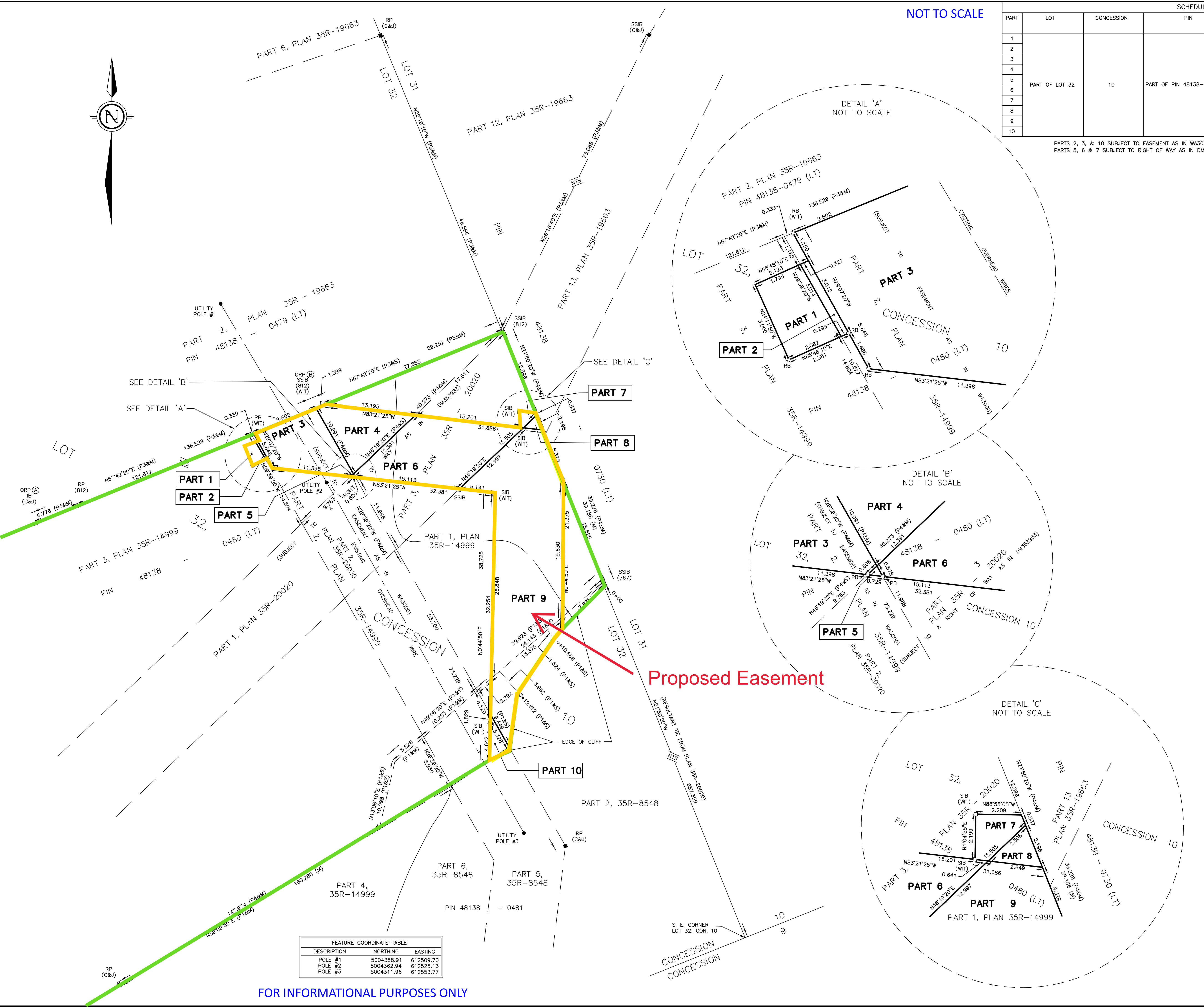
SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 (1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY'S ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 (2) THE SURVEY WAS COMPLETED ON THE 23rd DAY OF SEPTEMBER, 2022.

SEPTEMBER 28, 2022
 DATE

Jason Kelsall
 JASON KELSALL
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-34543.

TULLOCH GEOMATICS INC.
 80 MAIN ST. W. T. 705 789.7851
 HUNTSVILLE, ON F. 705 789.7891
 P1H 1W9 877 535.0558
 huntville@tulloch.ca
 DRAWN BY: RJN FILE: 222113



FEATURE COORDINATE TABLE		
DESCRIPTION	NORTHING	EASTING
POLE #1	5004388.91	612509.70
POLE #2	5004362.94	612525.13
POLE #3	5004311.96	612553.77

FOR INFORMATIONAL PURPOSES ONLY