



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, August 14th, 2023 at 9:00 a.m.

File #: A-38/23

Roll #: 9-2-044

Civic Address: 1519 Muskoka District Road 118 West, Unit # 9

Owners: 1000301083 Ontario Ltd., 1519 Muskoka District Road 118 West, Unit # 9

Legal Description: Part of Lot 12, Concession 5, Lot 30, Part of Lots 29 and 31, Plan 13, (Monck)

Lake/River: Lake Muskoka (Category 1)

Zoning: Waterfront Residential (WR1)

Zoning Schedule: 45

EXPLANATION OF THE PURPOSE AND EFFECT: The applicant proposes to recognise an as-built dock and proposes to construt a new single storey boathouse.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.7 and 4.1.7.1	Minimum Side Yard Setback for a Dock (Easterly)	30 ft.	18.5 ft.	11.5 ft.
B	4.1.7 and 4.1.7.1	Minimum Side Yard Setback for a Single Storey Boathouse With a Peaked Roof (Easterly)	30 ft.	25.5 ft.	4.5 ft.
C	4.1.7 and 4.1.7.12 c.	Maximum Cumulative Single Storey Boathouse Width	16 ft.	17.5 ft.	1.5 ft.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wish to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM hearing is included in this Notice and can be found on our website at www.muskokalakes.ca.

ADDITIONAL INFORMATION relating to the proposed variance application is available from the Planning Department week days between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.
Please quote the file number noted above.

YOU OR YOUR REPRESENTATIVE are entitled to participate in this public hearing and make verbal representation and/or make written representation prior to the meeting. Comments can be submitted by emailing planning@muskokalakes.ca or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

IF YOU WISH TO SPEAK to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

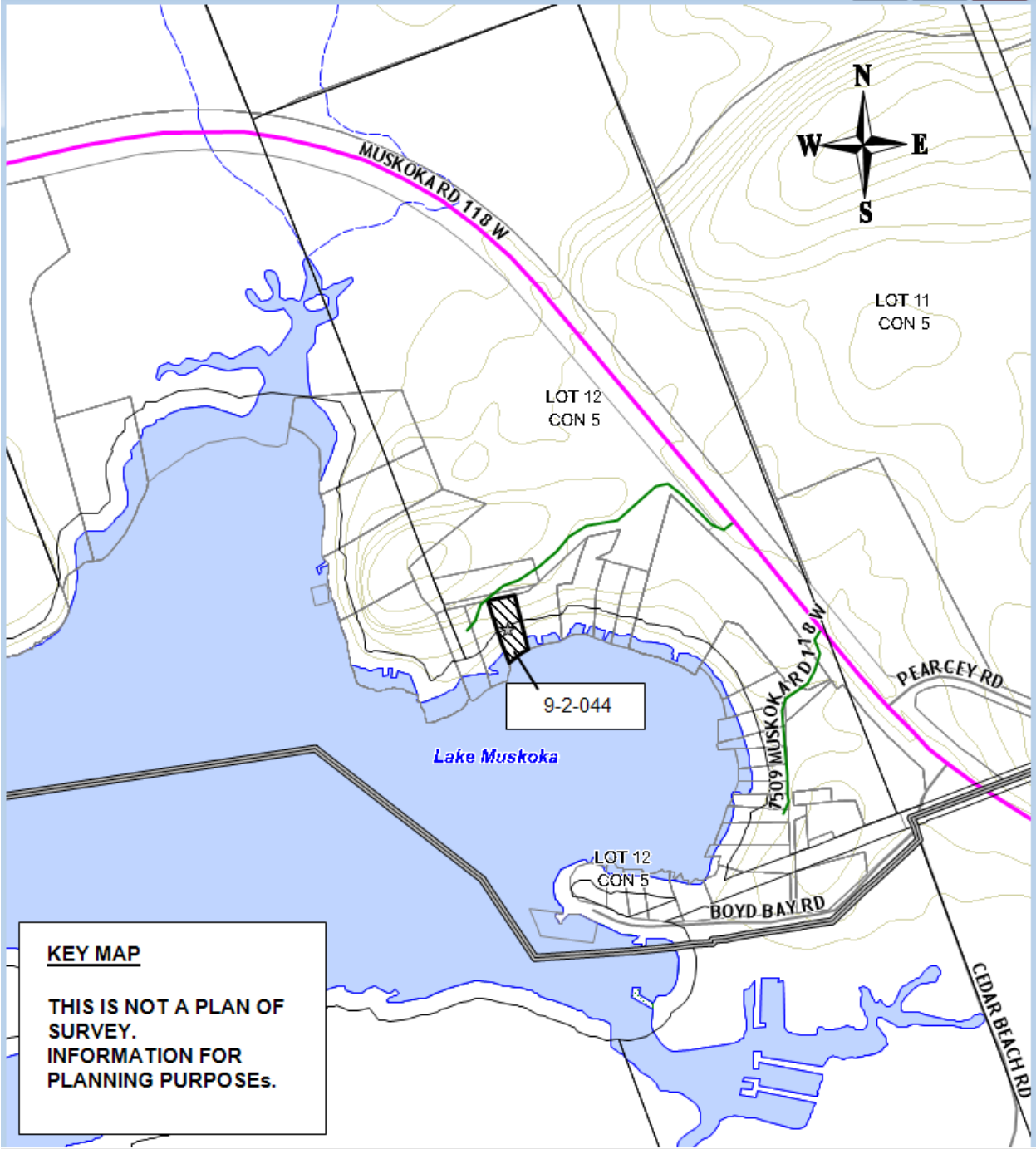
NO ONE OTHER THAN the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

THE HEARING will be live-streamed on the Township's live webcast at: www.muskokalakes.ca If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

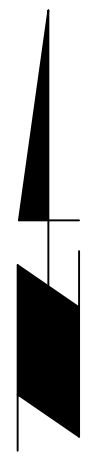
Dated this 28th day of July, 2023.

"Original Signed by K. Bavington"
Kitty Bavington,
Secretary-Treasurer
Committee of Adjustment



PLAN OF SURVEY OF
 PART OF LOTS 29, 31, 34 AND ALL OF LOT 30,
 REGISTERED PLAN No.13
 AND PART OF THE ORIGINAL SHORE ROAD ALLOWANCE
 IN FRONT OF LOT 12 CONCESSION 5
 (CLOSED BY BY-LAW NO.975, DM28505)
 AND PART OF LOT 12 CONCESSION 5
 GEOGRAPHIC TOWNSHIP OF MONCK
 NOW IN THE
TOWNSHIP OF MUSKOKA LAKES
 DISTRICT MUNICIPALITY OF MUSKOKA

NOT TO SCALE



SCALE 1 : 250
 0 1 3 5 10 15 20 METRES

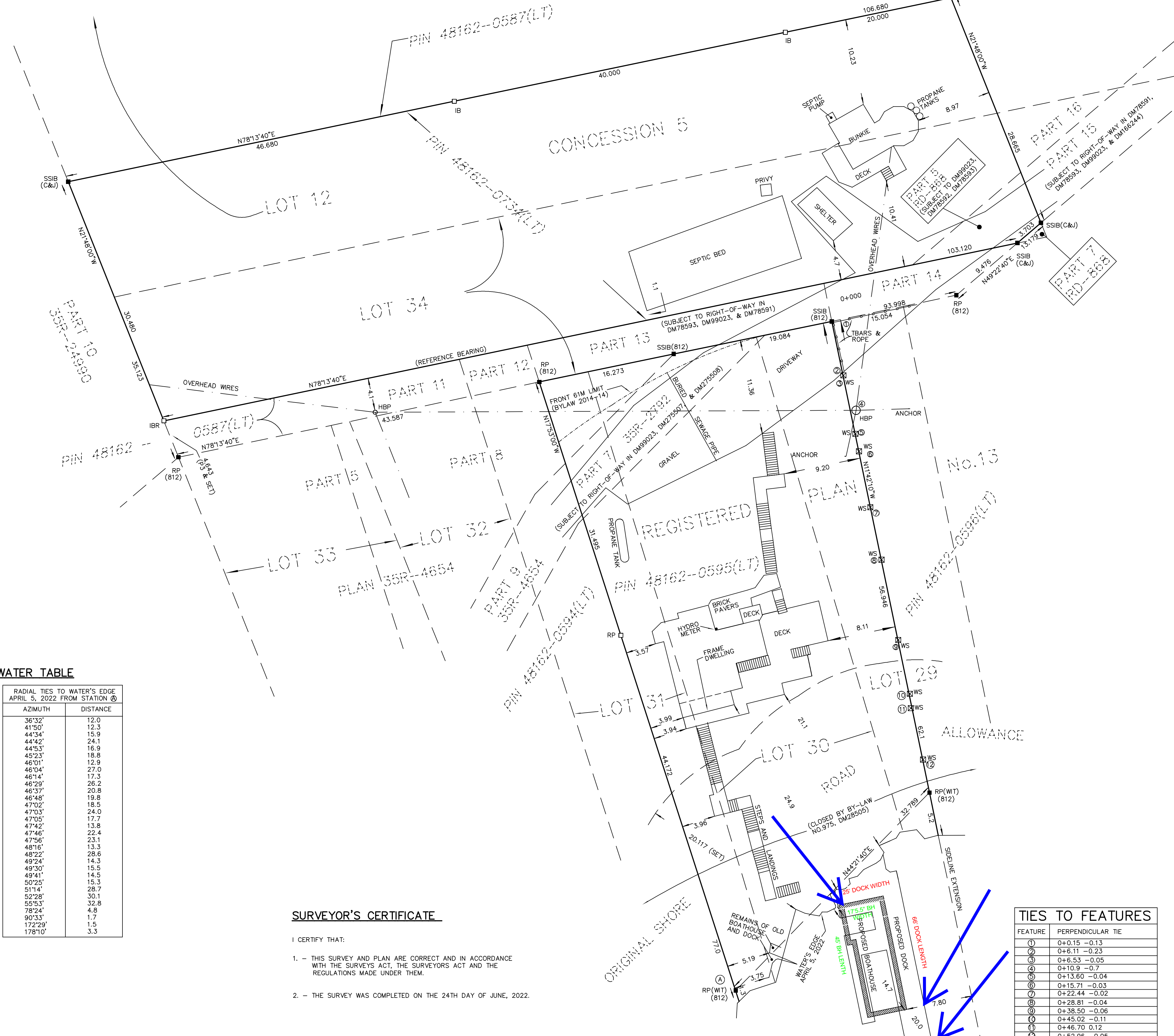
C. D. BUNKER, O.L.S.
 2022

BEARINGS ARE UTM GRID (ZONE 17) AND REFERRED TO THE NAD83 (CSRS 1997.0) DATUM AND ARE DERIVED FROM THE NORTHERLY LIMIT OF PARTS 11 TO 14 PLAN 35R-24990 HAVING A BEARING OF N78°13'40"E.

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LEGEND

- SSIB DENOTES SHORT STANDARD IRON BAR (0.025mX0.025mX0.60m)
- IB DENOTES IRON BAR (0.016mX0.016mX0.60m)
- IBR DENOTES IRON BAR IN ROCK
- RP DENOTES ROCK POST
- (P1) DENOTES PLAN 35R-4654
- (P2) DENOTES PLAN BY CHAPPLE, GALBRAITH SURVEYORS LTD. FILE 16-24
- (P3) DENOTES PLAN 35R-24990
- DENOTES FOUND SURVEY MONUMENT
- DENOTES PLANTED SURVEY MONUMENT
- (WT) DENOTES WITNESS MONUMENT
- HBP DENOTES HYDRO BELL POLE
- (C&J) DENOTES COOTE HILEY JEMMETT LIMITED
- (812) DENOTES NORMAN PHILLIP LYNDON, O.L.S.



WATER TABLE

RADIAL TIES TO WATER'S EDGE APRIL 5, 2022 FROM STATION ⑩	
AZIMUTH	DISTANCE
36°32'	12.0
41°50'	12.3
44°34'	15.9
44°42'	24.1
44°53'	16.9
45°23'	18.8
45°01'	12.9
46°04'	27.0
46°14'	17.3
46°29'	26.2
46°37'	20.8
46°48'	19.8
47°02'	18.5
47°03'	24.0
47°05'	17.7
47°42'	13.8
47°46'	22.4
47°56'	23.1
48°16'	13.3
48°22'	28.6
49°24'	14.3
49°30'	15.5
49°41'	14.5
50°25'	15.3
51°14'	28.7
52°28'	30.1
55°53'	32.8
78°24'	4.8
90°33'	1.7
172°29'	1.5
178°10'	3.3

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 24TH DAY OF JUNE, 2022.

DATED _____ C. D. BUNKER
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION
 NUMBER V-27452.

TIES TO FEATURES

FEATURE	PERPENDICULAR TIE
①	0+0.15 -0.13
②	0+6.11 -0.23
③	0+6.53 -0.05
④	0+10.9 -0.7
⑤	0+13.60 -0.04
⑥	0+15.71 -0.03
⑦	0+22.44 -0.02
⑧	0+28.81 -0.04
⑨	0+38.50 -0.06
⑩	0+45.02 -0.11
⑪	0+46.70 0.12
⑫	0+52.96 -0.05

IRREGULAR FRONTAGE=38.8
 CHORD FRONTAGE=30.6

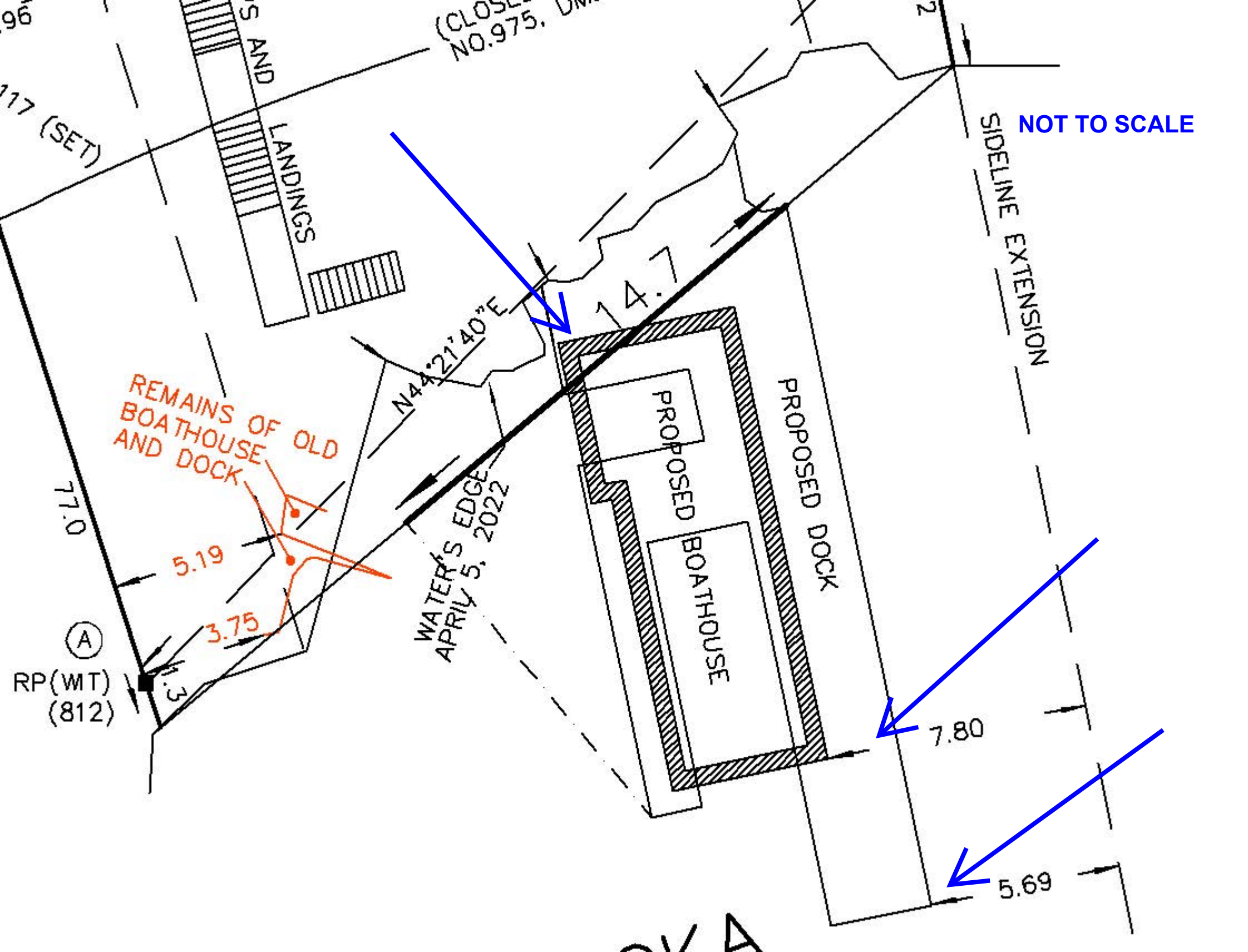
AREA TABLE

DESCRIPTION	AREA
WATERFRONT PROPERTY	2140 Sq.m.
BACKLAND PROPERTY	3199.8 Sq.m.
FRONT 61M	2064 Sq.m.
FRAME DWELLING	103.6 Sq.m.
BUNKIE	47.5 Sq.m.
PRIVY	1.7 Sq.m.

© 2022
 NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER
 THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN
 PERMISSION OF T. A. BUNKER SURVEYING LTD.

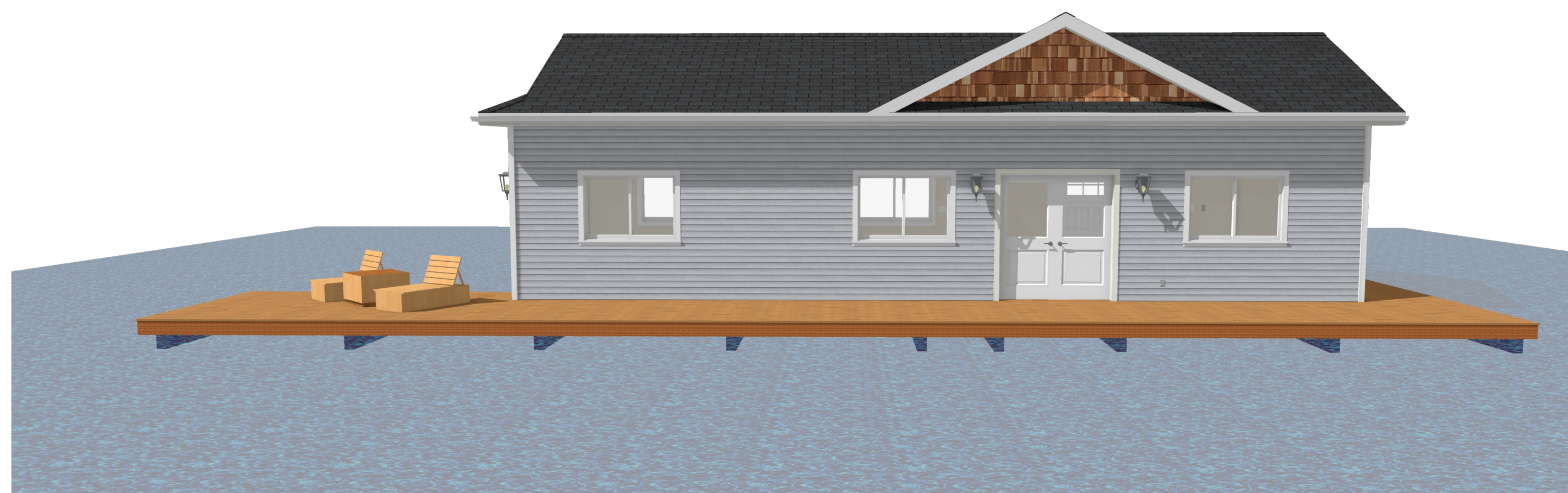
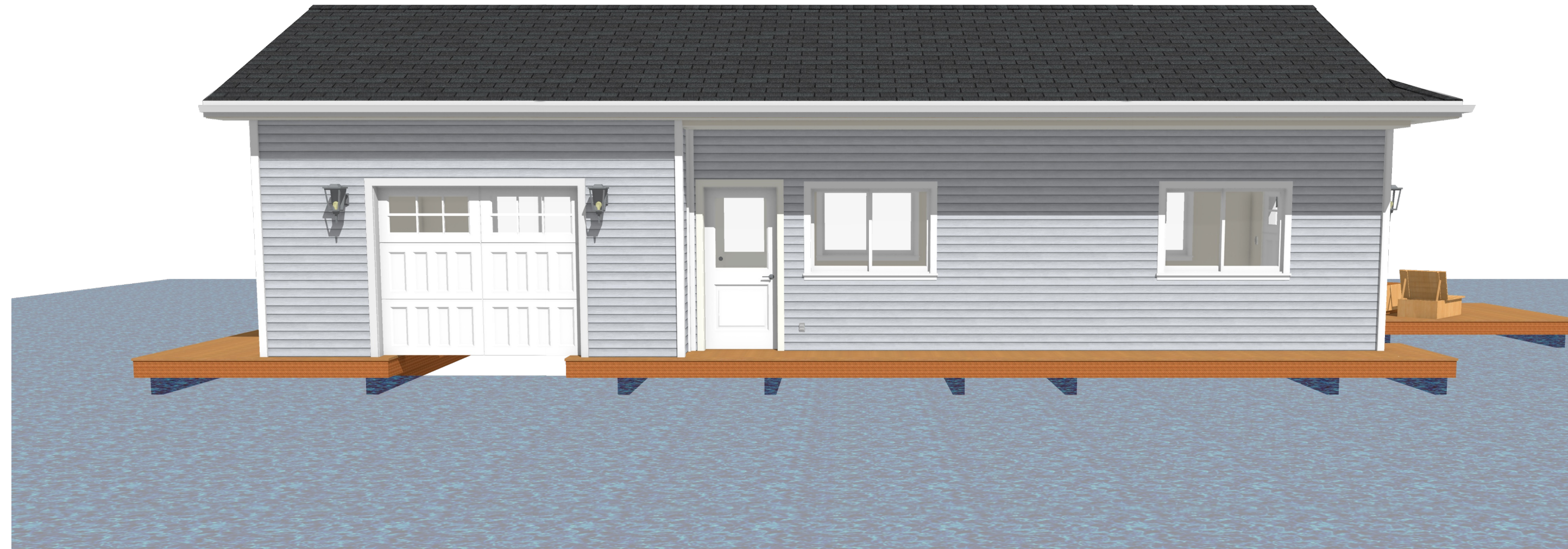
LAKE MUSKOKA
 CROWN

T. A. BUNKER SURVEYING LTD.
 150 JOHN ST. N. GRAVENHURST, ONTARIO, P. O. BOX 1180, P1P 1V4
 705-687-5883
 www.BunkerSurveying.ca



HWY-118W 1519-9

NOT TO SCALE
FOR INFORMATIONAL PURPOSES ONLY



STANDARD NOTES
BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWING, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN PART OF ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND MUST CONFORM TO THE 2012 BUILDING CODE.

THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS

ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BYLAW'S WHICH MAY TAKE PRECEDENCE

THE PERMIT GUY SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE FINAL CONSTRUCTION DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITION ENCOUNTERED ON THE JOB SITE, AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

WOOD FRAMING
-ALL STRUCTURAL FRAMING TO BE S.P.F. No 2 GD, KILN DRIED
-ALL COLUMNS IN FRAMED WALLS TO BE NAILED WELL INTO ADJACENT FRAMING TO RESIST LATERAL MOVEMENT
-PLACE DOUBLE JOIST OR BLOCKING UNDER ALL PARALLEL PARTITIONS OVER 6' LONG
-DIMENSION ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF INTERIOR PARTITIONS UNLESS OTHERWISE NOTED.
-FACE OF EXTERIOR WALL AND FOUNDATION TO BE FLUSH
-WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 6MIL POLY, SIL GASKET OR OTHER APPROVED METHODS. PLATES TO BE ANCHORED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS AT A MAXIMUM OF 48" O.C. EXTERIOR SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.

FOUNDATION
FOUNDATION LAYOUT SHALL CONFORM WITH FINAL DRAWINGS
-FOUNDATION SHALL BE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE
-FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAY STRENGTH OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION
-ALL STRUCTURAL CONCRETE TO HAVE A MIN. 28 DAY COMPRESSIVE STRENGTH OF 20 MPa, EXCEPT EXTERIOR STEPS, GARPORT & GARAGE FLOORS WHICH REQUIRE 32 MPa AFTER 28 DAYS

ERRORS AND OMISSIONS
THE PERMIT GUYS MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION

SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT YOUR EARLIEST CONVINCE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE IF NECESSARY

FLOOR AREAS(R²)

DECKS & SLIPS	
INTERIOR DECK	379 R ²
EXTERIOR DECKS	110 R ²
SLIPS	326 R ²

	GLAZING PERCENTAGE
TOTAL WALL AREA	893 R ²
TOTAL GLAZING AREA	85 R ²
PERCENTAGE OF GLAZING	9.5%

ABBREVIATIONS

ADDN	ADDITION
ALUM.	ALUMINUM
B/O	BY OTHERS
B/U	BUILT UP
CANT	CANTILEVERED
CONC.	CONCRETE
CONTIN.	CONTINUOUS
DEC.	DECORATIVE
D.O.	DITTO
DWG	DRAWINGS
e/s	EACH SIDE
EXT.	EXTERIOR
FDN	FOUNDATION
FTG	FOOTING
INSUL.	INSULATION
INT.	INTERIOR
MANUF.	MANUFACTURER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
P.T.	PRESSURE TREATED
R.O.	ROUGH OPENING
SBFLR	SUBFLOOR
SF	SQUARE FEET
T&G	TONGUE AND GROOVE
TYP.	TYPICAL
U/S	UNDERSIDE OF
W/	WITH
WD	WOOD

ELECTRICAL
ELECTRICAL LAYOUT SHOWN TO BE USED AS A GUIDE ONLY. ELECTRICAL CONTRACTOR MUST ENSURE THAT DESIGN AND SYSTEMS MEET LOCAL AND NATIONAL CODES.

ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED BETWEEN FLOORS.

INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH LOCAL CODES AND REGULATIONS AND WITH THE LOCAL ELECTRICAL POWER SUPPLIER'S REGULATIONS IN ALL RESPECTS

OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNER'S AND/OR LOCAL AUTHORITY'S REQUIREMENTS.

INSULATION AND VENTILATION

ATTIC OR ROOF SPACE TO BE VENTED 1/500 OF AREA. UNHEATED CRAWL SPACES TO BE VENTED A MIN. OF 1/5000 OF AREA WITH CLOSABLE VENTS

6 MIL POLY TO BE INSTALLED ON WARM SIDE OF INSULATION

WALL AND CEILING INSULATION MAY BE LOOSE FILL OR BATT TYPE

PROVIDE Baffle FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE

ALL ROOFS SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE, EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACE AND SOFFIT.

FINISHING

ALL MANUFACTURED PRODUCTS ARE TO BE INSTALLED USING THE MANUFACTURER'S BEST PRACTICES PROCEDURES AND/OR INSTALLATION INSTRUCTIONS.

1/2" TYPE X DRYWALL TO BE APPLIED AT GARAGE WALLS ADJACENT TO DWELLING

ALL INTERIOR AND EXTERIOR FINISHING SHALL BE SPECIFIED BY OWNER. ANY FINISHING PLANS SHOE SHALL BE CONFIRMED BY OWNER.

ALL EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHER-STRIPPED. GARAGE DOORS PROVIDING ACCESS TO DWELLING SHE BE AS ABOVE AND SELF CLOSING

INSTALL FLASHING ON ALL EXTERIOR OPENINGS

ALL EXTERIOR FINISHES TO BE APPLIED WITH GALVANIZED NAILS

ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS

**PRESCRIPTIVE COMPLIANCE PACKAGE A1
(TABLE 3.1.1.2.A)**

CEILING WITH ATTIC SPACE MIN. R5I	60
CEILING WITHOUT ATTIC SPACE MIN. R5I	31
EXPOSED FLOOR MIN. R5I	31
WALLS ABOVE GRADE MIN. R5I	22
BASEMENT WALLS MIN. R5I	20
HEATED SLAB OR SLAB <=600mm BELOW GRADE MIN. R5I	10
WINDOWS & SLIDING GLASS DOORS MAX U	0.28
SKYLIGHTS MAX U	0.49
SPACE HEATING EQUIPMENT MIN. AFUE	96%
HRV MIN SRE	75%
DOMESTIC HOT WATER HEATER MMIN EF	0.8

BRACEBRIDGE CLIMATIC DATA	
LOCATION: GRAVENHURST	
ROOF LOADING:	
- GROUND SNOW LOAD (Sg):	3.1 kPa (64.74 psf)
- RAIN LOAD (Sr):	0.4 kPa (8.35 psf)
- SNOW LOAD FACTOR (Ce):	0.95
- ROOF DESIGN SNOW LOAD:	2.11 kPa (43.96 psf)
- ROOF & CEILING DESIGN DEAD LOAD:	0.51 kPa (12.0 psf)
STRUCTURE LOADING:	
- GROUND & SECOND FLOOR:	1.92 kPa (40.0 psf)
- FLOOR/CEILING DESIGN DEAD LOAD:	0.72 kPa (15.0 psf)
WIND LOADING:	
- 1/50 WIND PRESSURE:	0.38 kPa (7.81 psf)
- 1/10 WIND PRESSURE:	0.21 kPa (5.64 psf)
TEMPERATURE:	
- DEGREE DAYS BELOW 18 DEGREES C	4800
THE DESIGN DEAD LOADS SPECIFIED ABOVE ARE BASED ON THE DRAWINGS AND MATERIALS EITHER SPECIFIED OR ASSUMED. WHERE DIFFERENT OR HEAVIER MATERIALS ARE PROPOSED THE CONTRACTOR SHALL NOTIFY THE DESIGNER PRIOR TO CONSTRUCTION OF ANY LOAD-BEARING ELEMENTS THAT MAY BE ADVERSELY AFFECTED	

GENERAL NOTES

- DO NOT SCALE DRAWINGS
 - These plans shall be considered "NOT FOR CONSTRUCTION" unless they have been approved by the local building department.
 - All measurements to be checked and confirmed by contractor prior to construction. Any discrepancies should be reported.
 - All construction shall comply with Local Building Authorities
- This drawing is not to be reproduced, used to produce products or services.

TABLE OF CONTENTS

Label	Title
A0	COVER PAGE
A1	FLOOR PLAN
A2	ELEVATION
A3	SECTIONS & DETAILS
S1	FLOOR & ROOF FRAMING
S2	FLOOR & ROOF FRAMING
E1	ELECTRICAL PLAN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION		
Required unless design is exempt under 3.2.5 of Division C of the Building Code.		
ADAM LENNIE	<i>A. Lennie</i>	18995
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
Design is exempt under 3.2.4 of Division C of the Building Code.		
THE PERMIT GUY		47308
FIRM NAME		BCIN

DRAWING TITLE:	COVER PAGE
CLIENT:	MOUSAVI
PROJECT:	BOATHOUSE DRAWINGS
SITE LOCATION:	HWY-118W 1519-9

THE PERMIT GUY	
35 COVERED BRIDGE TRAIL BRACEBRIDGE, ON P1L 1Y1	
705-644-1167 Permits@ThePermitGuy.ca	

DRAWN BY:	A. LENNIE II. BCIN 18995/47308
Thursday, September 1, 2022	PAGE NO. A0

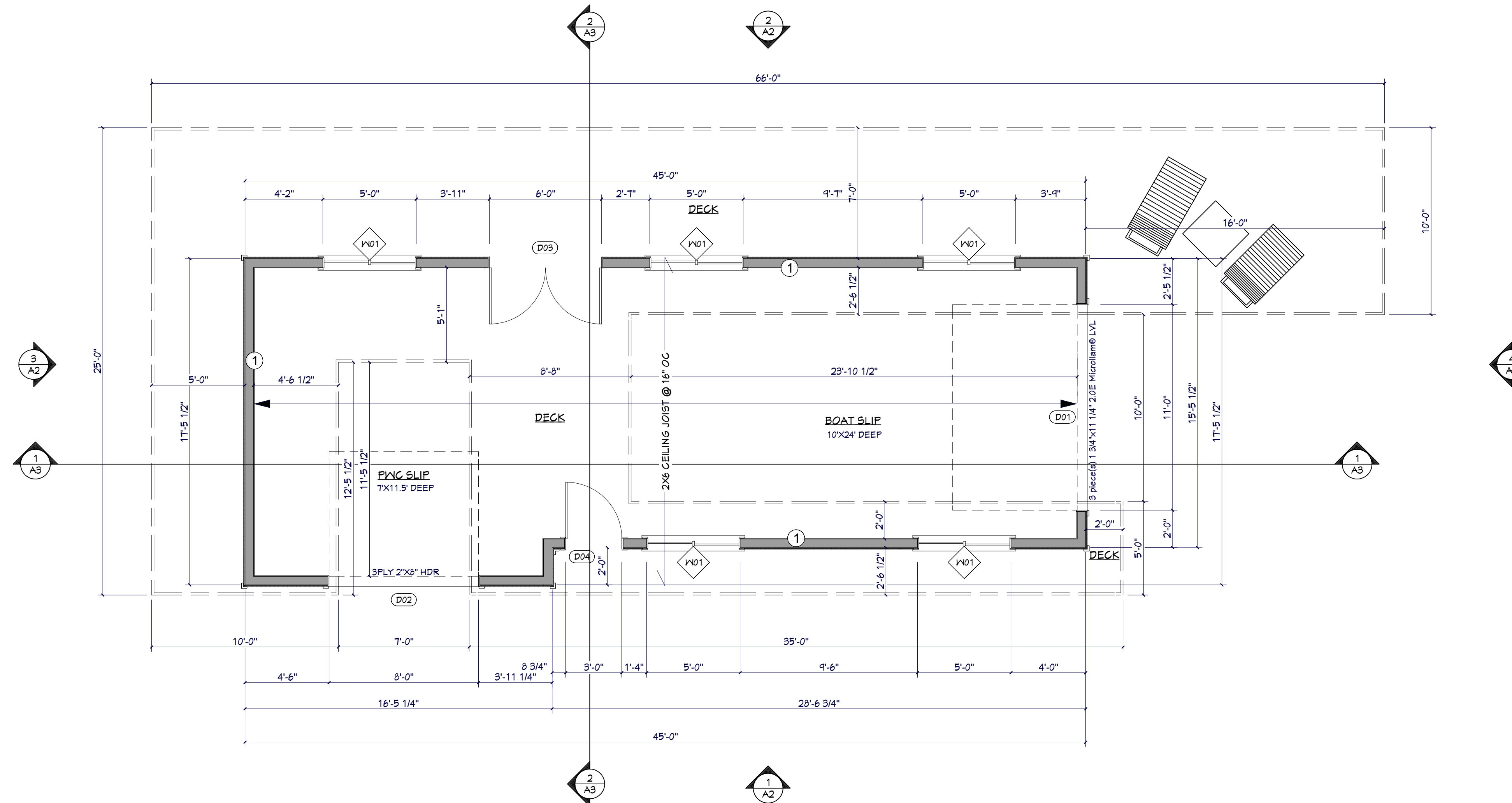
NOT TO SCALE
FOR INFORMATIONAL PURPOSES ONLY

DOOR SCHEDULE					
NUMBER	LABEL	QTY	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)
D01	132" X 80"	1	134"X83"	GARAGE-GARAGE DOOR CHDO5	73.33
D02	46" X 80"	1	48"X83"	GARAGE-GARAGE DOOR CHDO5	53.33
D03	72" X 80"	1	74"X82 1/2"	HINGED	40.0
D04	36" X 80"	1	38"X82 1/2"	HINGED	20.0
TOTALS:					186.66

NOTE SCHEDULE	
①	TYP. EXTERIOR WALL PREFINISHED SIDING 1/2" X 2" TREATED PLYWOOD STRIPS AIR BARRIER 1/2" PLYWOOD 2X6 @ 16" O.C. VW R22 INSULATION 6 MIL POLY 1/2" GYPSUM BOARD

WINDOW SCHEDULE					
NUMBER	LABEL	QTY	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)
W01	60" X 42"	5	61"X43"	LEFT SLIDING	17.5
TOTALS:					87.5

ALL WINDOW AND DOOR HEADERS TO BE 2 PLY 2X8" EXCEPT WHERE NOTED ON FLOOR PLAN



1
A1 FLOOR PLAN
SCALE: 1/4" = 1' - 0"

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS
 - These plans shall be considered "NOT FOR CONSTRUCTION" unless they have been approved by the local building department.
 - All measurements to be checked and confirmed by contractor prior to construction. Any discrepancies should be reported.
 - All construction shall comply with Local Building Authorities
- This drawing is not to be reproduced, used to produce products or services.

TABLE OF CONTENTS	
Label	Title
A0	COVER PAGE
A1	FLOOR PLAN
A2	ELEVATION
A3	SECTIONS & DETAILS
S1	FLOOR & ROOF FRAMING
S2	FLOOR & ROOF FRAMING
E1	ELECTRICAL PLAN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Division C of the Building Code.

ADAM LENNIE *A. Lennie* 18995
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Design is exempt under 3.2.4 of Division C of the Building Code.

THE PERMIT GUY 47308
FIRM NAME BCIN

DRAWING TITLE: FLOOR PLAN

CLIENT: MOUSAVI

PROJECT: BOATHOUSE DRAWINGS

SITE LOCATION: HWY- 118/1519 -1

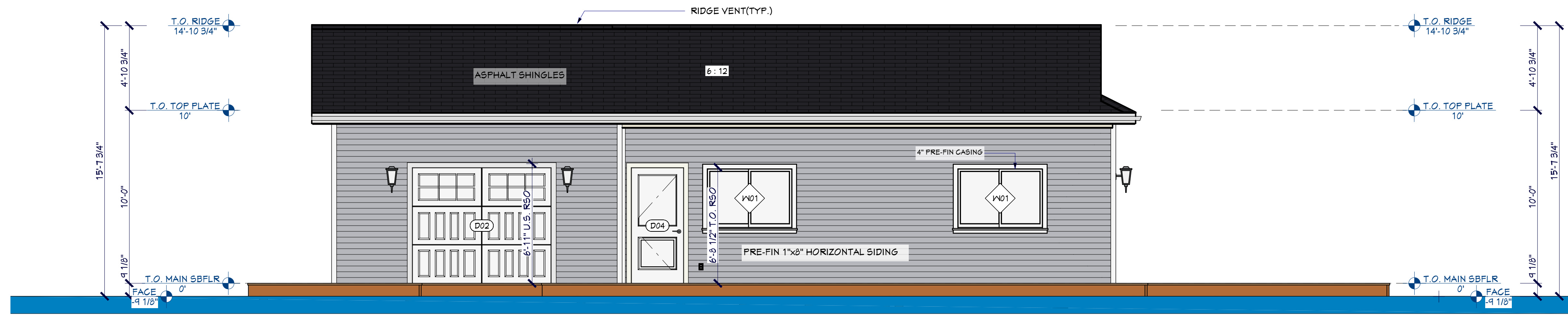
THE PERMIT GUY
35 COVERED BRIDGE TRAIL
BRACEBRIDGE, ON
P1L 1Y1
705-644-1167
Permits@ThePermitGuy.ca



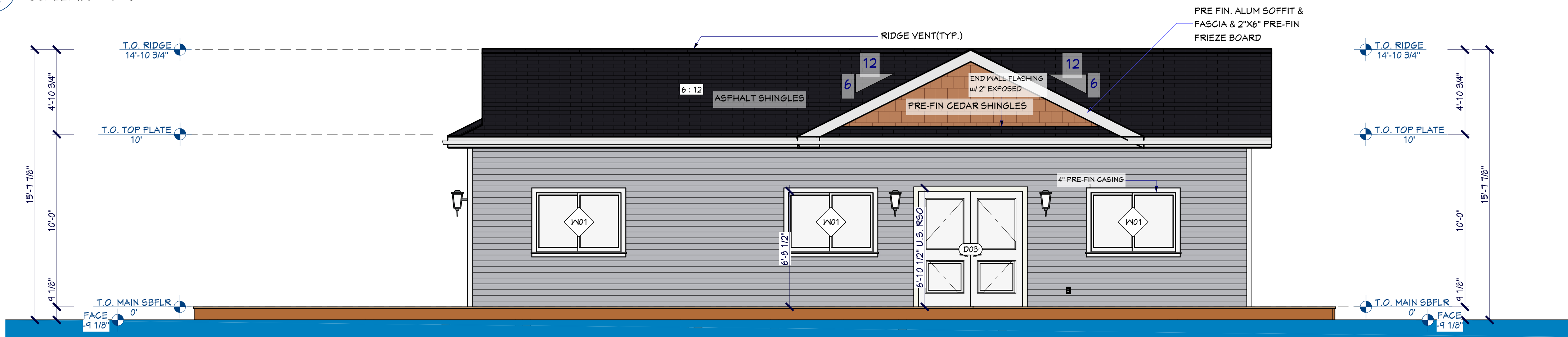
DRAWN BY: A. LENNIE II. BCIN 18995/47308

NOT TO SCALE

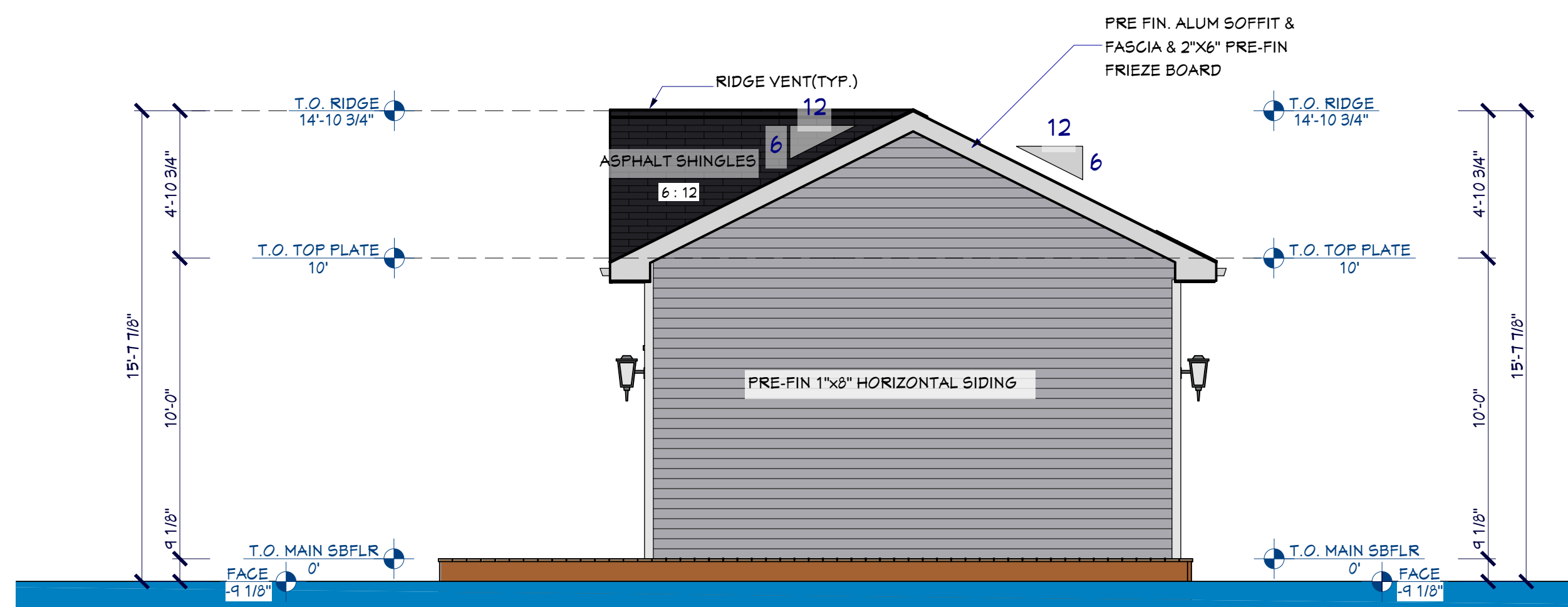
FOR INFORMATIONAL PURPOSES ONLY



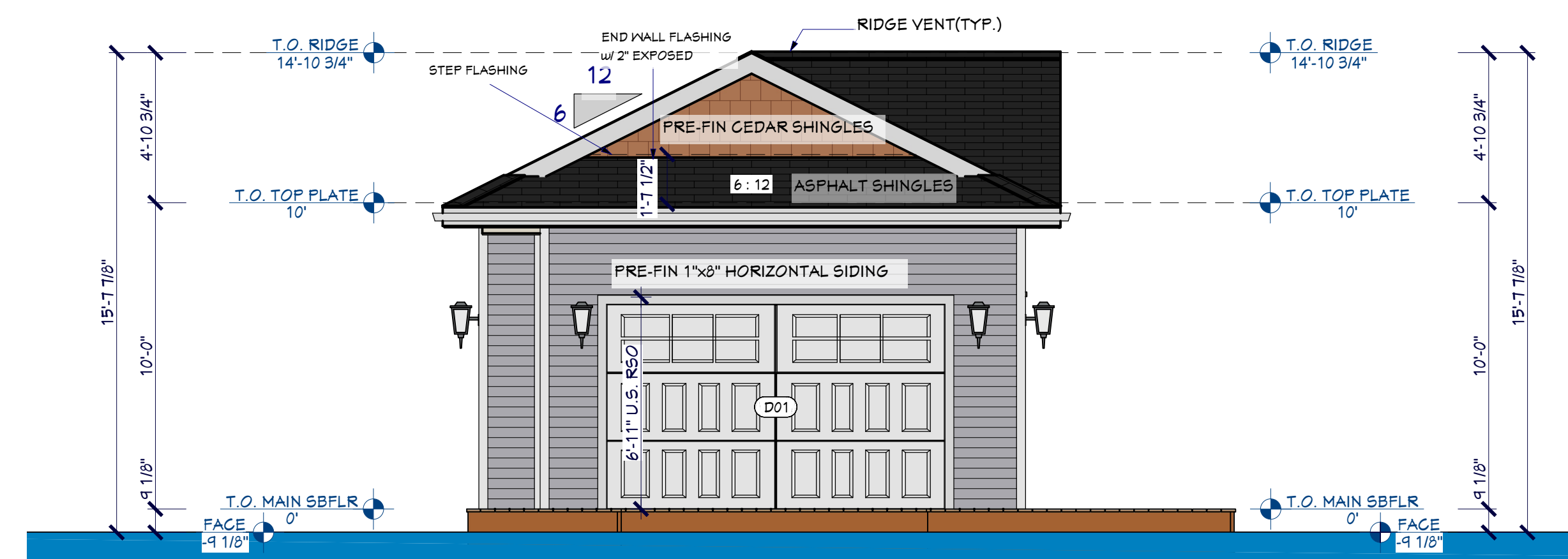
1 FRONT ELEVATION
A2 SCALE: 1/4" = 1' - 0"



2 REAR ELEVATION
A2 SCALE: 1/4" = 1' - 0"



3 LEFT ELEVATION
A2 SCALE: 1/4" = 1' - 0"



4 RIGHT ELEVATION
A2 SCALE: 1/4" = 1' - 0"

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS
 - These plans shall be considered "NOT FOR CONSTRUCTION" unless they have been approved by the local building department.
 - All measurements to be checked and confirmed by contractor prior to construction. Any discrepancies should be reported.
 - All construction shall comply with Local Building Authorities
- This drawing is not to be reproduced, used to produce products or services.

TABLE OF CONTENTS	
Label	Title
A0	COVER PAGE
A1	FLOOR PLAN
A2	ELEVATION
A3	SECTIONS & DETAILS
S1	FLOOR & ROOF FRAMING
S2	FLOOR & ROOF FRAMING
E1	ELECTRICAL PLAN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Division C of the Building Code.

ADAM LENNIE	<i>A. Lennie</i>	18995
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
Design is exempt under 3.2.4 of Division C of the Building Code.		
THE PERMIT GUY		47308
FIRM NAME		BCIN

DRAWING TITLE: ELEVATION

CLIENT: MOUSAVI

PROJECT: BOATHOUSE DRAWINGS

SITE LOCATION: HWY- 118N 1519 -4

THE PERMIT GUY
35 COVERED BRIDGE TRAIL
BRACEBRIDGE, ON
P1L 1Y1

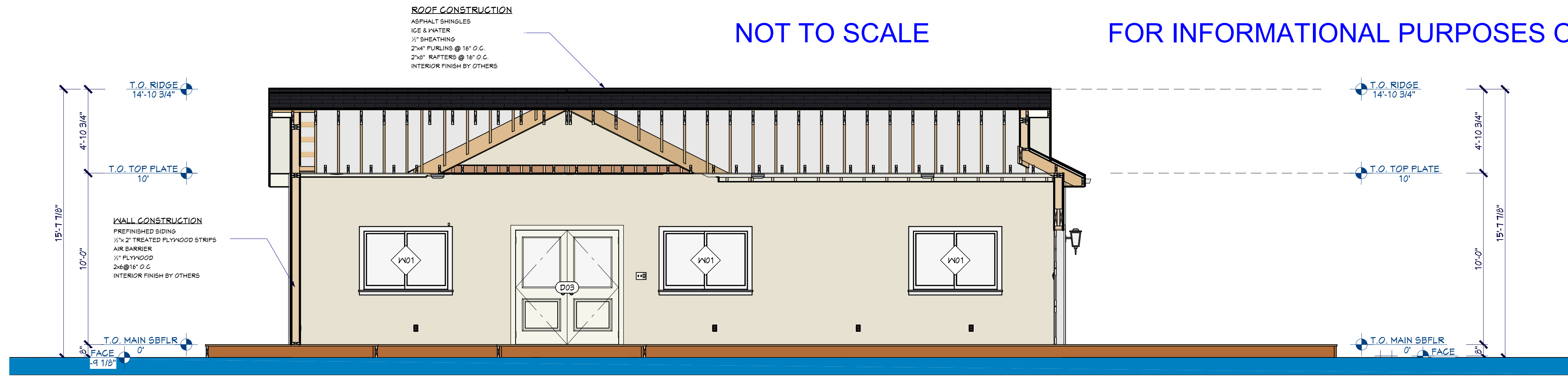
705-644-1167
Permits@ThePermitGuy.ca

DRAWN BY: A. LENNIE II. BCIN 18495/47308

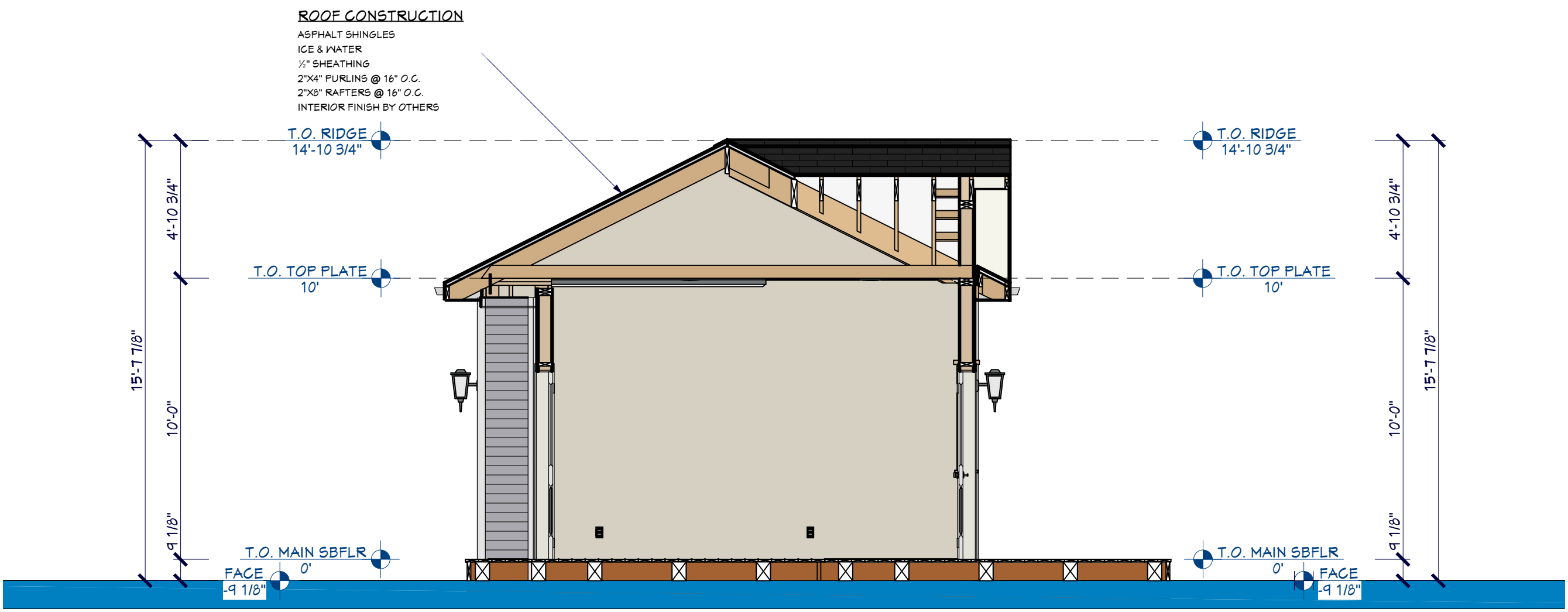


NOT TO SCALE

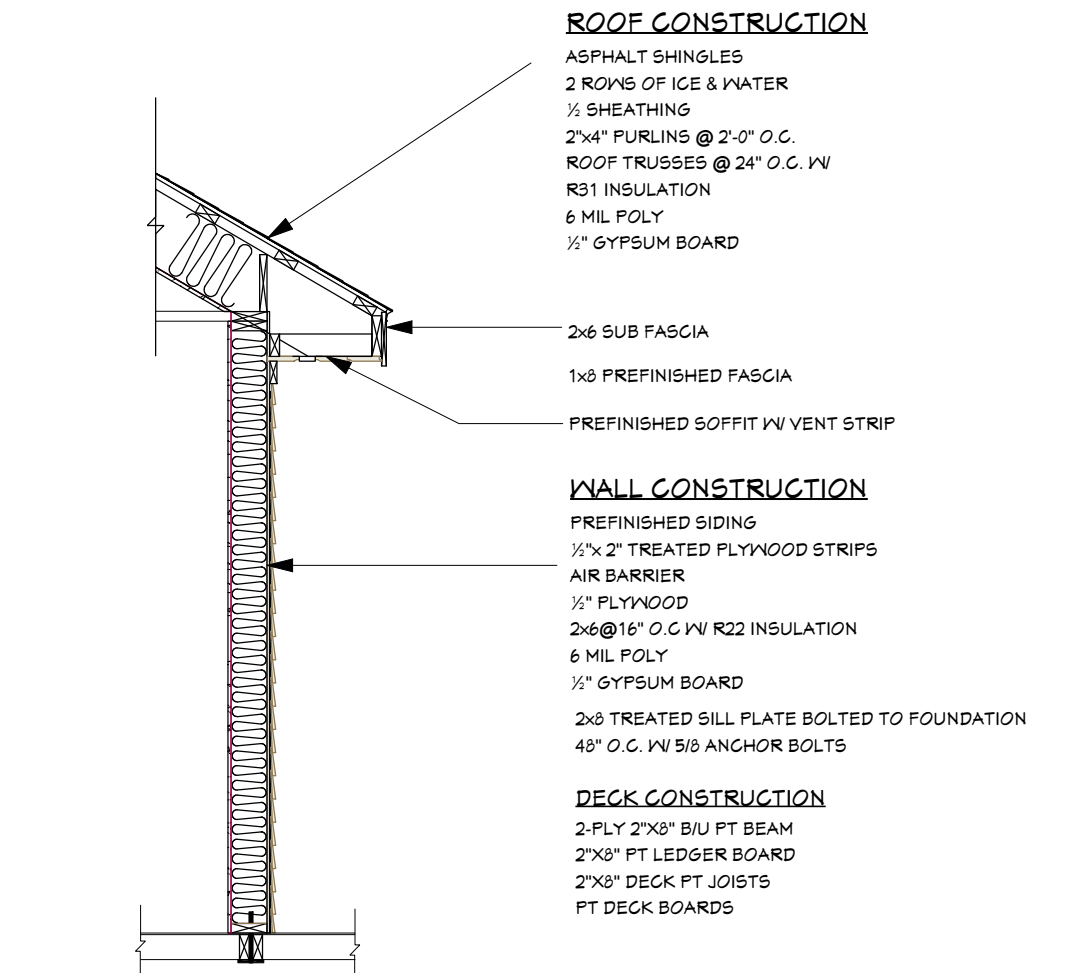
FOR INFORMATIONAL PURPOSES ONLY



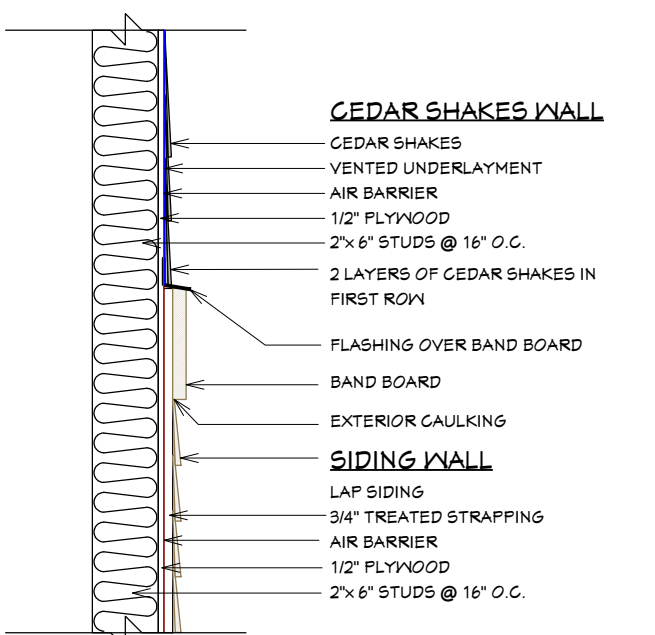
1 CROSS SECTION 1
A3 SCALE: 1/4" = 1' - 0"



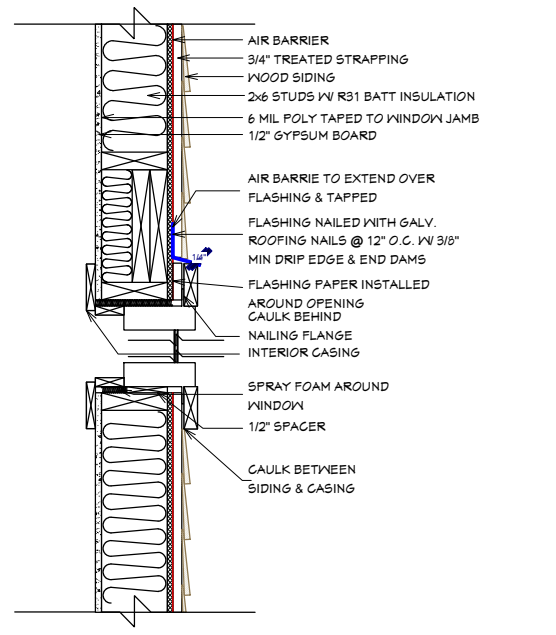
2 CROSS SECTION 2
A3 SCALE: 1/4" = 1' - 0"



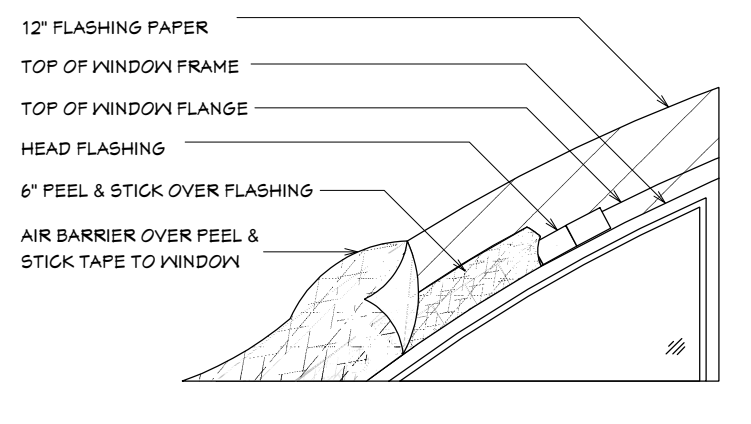
3 WALL SECTION
A3 N.T.S.



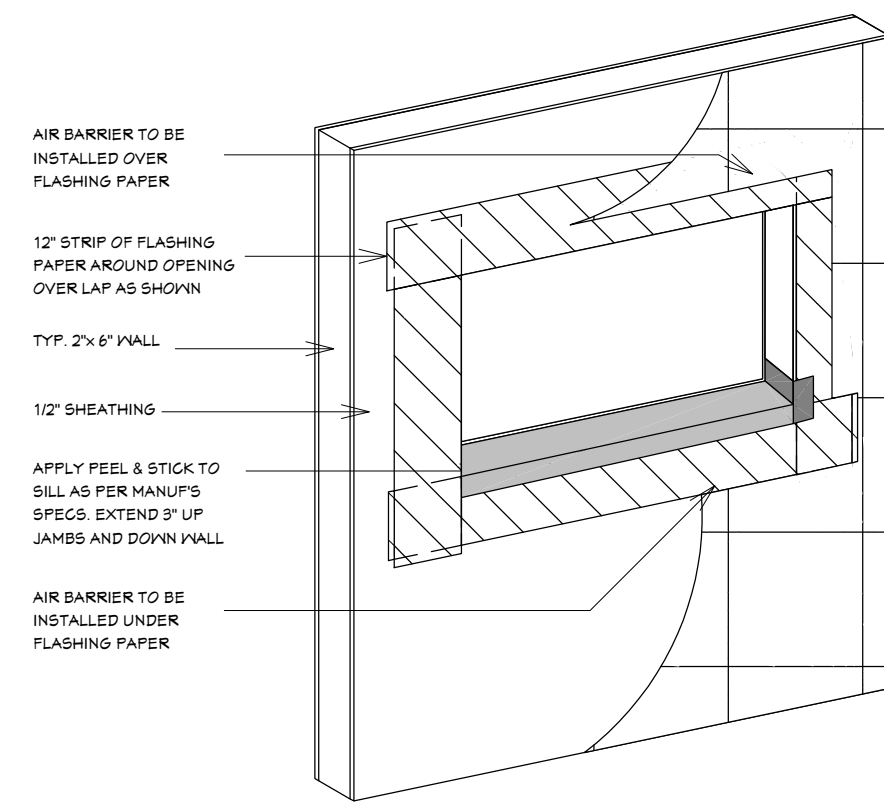
4 SHAKES DETAIL
A3 N.T.S.



5 WINDOW SECTION
A3 N.T.S.



6 WINDOW DETAIL-1
A3 N.T.S.



7 OPENING DETAIL
A3 N.T.S.

GENERAL NOTES
 1. DO NOT SCALE DRAWINGS
 2. These plans shall be considered "NOT FOR CONSTRUCTION" unless they have been approved by the local building department.
 3. All measurements to be checked and confirmed by contractor prior to construction. Any discrepancies should be reported.
 4. All construction shall comply with Local Building Authorities
 This drawing is not to be reproduced, used to produce products or services.

TABLE OF CONTENTS	
Label	Title
A0	COVER PAGE
A1	FLOOR PLAN
A2	ELEVATION
A3	SECTIONS & DETAILS
S1	FLOOR & ROOF FRAMING
S2	FLOOR & ROOF FRAMING
E1	ELECTRICAL PLAN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under 3.2.5 of Division C of the Building Code.
 ADAM LENNIE *A. Lennie* 18995
 NAME SIGNATURE BCIN
REGISTRATION INFORMATION
 Design is exempt under 3.2.4 of Division C of the Building Code.
 THE PERMIT GUY 47308
 FIRM NAME BCIN

DRAWING TITLE: SECTIONS & DETAILS
CLIENT: MOUSAVI
PROJECT: BOATHOUSE DRAWINGS
SITE LOCATION: HWY- 118W 1514 -4

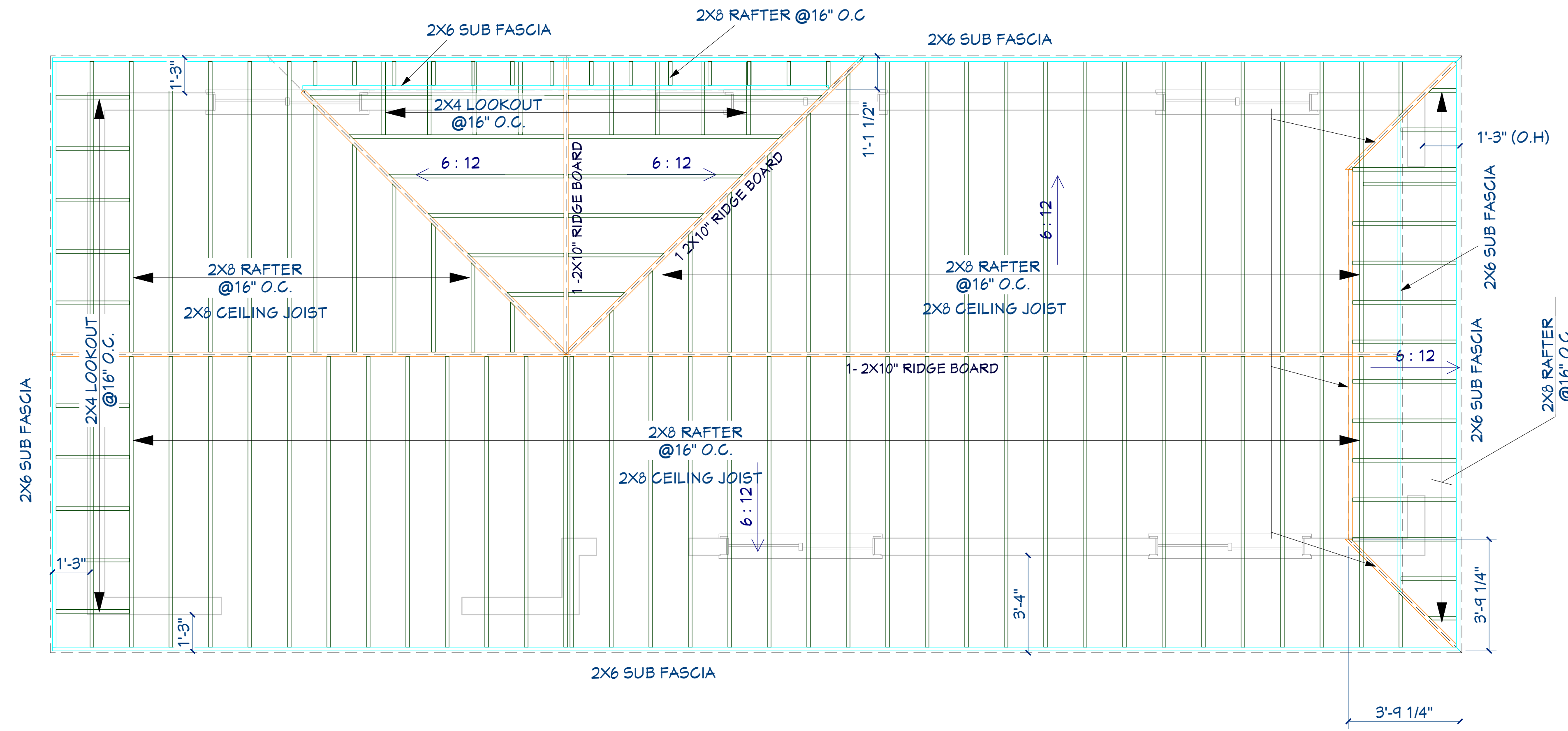
THE PERMIT GUY
 35 COVERED BRIDGE TRAIL
 BRACEBRIDGE, ON
 P1L 1Y1
 705-644-1167
 Permits@ThePermitGuy.ca



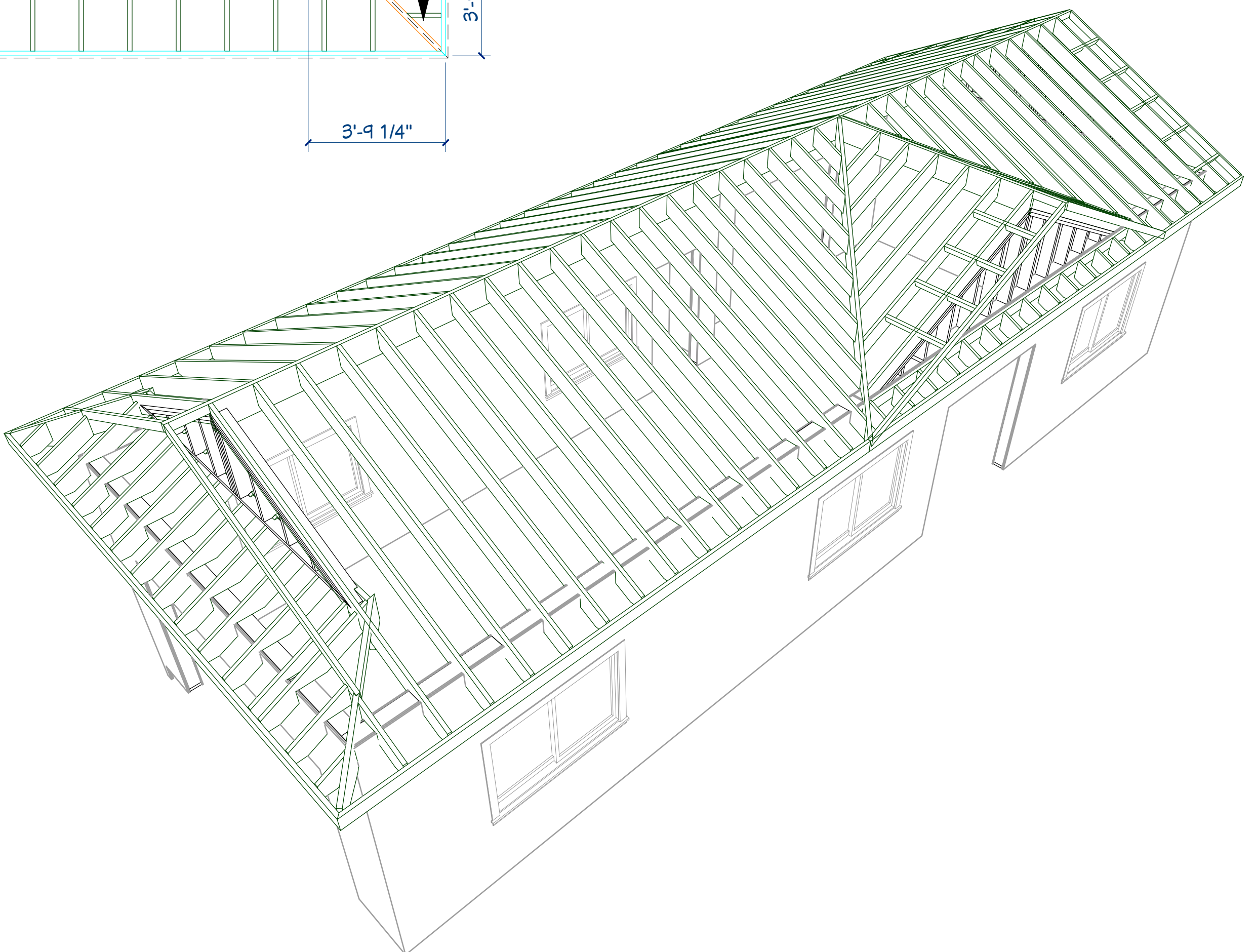
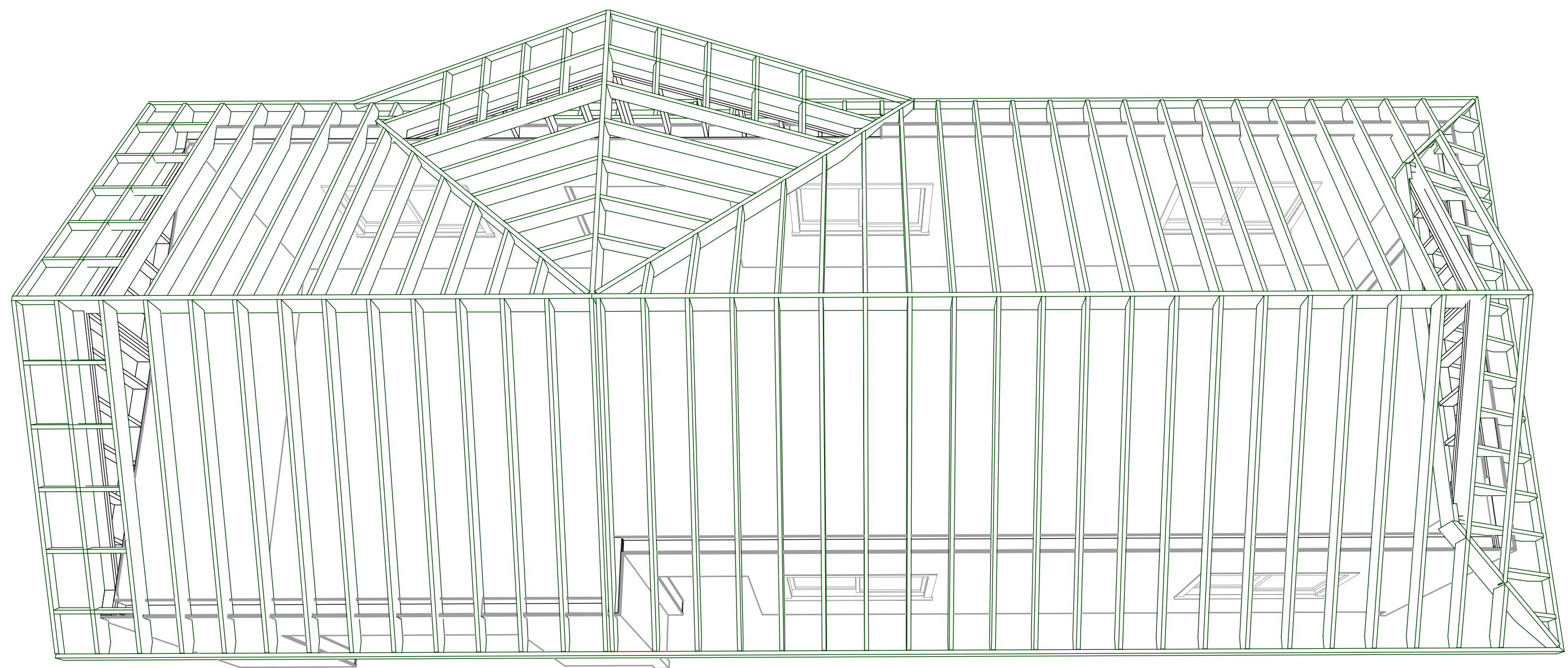
DRAWN BY: A. LENNIE II. BCIN 18995/47308

NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY



1 ROOF FRAMING
S2 SCALE: 3/8" = 1' - 0"



- GENERAL NOTES**
- DO NOT SCALE DRAWINGS
 - These plans shall be considered "NOT FOR CONSTRUCTION" unless they have been approved by the local building department.
 - All measurements to be checked and confirmed by contractor prior to construction. Any discrepancies should be reported.
 - All construction shall comply with Local Building Authorities
- This drawing is not to be reproduced, used to produce products or services.

TABLE OF CONTENTS	
Label	Title
A0	COVER PAGE
A1	FLOOR PLAN
A2	ELEVATION
A3	SECTIONS & DETAILS
S1	FLOOR & ROOF FRAMING
S2	FLOOR & ROOF FRAMING
E1	ELECTRICAL PLAN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under 3.2.5 of Division C of the Building Code.

ADAM LENNIE *A. Lennie* 18995
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Design is exempt under 3.2.4 of Division C of the Building Code.

THE PERMIT GUY 47308
 FIRM NAME BCIN

DRAWING TITLE: FLOOR & ROOF FRAMING

CLIENT: MOUSAVI

PROJECT: BOATHOUSE DRAWINGS

SITE LOCATION: HWY- 118W 1519 -4

THE PERMIT GUY
 35 COVERED BRIDGE TRAIL
 BRACEBRIDGE, ON
 P1L 1Y1


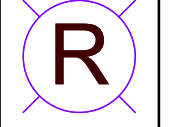
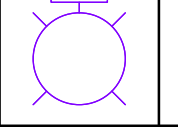
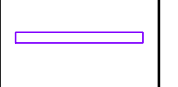


705-644-1167
 Permits@ThePermitGuy.ca



DRAWN BY: A. LENNIE II. BCIN 18995/47308

NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY

ELECTRICAL SCHEDULE			
NUMBER	2D SYMBOL	QTY	DESCRIPTION
E01		3	WEATHERPROOF
E02		5	RECESSED DOWN LIGHT 6
E03		6	PORCH LANTERN
E04		3	LONG SURFACE MOUNTED FLUORESCENT LIGHT (16Wx4D)
E06		12	GFCI WP
E07		6	FOUR WAY

ELECTRICAL, DATA, & AUDIO NOTES:

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. ORG.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
- CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
- FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
- FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO:

- LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
- AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
- LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

DATA / CABLE:

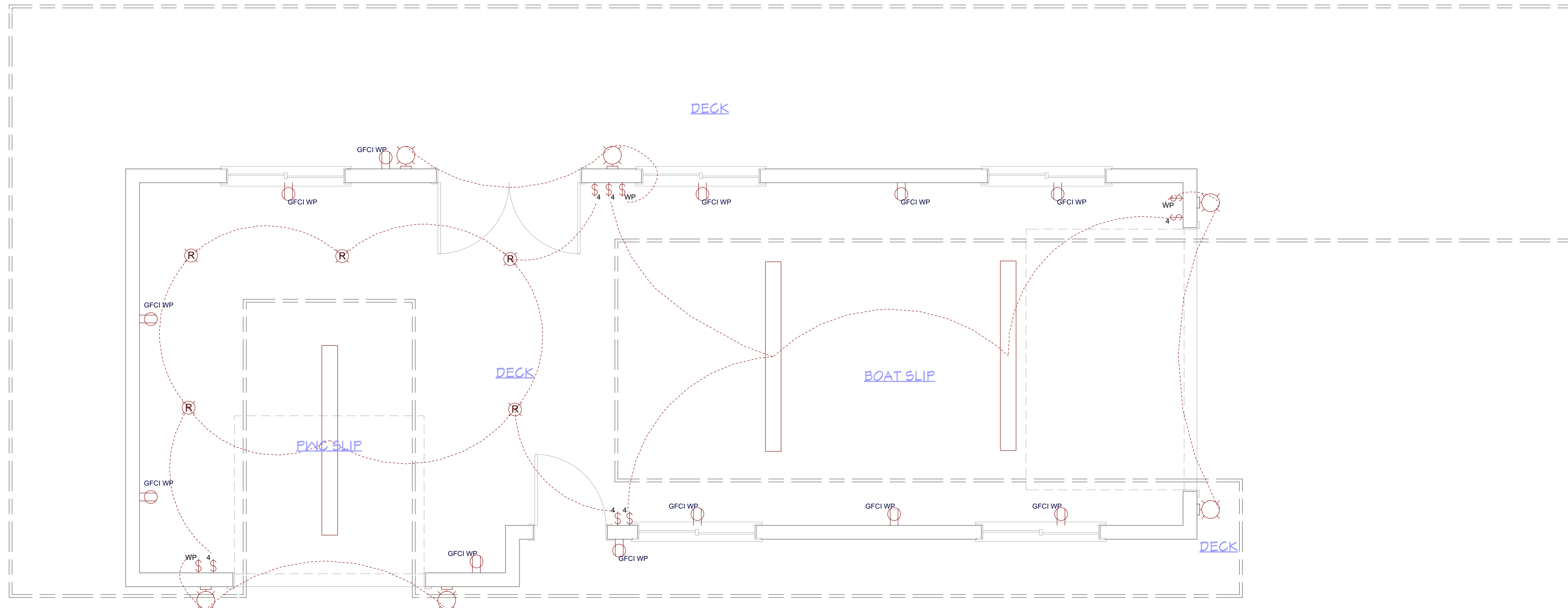
LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER

GENERAL NOTES

- DO NOT SCALE DRAWINGS
- These plans shall be considered "NOT FOR CONSTRUCTION" unless they have been approved by the local building department.
- All measurements to be checked and confirmed by contractor prior to construction. Any discrepancies should be reported.
- All construction shall comply with Local Building Authorities
This drawing is not to be reproduced, used to produce products or services.

TABLE OF CONTENTS

Label	Title
A0	COVER PAGE
A1	FLOOR PLAN
A2	ELEVATION
A3	SECTIONS & DETAILS
S1	FLOOR & ROOF FRAMING
S2	FLOOR & ROOF FRAMING
E1	ELECTRICAL PLAN



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Division C of the Building Code.

ADAM LENNIE *A. Lennie* 18995
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Design is exempt under 3.2.4 of Division C of the Building Code.

THE PERMIT GUY 47308
FIRM NAME BCIN

DRAWING TITLE: ELECTRICAL PLAN

CLIENT: MOUSAVI

PROJECT: BOATHOUSE DRAWINGS

SITE LOCATION: HWY- 118W 1519 -4

THE PERMIT GUY
35 COVERED BRIDGE TRAIL
BRACEBRIDGE, ON
P1L 1Y1
705-644-1167
Permits@ThePermitGuy.ca



DRAWN BY: A. LENNIE II. BCIN 18995/47308