

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, August 14th, 2023 at 9:00 a.m.

File #.: A-37/23 Roll #: 6-18-023 Civic Address: 1038 Sunset Bay Road Owners: Charles Granato and Phyllis Boosalis, 203 Geoffrey Street, Toronto, ON, M6R 1P9 Legal Description: Lot 16, Concession D, Block A, Plan M-436, and Part 1, Plan BR-1330, (Medora) Lake/River: Lake Muskoka (Category 1) Zoning: Waterfront Residential (WR1) Zoning Schedule: 41

EXPLANATION OF THE PURPOSE AND EFFECT: The applicants propose to demolish a sundeck and construct a new sundeck, enclose an existing covered porch (i.e. construct a dwelling addition), demolish and rebuild a garage in a different location, and construct a single storey boathouse on an existing dock.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
А	4.1.3 and 4.1.3.5	Construct a Dwelling Addition within the Required Front Yard Setback	50 ft.	23.5 ft.	26.5 ft.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wish to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM hearing is included in this Notice and can be found on our website at <u>www.muskokalakes.ca</u>.

Notice of Hearing A-37/23, Granato & Boosalis Page 2

ADDITIONAL INFORMATION relating to the proposed variance application is available from the Planning Department week days between 8:15 a.m. and 4 p.m. at the Municipal Office, or at <u>planning@muskokalakes.ca</u> or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0. **Please quote the file number noted above.**

YOU OR YOUR REPRESENTATIVE are entitled to participate in this public hearing and make verbal representation and/or make written representation prior to the meeting. Comments can be submitted by emailing <u>planning@muskokalakes.ca</u> or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

IF YOU WISH TO SPEAK to the Committee of Adjustment at the hearing by electronic participation, please contact <u>planning@muskokalakes.ca</u> by 9:00 a.m. on the regular business day preceding the scheduled hearing.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

NO ONE OTHER THAN the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

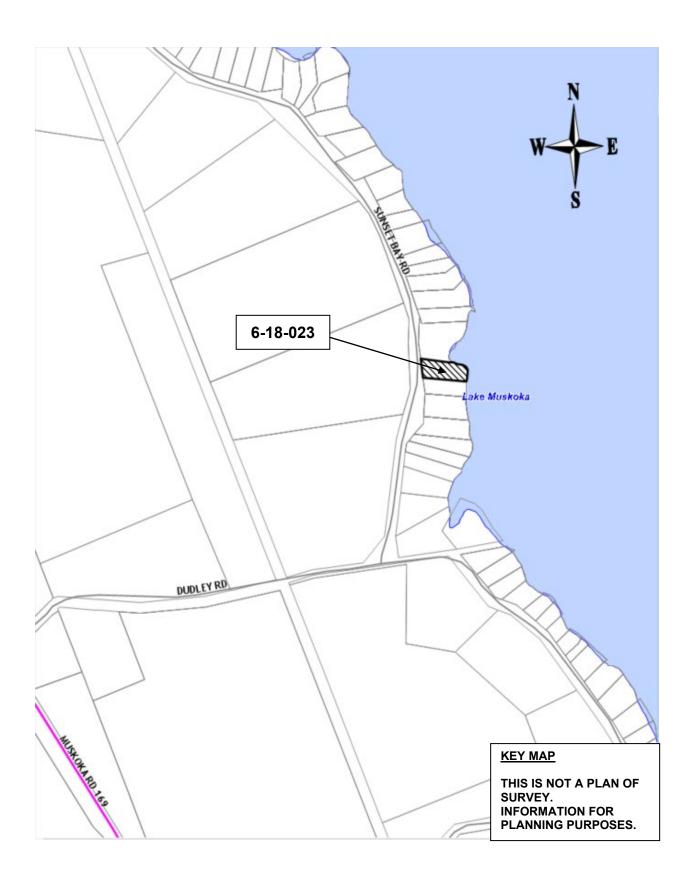
THE HEARING will be live-streamed on the Township's live webcast at: <u>www.muskokalakes.ca</u> If the live webcast fails, the meeting recording will be posted at: <u>https://muskokalakes.civicweb.net/Portal/</u>

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 4th day of August, 2023.

"<u>Original Signed by K. Bavington"</u> Kitty Bavington, Secretary-Treasurer Committee of Adjustment

KEY MAP



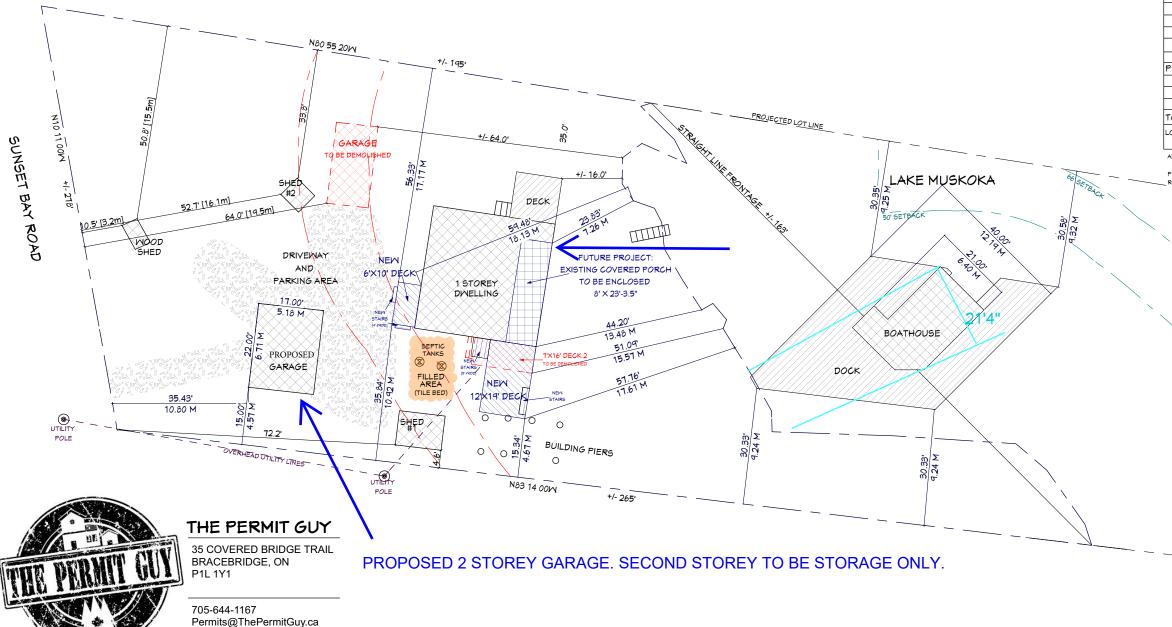
SITE PLAN

1038 SUNSET BAY ROAD TOWNSHIP OF MUSKOKA LAKES



SITE PLAN



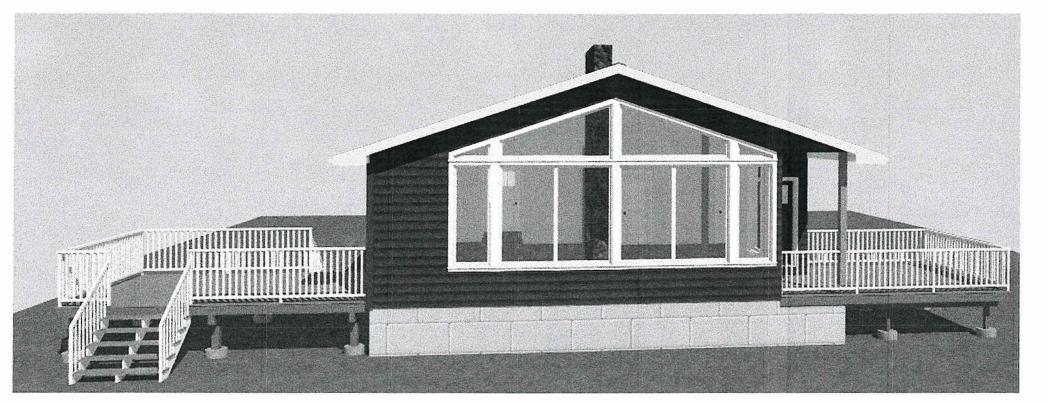


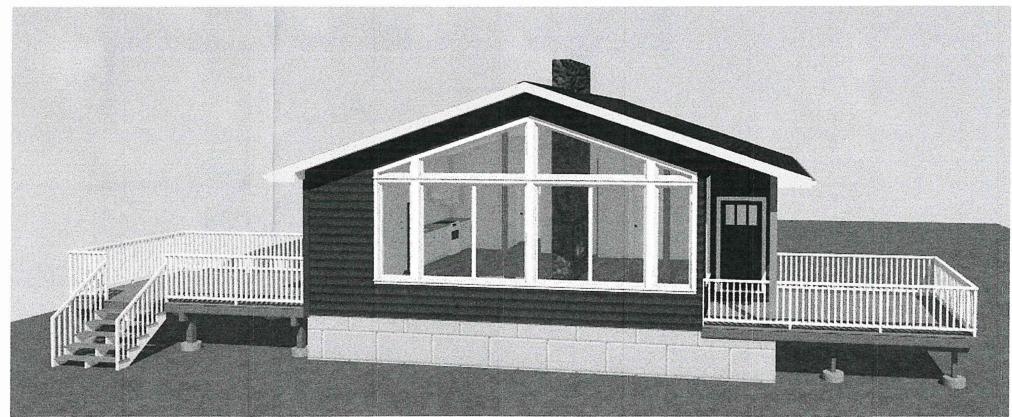
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ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT

PRESERVE EXISTING VEGETATION WITHIN 20m OF SHORE -SUBJECT TO PRUNING TO INDUSTRY STANDARD AND $_$ REMOVAL OF DEAD TREES







THE PERMIT GUY

35 COVERED BRIDGE TRAIL BRACEBRIDGE, ON P1L 1Y1

705-644-1167 Permits@ThePermitGuy.ca

PORCH CONVERTED TO INTERIOR LIVING SPACE

1038 SUNSET BAY [GRANATO] TOWNSHIP OF MUSKOKA LAKES

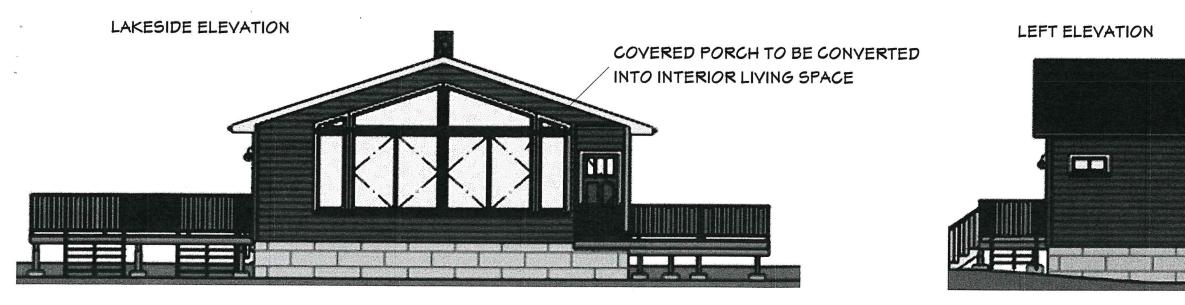
DWELLING DRAWINGS

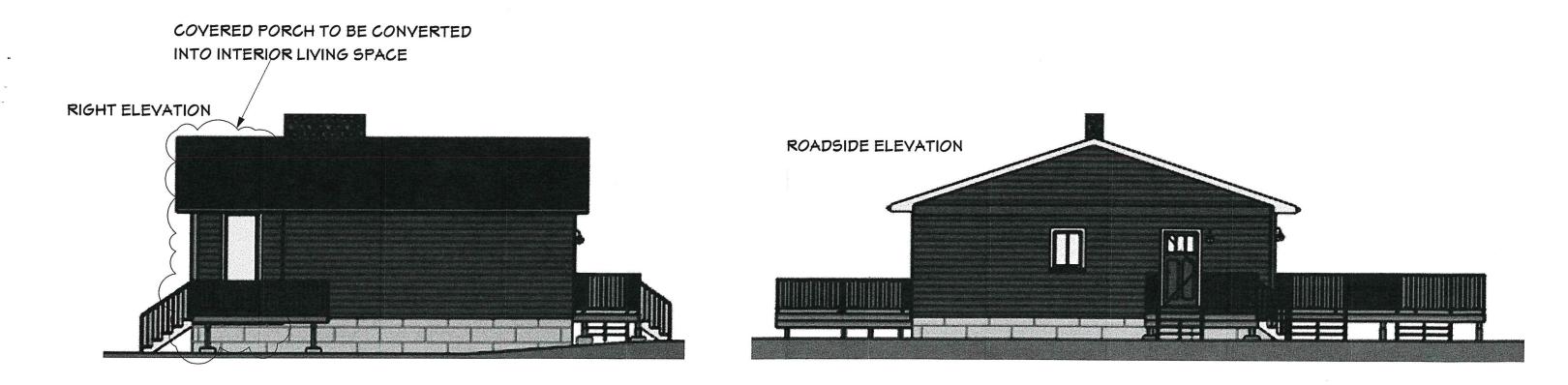


DRAWING BY: A. LENNIE II. BCIN 18995/47308

SHEET NUMBER:

ELEVATION DRAWINGS - PROPOSED DWELLING







THE PERMIT GUY

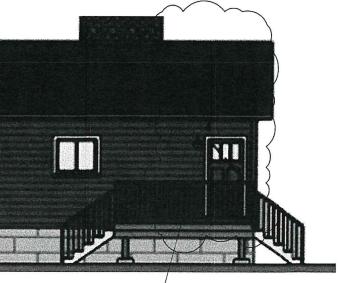
35 COVERED BRIDGE TRAIL BRACEBRIDGE, ON P1L 1Y1

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PORCH CONVERTED TO INTERIOR LIVING SPACE

1038 SUNSET BAY [GRANATO] TOWNSHIP OF MUSKOKA LAKES

NOT TO SCALE



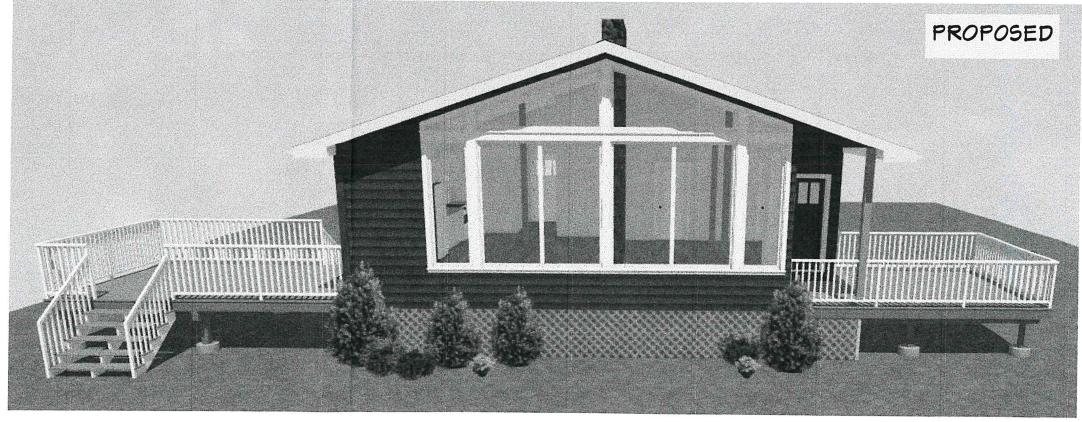
COVERED PORCH TO BE CONVERTED INTO INTERIOR LIVING SPACE

DRAMING BY: A. LENNIE II. BCIN 18995/47308

SHEET NUMBER:

EXISTING AND PROPOSED RENDERINGS







THE PERMIT GUY

35 COVERED BRIDGE TRAIL BRACEBRIDGE, ON P1L 1Y1

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PORCH CONVERTED TO INTERIOR LIVING SPACE

1038 SUNSET BAY [GRANATO] TOWNSHIP OF MUSKOKA LAKES

NOT TO SCALE

DRAWING BY: A. LENNIE II. BCIN 18995/47308

SHEET NUMBER:

1038 SUNSET BAY ROAD TOWNSHIP OF MUSKOKA LAKES





BOATHOUSE DRAWINGS

STANDARD NOTES

BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWING, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN PART OF ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND MUST CONFORM TO THE 2012 BUILDING CODE.

THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS

ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BYLAWS WHICH MAY TAKE PRECEDENCE

THE PERMIT GUY SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE FINAL CONSTRUCTION DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITION ENCOUNTERED ON THE JOB SITE, AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

MOOD FRAMING

-ALL STRUCTURAL FRAMING TO BE S.P.F. No.2 GD. KILN DRIED -ALL COLUMNS IN FRAMED WALLS TO BE NAILED WELL INTO ADJACENT FRAMING TO RESIST LATERAL MOVEMENT

-PLACE DOUBLE JOIST OR BLOCKING UNDER ALL PARALLEL PARTITIONS OVER 6' LONG

-DIMENSION ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF INTERIOR PARTITIONS UNLESS OTHERWISE NOTED.

-FACE OF EXTERIOR WALL AND FOUNDATION TO BE FLUSH

-WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 6MIL POLY, SIL GASKET OR OTHER APPROVED METHODS. PLATES TO BE ANCHORED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS AT A MAXIMUM OF 48" O.C. EXTERIOR SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.

FOUNDATION

FOUNDATION LAYOUT SHALL CONFORM WITH FINAL DRAWINGS -FOUNDATION SHALL BE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE -FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAY STRENGTH OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION

-ALL STRUCTURAL CONCRETE TO HAVE A MIN. 28 DAY COMPRESSIVE STRENGTH OF 20 MPa, EXCEPT EXTERIOR STEPS, CARPORT & GARAGE FLOORS WHICH REQUIRE 32 MPa AFTER 28 DAYS

ERRORS AND OMISSIONS

THE PERMIT GUYS MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION

SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT YOUR EARLIEST CONVINCE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE IF NECESSARY

FLOOR AREAS(ft 2)

<u>DOCK & BOATHOUS</u>E EXISTING STEEL DOCK BOATHOUSE

1, 3**25** ft ² 480 ft 2

GLAZING PERCENTAGE

TOTAL MALL AREA 910 ft ² TOTAL GLAZING AREA 336.8 ft ² PERCENTAGE OF GLAZING 37.0%

ABBREVIATIONS

ADDN	ADDITION
ALUM.	ALUMINUM
B/ <i>O</i>	BY OTHERS
B/U	BUILT UP
CANT	CANTILEVERED
CONC.	CONCRETE
CONTIN. CO	NTINUOUS
DEC.	DECORATIVE
D.O.	DITTO
DMG	DRAWINGS
els	EACH SIDE
EXT.	EXTERIOR
FDN	FOUNDATION
FTG	FOOTING
INSUL.	INSULATION
INT.	INTERIOR
MANUF. MA	NUFACTURER
N.T.S.	NOT TO SCALE
0.C.	ON CENTER
P.T.	PRESSURE TREATED
R.O.	ROUGH OPENING
SBFLR	SUBFLOOR
SF	SQUARE FEET
T&G	TONGUE AND GROOVE
TYP.	TYPICAL
U/S	UNDERSIDE OF
M/	MITH
MD	WOOD

ELECTRICAL LAYOUT SHOWN TO BE USED AS A GUIDE ONLY. ELECTRICAL CONTRACTOR MUST ENSURE THAT DESIGN AND SYSTEMS MEET LOCAL AND NATIONAL CODES.

ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED BETWEEN FLOORS.

BUILDING CODE

ATTIC OR ROOF SPACE TO BE VENTED 1/500 OF AREA. UNHEATED CRAMLSPACES TO BE VENTED A MIN. OF 1/5000 OF AREA WITH CLOSABLE VENTS

6 MIL POLY TO BE INSTALLED ON WARM SIDE OF INSULATION

WALL AND CEILING INSULATION MAY BE LOOSE FILL OR BATT TYPE

PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE

ALL ROOFS SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE, EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACE AND SOFFIT.

BEST PRACTICES PROCEDURES AND/OR INSTALLATION INSTRUCTIONS.

FINISHING PLANS SHOE SHALL BE CONFIRMED BY OWNER.

ALL EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHER-STRIPPED. GARAGE DOORS PROVIDING ACCESS TO DWELLING SHE BE AS ABOVE AND SELF CLOSING

INSTALL FLASHING ON ALL EXTERIOR OPENINGS

CEILING WITH CEILING WITH EXPOSED FL WALLS ABOV BASEMENT 1 HEATED SLA BELOW GRAD WINDOWS & SKYLIGHTS M SPACE HEAT HRV MIN SRE DOMESTIC H

> BRACE LOCATIO ROOFLO GROUND SN RAIN LOAD (SNOWLOAD ROOF DESIG ROOF & CEIL STRUCT GROUND & FLOOR/CEIL WINDLO 1/50 WIND PF 1/10 MIND F TEMPER DEGREE DAY E ADVERSELY AFFECTED

ELECTRICAL

INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH LOCAL CODES AND REGULATIONS AND WITH THE LOCAL ELECTRICAL POWER SUPPLIER'S REGULATIONS IN ALL RESPECTS

OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT

MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNER'S AND/OR LOCAL AUTHORITY'S REQUIREMENTS.

INSULATION AND VENTILATION

<u>FINISHING</u> ALL MANUFACTURED PRODUCTS ARE TO BE INSTALLED USING THE MANUFACTURES

1/2" TYPE X DRYWALL TO BE APPLIED AT GARAGE WALLS ADJACENT TO DWELLING

ALL INTERIOR AND EXTERIOR FINISHING SHALL BE SPECIFIED BY OWNER. ANY

ALL EXTERIOR FINISHES TO BE APPLIED WITH GALVANIZED NAILS

ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS

PRESCRIPTIVE COMPLIANCE PACKAGE A1

(TABLE 3.1.1.2.A)

H ATTIC SPACE MIN. RSI	60
HOUT ATTIC SPACE MIN. RSI	31
OOR\ MIN. RSI	31
/E GRADE MIN. RSI	22
NALLS MIN. RSI	20
B	
DE MIN. RSI	10
SLIDING GLASS DOORS MAX U	0.28
MAX U	0.49
ING EQUIPMENT MIN. AFUE	96%
E	75%
OT WATER HEATER MMIN EF	0.8

BRIDGE CLIMATIC DATA				
N: GRAVENHURST				
OADING: NOW LOAD (Sa): (Sr): D FACTOR (Cb): SN SNOW LOAD: LING DESIGN DEAL LOAD:	3.1 kPa (64.74 psf) 0.4 kPa (8.35 psf) 0.55 2.11 kP (43.96 psf) 0.57 kPa (12.0 psf)			
URE LOADING: SECOND FLOOR: ING DESIGN DEAD LOAD:	1.92 kPa (40.0 psf) 0.72 kPa (15.0 psf)			
DADING: RESSURE: PRESSURE:	0.35 kPa (7.31 psf) 0.27 kPa (5.64 psf)			
RATURE: YS BELOW 18 DEGREES C	4800			

THE DESIGN DEAD LOADS SPECIFIED ABOVE ARE BASED ON TH DRAWINGS AND MATERIALS EITHER SPECIFIED OR ASSUMED. WHERE DIFFERENT OR HEAVIER MATERIALS ARE PROPOSED THE CONTRACTOR SHALL NOTIFY THE DESIGNER PRIOR TO CONSTRUCTION OF ANY LOAD-BEARING ELEMENTS THAT MAY

NOT TO SCALE

GENERAL NOTES

1. DO NOT SCALE DRAWINGS

- 2. These plans shall be considered "NOT FOR CONSTRUCTION" unless they have been approved by the local building department.
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A1	FLOOR PLAN
A2	ELEVATION
A3	CROSS SECTION & DETAILS
51	ROOF FRAMING
E1	ELECTRICAL PLAN

The undersigned has reviewed and takes responsibility for this desig and has the qualifications and meets the requirements set out in the Ontario Building Conde to be a designer.

QUALIFICATION INFORMATION Required unless design is exempt under 3.2.5 of Division C of the Building Code.

ADAM LENNIE	A. Lennie	18995
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION Design is exempt under 3.2.4 of Division C of the Building Code.

HE PERMIT GUY	4730

DRAWING TITLE:

FIRM NAME

COVER PAGE

BCIN

CLIENT:

705-644-1167

PERMIT DOCK AND PROJECT:

BOATHOUSE DRAWINGS SITE LOCATION: 1038 SUNSET BAY ROAD

TOWNSHIP OF MUSKOKA LAKES

THE PERMIT GUY 35 COVERED BRIDGE TRAIL BRACEBRIDGE, ON P1L 1Y1

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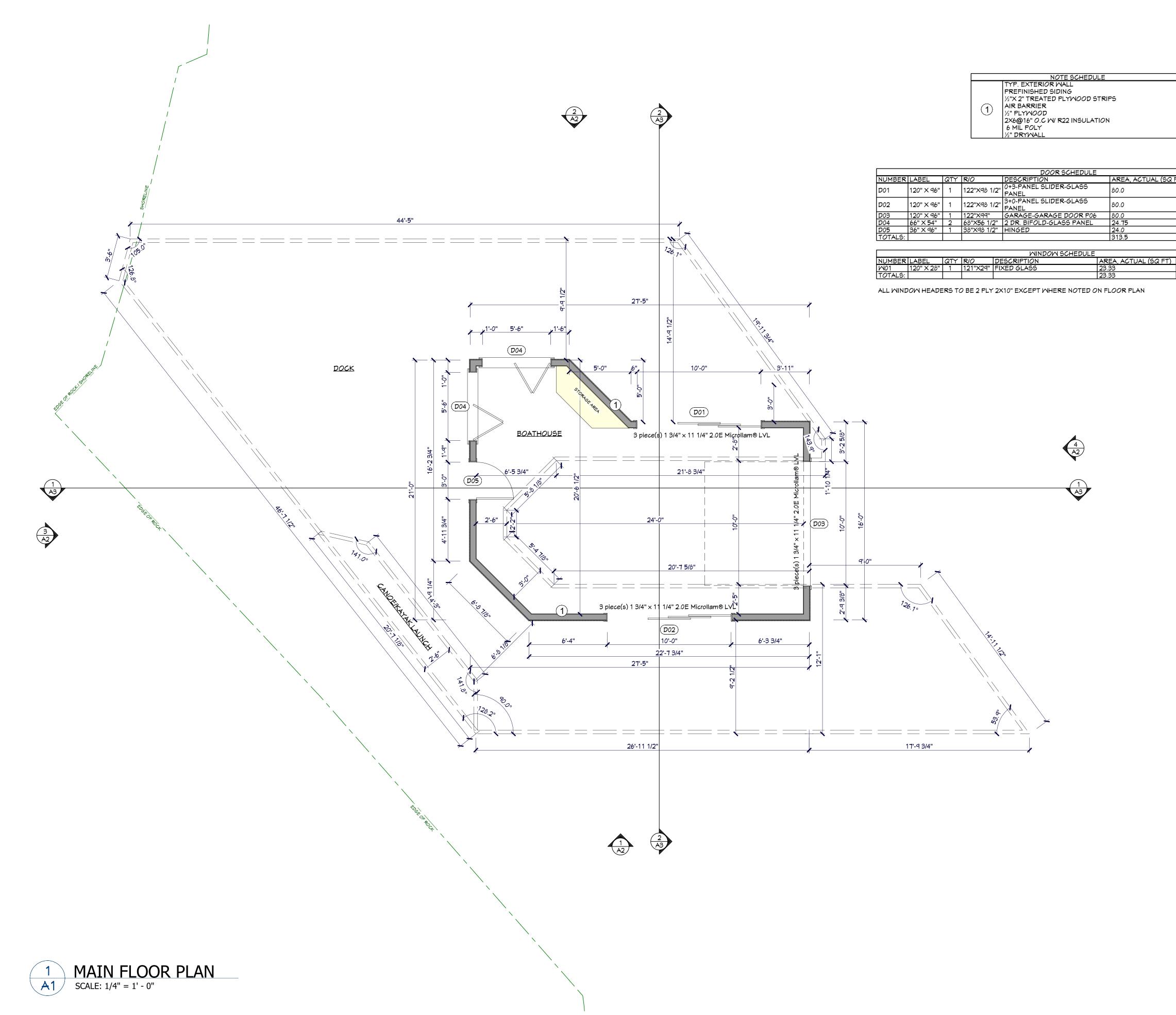


PAGE NO.

A0

DRAMN BY: A. LENNIE II. BCIN 18995/47308

Friday, February 10, 2023



NOT TO SCALE

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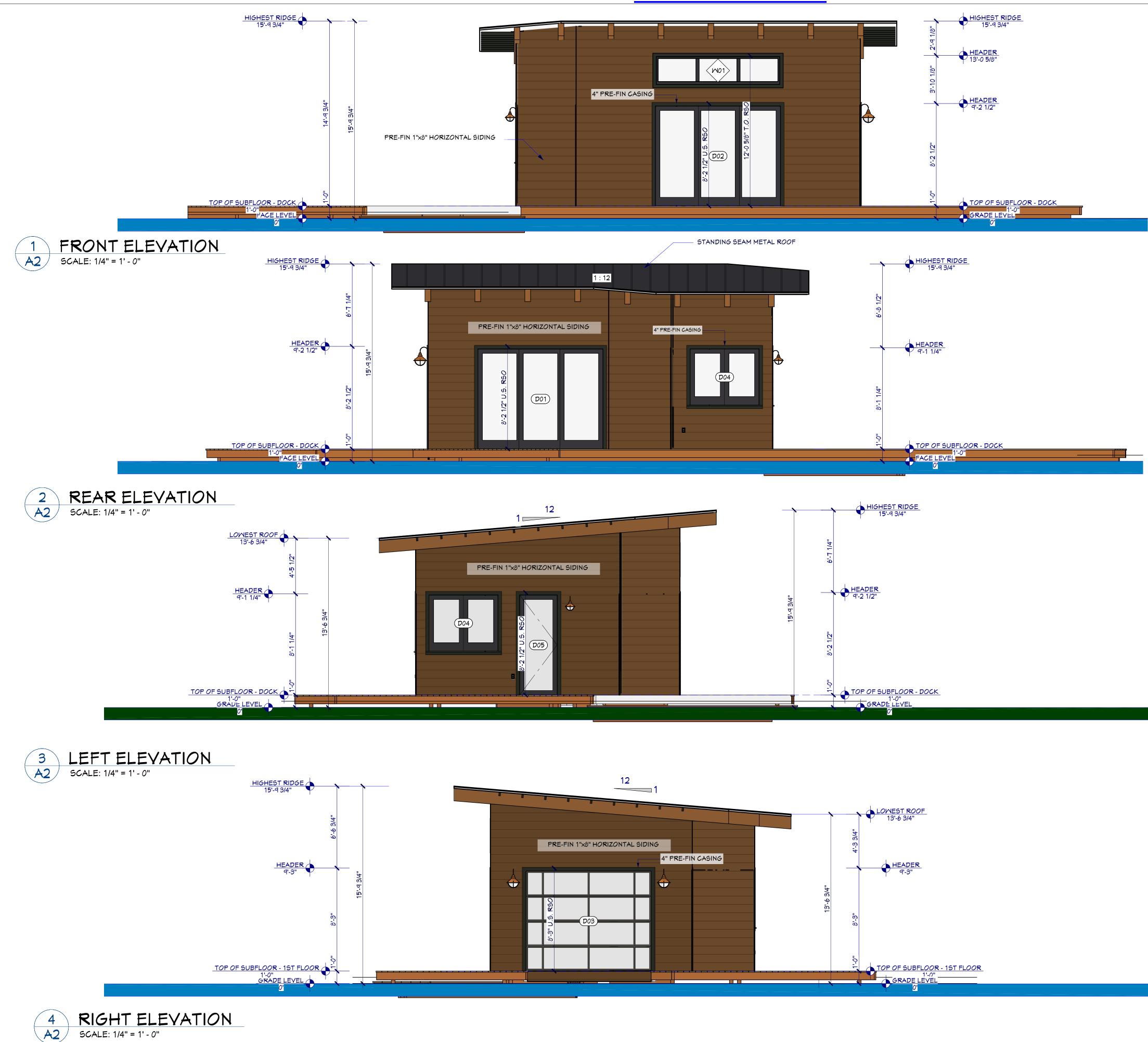
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Friday, February 10, 2023

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ELEVATION DRAWINGS

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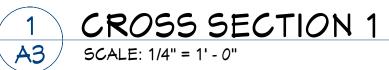
GENERAL NOTES

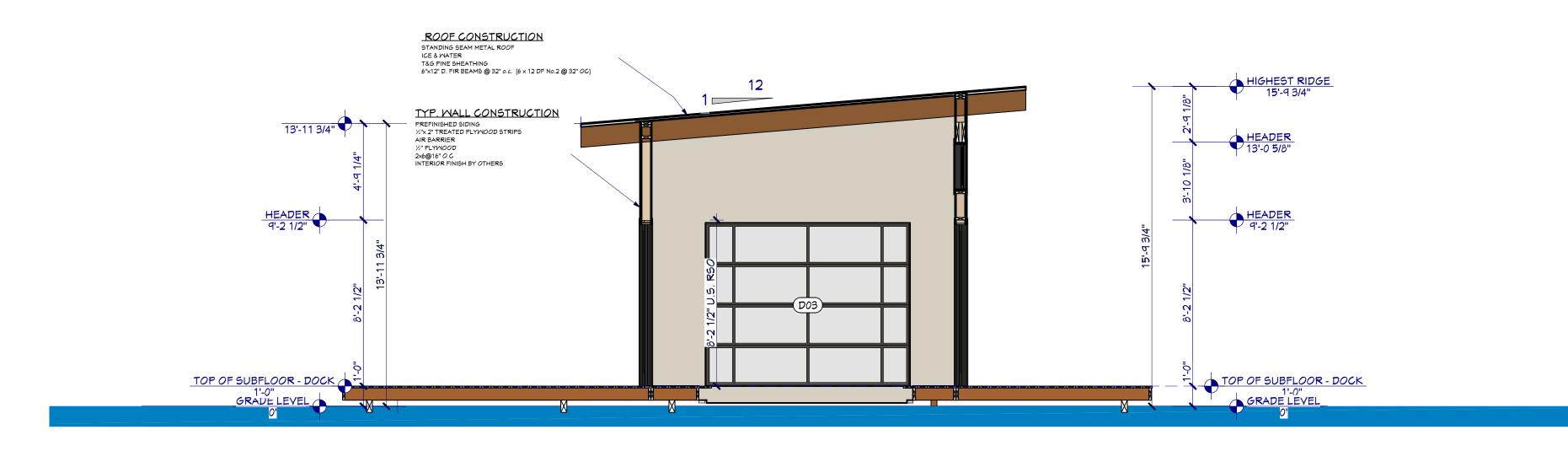
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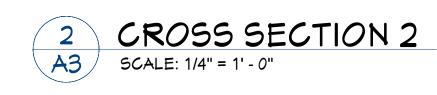
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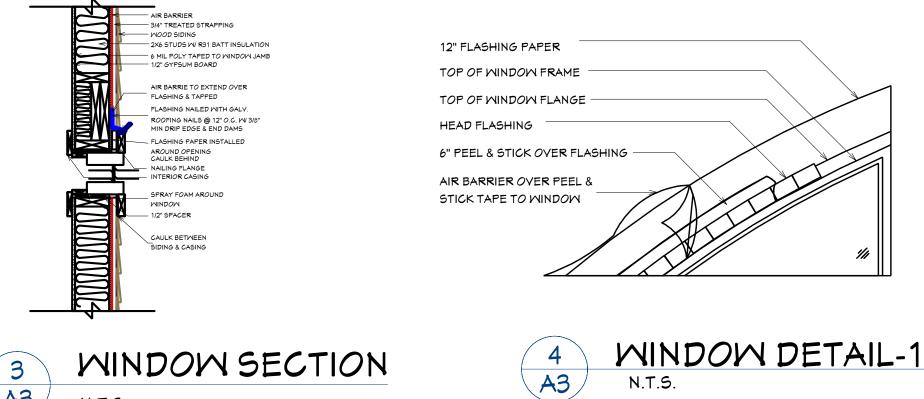
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FIRM NA	AME			BCIN
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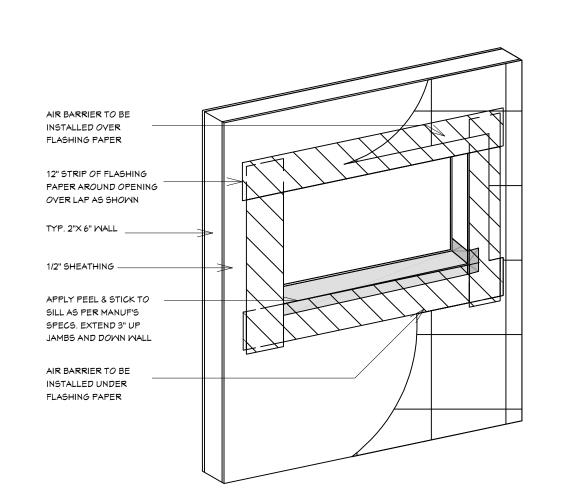






WINDOW SECTION N.T.S.

ELEVATION DRAWINGS

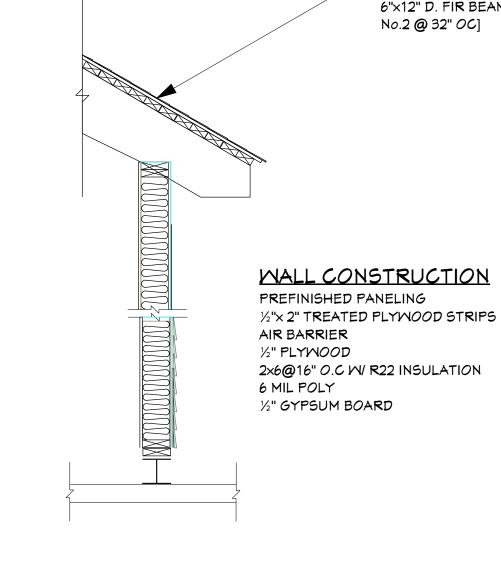


OPENING DETAIL

5

A3

N.T.S.



N.T.S.

6

A3

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ROOF CONSTRUCTION

STANDING SEAM METAL ROOF ICE & MATER T&G PINE SHEATHING 6"×12" D. FIR BEAMS @ 32" o.c. [6 × 12 DF No.2 @ 32" OC]

The undersigned has reviewed and takes responsibility for this desig and has the qualifications and meets the requirements set out in the Ontario Building Conde to be a designer.

QUALIFICATION INFORMATION Required unless design is exempt under 3.2.5 of Division C of the Building Code.

ADAM LENNIE	A. Lennie	18995
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION Design is exempt under 3.2.4 of Division C of the Building Code.

THE PERMIT GUY	
----------------	--

FIRM NAME

DRAWING TITLE:

CROSS SECTION & DETAILS

47308

BCIN

CLIENT:

PERMIT DOCK AND PROJECT: BOATHOUSE DRAWINGS

SITE LOCATION: 1038 SUNSET BAY ROAD TOWNSHIP OF MUSKOKA LAKES

THE PERMIT GUY 35 COVERED BRIDGE TRAIL BRACEBRIDGE, ON P1L 1Y1

Permits@ThePermitGuy.ca

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PAGE NO.

A3

DRAWN BY: A. LENNIE II. BCIN 18995/47308

Friday, February 10, 2023

ELEVATION DRAWINGS - PROPOSED GARAGE

NOT TO SCALE

1038 SUNSET BAY TOWNSHIP OF MUSKOKA LAKES





STANDARD NOTES

BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWING, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN PART OF ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND MUST CONFORM TO THE 2012 BUILDING CODE.

THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS

ALL MORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BYLAMS WHICH MAY TAKE PRECEDENCE

THE PERMIT GUY SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE FINAL CONSTRUCTION DRAVINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITION ENCOUNTERED ON THE JOB SITE, AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

<u>KUCID FRAMING</u>. ALL STRUCTURAL FRAMING TO BE 5.P. No.2 GD. KILN DRIED ALL COLUMNS IN FRAMED VALLS TO BE NAILED WELL INTO ADJACENT FRAMING TO RESIST LATERAL MOVEMENT PLACE DOUBLE JOIST OR BLOCKING UNDER ALL PARALLEL PARTITIONS OVER 6'

FOUNDATION

FOUNDATION LAYOUT SHALL CONFORM WITH FINAL DRAWINGS -FOUNDATION SHALL BE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE -FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 25 DAY STRENGTH OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION -ALL STRUCTURAL CONCRETE TO HAVE A MIN. 25 DAY COMPRESSIVE STRENGTH OF

20 MPa, EXCEPT EXTERIOR STEPS, CARPORT & GARAGE FLOORS WHICH REQUIRE 32 MPa AFTER 28 DAYS FRRORS AND OMISSIONS THE PERMIT GUYS MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS, HOWEVER IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND

VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION

SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT YOUR EARLIEST CONVINCE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE IF NECESSARY

FLOOR AREAS(# 2) LIVING AREAS 2ND FLOOR -STORAGE 374 8 2 GARAGE & DECK GARAGE-15T FLOOR 374 ft ? DEGK(2ND FLOOR) 163 ft ² GLAZING PERCENTAGE

TOTAL WALL AREA 720.82 TOTAL GLAZING AREA 20658 PERCENTAGE OF GLAZING

ABBREVIATIONS

ADDN ADDITION ALUM. ALUMINUM B/O BY OTHERS BUILT UP B/U CANT CANTIL EVERED CONC. CONCRETE CONTIN CONTINUOUS DEC DECORATIVE DO DITTO DWG DRAWINGS e/s EACH SIDE EXT EXTERIOR FDN FOUNDATION FTG FOOTING INSUL INSULATION INTERIOR INT. MANUFACTURER MANUE N.T.S. ON CENTER 0.C. РT PRESSURE TREATED R.0 SUBFLOOR SBFLR SF SQUARE FEET TONGUE AND GROOVE T&G TYP TYPICAL U/S UNDERSIDE OF W MITH

NOT TO SCALE

ROUGH OPENING

- MD WOOD

GENERAL NOTES DO NOT SCALE DRAWINGS

ELECTRICAL LAYOUT SHOWN TO BE USED AS A GUIDE ONLY. ELECTRICAL CONTRACTOR MUST ENSURE THAT DESIGN AND SYSTEMS MEET LOCAL AND 2. These plans shall be considered "NOT FOR CONSTRUCTION" unless they have been approved by the local building department. ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED BETWEEN

All measurements to be checked and confirmed by contractor prior to construction INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH LOCAL CODES AND

REGULATIONS AND WITH THE LOCAL ELECTRICAL POWER SUPPLIERS REGULATIONS IN ALL RESPECTS

OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT **Building Authorities** MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY ADJUST

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This drawing is not to be reproduced, used to produce products or services.

Title COVER PAGE FLOOR PLAN

ELEVATION

CROSS SECTIONS DETAILS FLOOR & ROOF FRAMING ELECTRICAL PLAN

Any discrepancies should be reported.

. All construction shall comply with Local

TABLE OF CONTENTS

INSULATION AND VENTILATION

ATTIC OR ROOF SPACE TO BE VENTED 1/500 OF AREA. UNHEATED CRAVILSPACES TO BE VENTED A MIN. OF 1/5000 OF AREA MITH CLOSABLE VENTS

ACCORDING TO OWNER'S AND/OR LOCAL AUTHORITY'S REQUIREMENTS

FLEGTRICAL

NATIONAL CODES

BUILDING GODE

FLOORS

A ME POLY TO BE INSTALLED ON WARM SIDE OF INSULATION

WALL AND CELLING INSULATION MAY BE LOOSE FILL OR BATT TYPE

PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE

ALL ROOFS SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE, EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACE

EINIBHING ALL MANUFACTURED PRODUCTS ARE TO BE INSTALLED USING THE MANUFACTURES BEST PRACTICES PROCEDURES AND/OR INSTALLATION INSTRUCTIONS.

1/2" TYPE X DRYMALL TO BE APPLIED AT GARAGE MALLS ADJACENT TO DWELLING

ALL INTERIOR AND EXTERIOR FINISHING SHALL BE SPECIFIED BY OWNER. ANY FINISHING PLANS SHOE SHALL BE CONFIRMED BY OWNER.

ALL EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHER.STRIPPED. GARAGE DOORS PROVIDING ACCESS TO DWELLING SHE BE AS ABOVE AND SELF CLOSING

INSTALL FLASHING ON ALL EXTERIOR OPENINGS

ALL EXTERIOR FINISHES TO BE APPLIED WITH GALVANIZED NAILS ALL SLIDING GLASS DOORS TO HAVE TEMPTRED GLASS

PRESCRIPTIVE COMPLIANCE PACKAGE A1 (TABLE 3.1.1.2.A)

CEILING WITH ATTIC SPACE MIN. RSI 60 CEILING WITHOUT ATTIC SPACE MIN. RSI 31 EXPOSED FLOOR MIN. RSI 31 MALLS ABOVE GRADE MIN. RSI 22 BASEMENT WALLS MIN. RSI 20 HEATED SLAB OR SLAB <=600mm BELOW GRADE MIN. RSI 10 WINDOWS & SLIDING GLASS DOORS MAX U 0.28 SKYLIGHTS MAX U 0.49 SPACE HEATING EQUIPMENT MIN. AFUE 96% HRY MIN SRE 75% DOMESTIC HOT WATER HEATER MMIN EF 0.8

CLIMATIC & DESIGN LOAD DATA LOCATION: GRAVENHURST ROOF LOADING GROUND SNOW LOAD (5 RAIN LOAD (5) kPa (64.74 ps kPa (6.95 ps 0.55 ROOF DESIGN 5 STRUCTURE LOADING kPa (40.0 p 6ROUND & SECOND FLOOR/CEILING DES WIND LOADING 1/50 WIND PRESSUR 35 kPa (7.51 p TEMPERATURE 4500 501 ASSUMED ALLOWABLE BEARING PRESSURE AT FOOTING FOUNDING 75 kPa (1556 ca ROCK 500 kPa (10,44)

IERE DIFFERENT OR HEAVIER MATERIALS ARE PROPOSE E CONTRACTOR SHALL NOTIFY THE DESIGNER PRIOR TO DETRUCT ON OF MALL NOTIFY THE DESIGNER PRIOR TO

UPPER STOREY TO BE **STORAGE** ONLY.

and has the qualifi	as reviewed and takes re ications and meets the re onde to be a designer.	
	FICATION INFORMATION esign is exempt under 3.2 de.	
ADAM LENNIE	A. Lennie	18995
NAME	SIGNATURE	BCIN
REGIS	TRATION INFORMATION	
Design is exempt u	inder 3.2.4 of Division C o	of the Building Code.
THE PERMIT GUY		47308
FIRM NAME		BCIN
DRAMING TITLE:	GOVER	PAGE
GLIENT:	GRAN	470
PROJECT:	PERMIT DRAWINGS	
SITE LOCATION:	1038 SUNSET BA	ĭ
THE PERMIT 35 COVERED BRID BRACEBRIDGE, OI P1L 1Y1 705-644-1167 Parmits@TheParmi		
DRAWN BY	ENNIE II. BGIN 18995/	41508

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November 4, 2022	AO

NOT TO SCALE

ELEVATION DRAWINGS - PROPOSED GARAGE

