



Box 129, Port Carling, ON, POB 1JO  
Telephone (705) 765-3156  
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES  
**COMMITTEE OF ADJUSTMENT**

**NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE**

This notice has been sent to you for your information and does not require any response unless you wish to make one.

**TAKE NOTICE THAT** the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

**Hearing Date: Monday, August 14th, 2023 at 9:00 a.m.**

**File #.:** A-37/23

**Roll #:** 6-18-023

**Civic Address:** 1038 Sunset Bay Road

**Owners:** Charles Granato and Phyllis Boosalis, 203 Geoffrey Street, Toronto, ON, M6R 1P9

**Legal Description:** Lot 16, Concession D, Block A, Plan M-436, and Part 1, Plan BR-1330, (Medora)

**Lake/River:** Lake Muskoka (Category 1)

**Zoning:** Waterfront Residential (WR1)

**Zoning Schedule:** 41

**EXPLANATION OF THE PURPOSE AND EFFECT:** The applicants propose to demolish a sundeck and construct a new sundeck, enclose an existing covered porch (i.e. construct a dwelling addition), demolish and rebuild a garage in a different location, and construct a single storey boathouse on an existing dock.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.3 and 4.1.3.5	Construct a Dwelling Addition within the Required Front Yard Setback	50 ft.	23.5 ft.	26.5 ft.

**A key map of the subject property and the applicants' site plan and any drawings are included in this notice.**

**TAKE FURTHER NOTICE** that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wish to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM hearing is included in this Notice and can be found on our website at [www.muskokalakes.ca](http://www.muskokalakes.ca).

**ADDITIONAL INFORMATION** relating to the proposed variance application is available from the Planning Department week days between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

**Please quote the file number noted above.**

**YOU OR YOUR REPRESENTATIVE** are entitled to participate in this public hearing and make verbal representation and/or make written representation prior to the meeting. Comments can be submitted by emailing [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

**IF YOU WISH TO SPEAK** to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**NOTICE OF DECISION:** If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

**NO ONE OTHER THAN** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

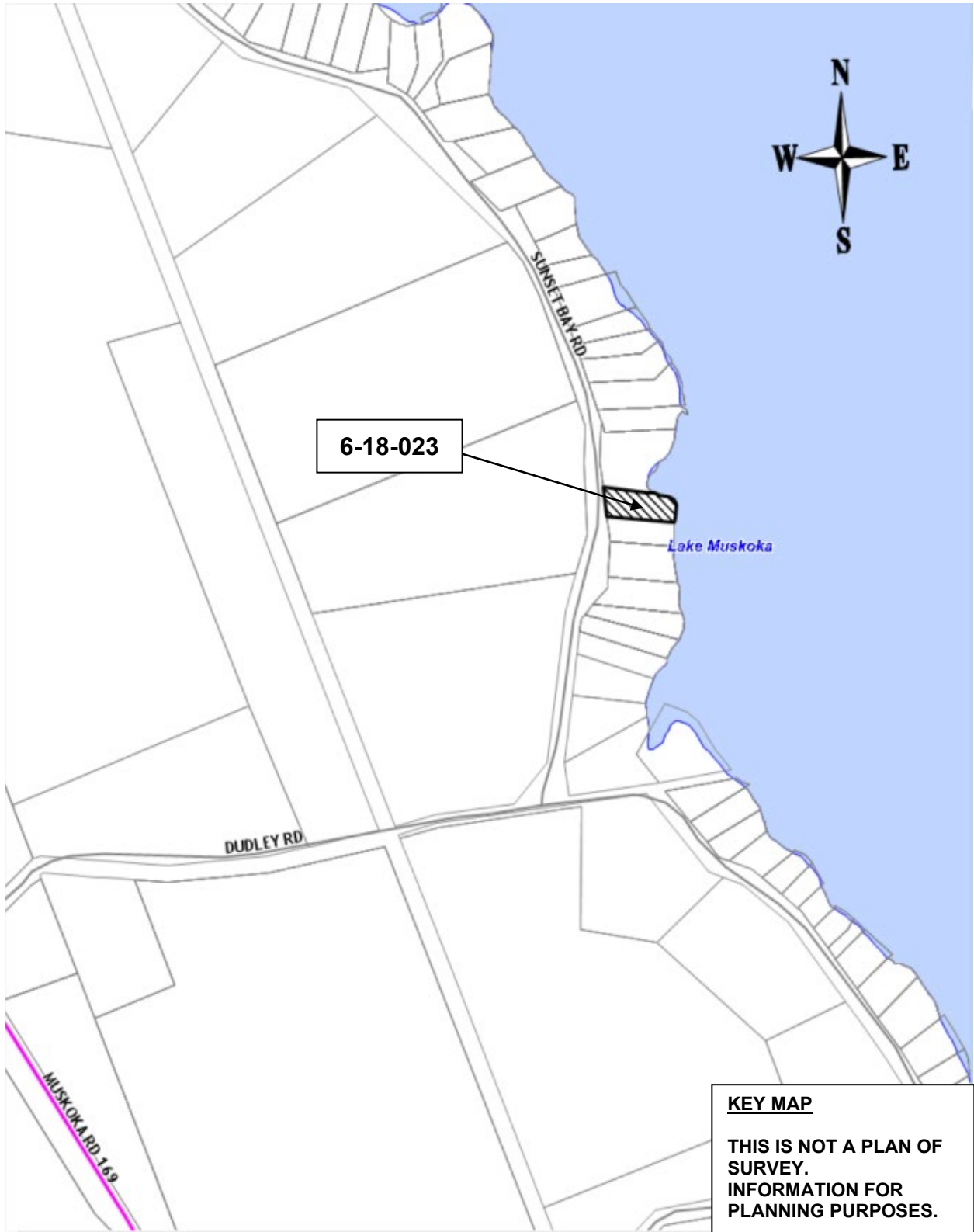
**THE HEARING** will be live-streamed on the Township's live webcast at: [www.muskokalakes.ca](http://www.muskokalakes.ca) If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

**PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.**

Dated this 4<sup>th</sup> day of August, 2023.

"Original Signed by K. Bavington"  
Kitty Bavington,  
Secretary-Treasurer  
Committee of Adjustment

**KEY MAP**



# SITE PLAN

NOT TO SCALE

## 1038 SUNSET BAY ROAD TOWNSHIP OF MUSKOKA LAKES

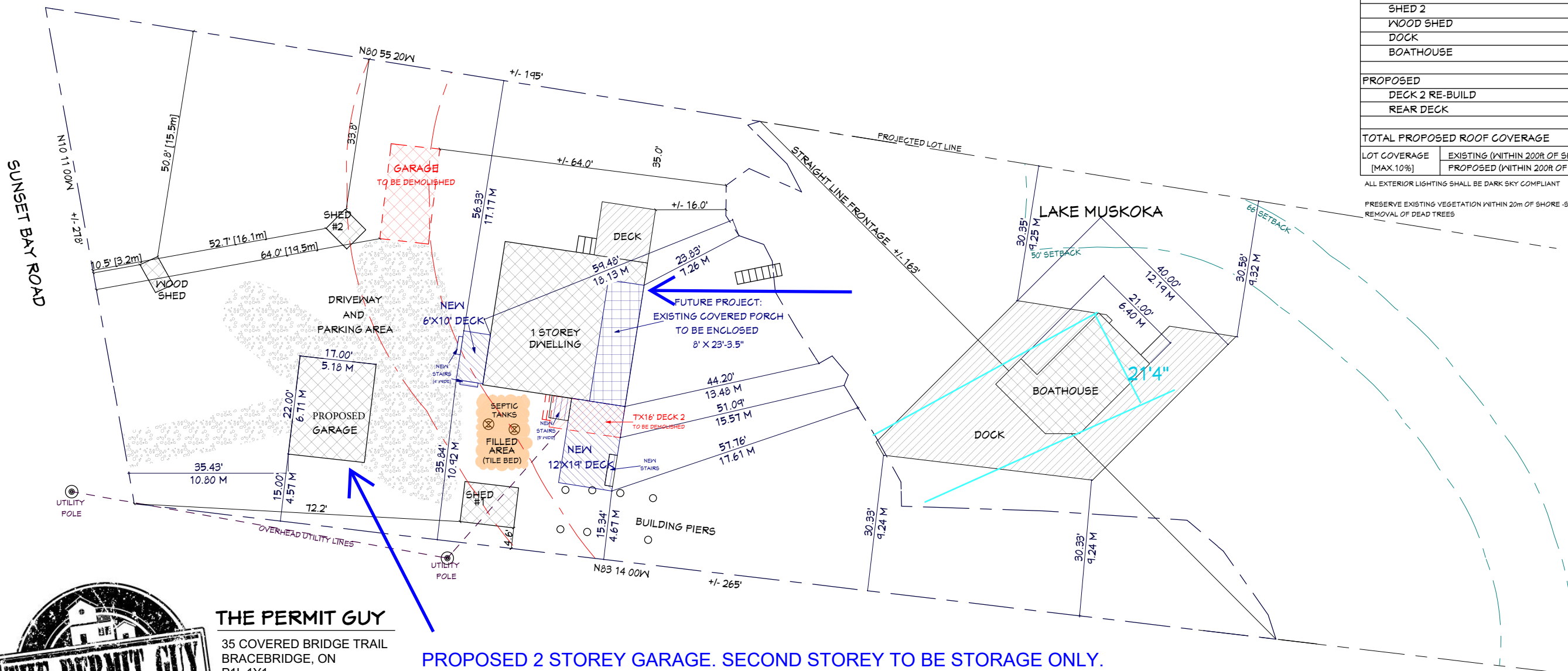
### SITE PLAN



SCALE 1 : 300

SITE DATA		1038 SUNSET BAY RD. 4453 060 018 02300	
LOT .No		LOT 16 CON D MEDORA	
ZONING		WR 1 WATERFRONT RESIDENTIAL CATEGORY 1	
LOT FRONTAGE	STRAIGHT LINE	49.68 m	163.00 ft
	ALONG PRESENT WATERS EDGE	67.06 m	220.00 ft
FRONT YARD SETBACK	20.1m (66ft)		
INTERIOR YARD SETBACK	4.6m (15ft)		
EXTERIOR YARD SETBACK	9.1m (30ft)		
REAR YARD SETBACK	4.6m (15ft)		
MAX. BUILD HEIGHT	10.7m (35ft)		
MAX. ACCESSORY BUILD HEIGHT	7.6m (25ft)		
LOT AREA	TOTAL LOT AREA	2 306.71 m <sup>2</sup>	24 829.20 ft <sup>2</sup>
WITHIN 200' OF HIGH WATER MARK		2 306.71 m <sup>2</sup>	24 829.20 ft <sup>2</sup>
<b>EXISTING</b>			
DWELLING		75.81 m <sup>2</sup>	816.00 ft <sup>2</sup>
COVERED PORCH [218.33sqft TO BE CONVERTED TO INTERIOR LIVING SPACE]		23.78 m <sup>2</sup>	256.00 ft <sup>2</sup>
DECK 1		13.38 m <sup>2</sup>	144.00 ft <sup>2</sup>
DECK 2 [TO BE REMOVED]		10.41 m <sup>2</sup>	112.00 ft <sup>2</sup>
GARAGE [TO BE REMOVED]		21.47 m <sup>2</sup>	231.12 ft <sup>2</sup>
SHED 1		10.02 m <sup>2</sup>	107.87 ft <sup>2</sup>
SHED 2		3.62 m <sup>2</sup>	39.03 ft <sup>2</sup>
WOOD SHED		2.83 m <sup>2</sup>	30.45 ft <sup>2</sup>
DOCK		124.06 m <sup>2</sup>	1,335.38 ft <sup>2</sup>
BOATHOUSE		46.11 m <sup>2</sup>	464.00 ft <sup>2</sup>
<b>PROPOSED</b>			
DECK 2 RE-BUILD		21.18 m <sup>2</sup>	228.00 ft <sup>2</sup>
REAR DECK		6.13 m <sup>2</sup>	66.00 ft <sup>2</sup>
<b>TOTAL PROPOSED ROOF COVERAGE</b>		159.18 m <sup>2</sup>	1,713.35 ft <sup>2</sup>
LOT COVERAGE [MAX.10%]	EXISTING (WITHIN 200ft OF SHORELINE)	5.9 %	
	PROPOSED (WITHIN 200ft OF SHORELINE)	6.9 %	

ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT  
PRESERVE EXISTING VEGETATION WITHIN 20m OF SHORE -SUBJECT TO PRUNING TO INDUSTRY STANDARD AND REMOVAL OF DEAD TREES

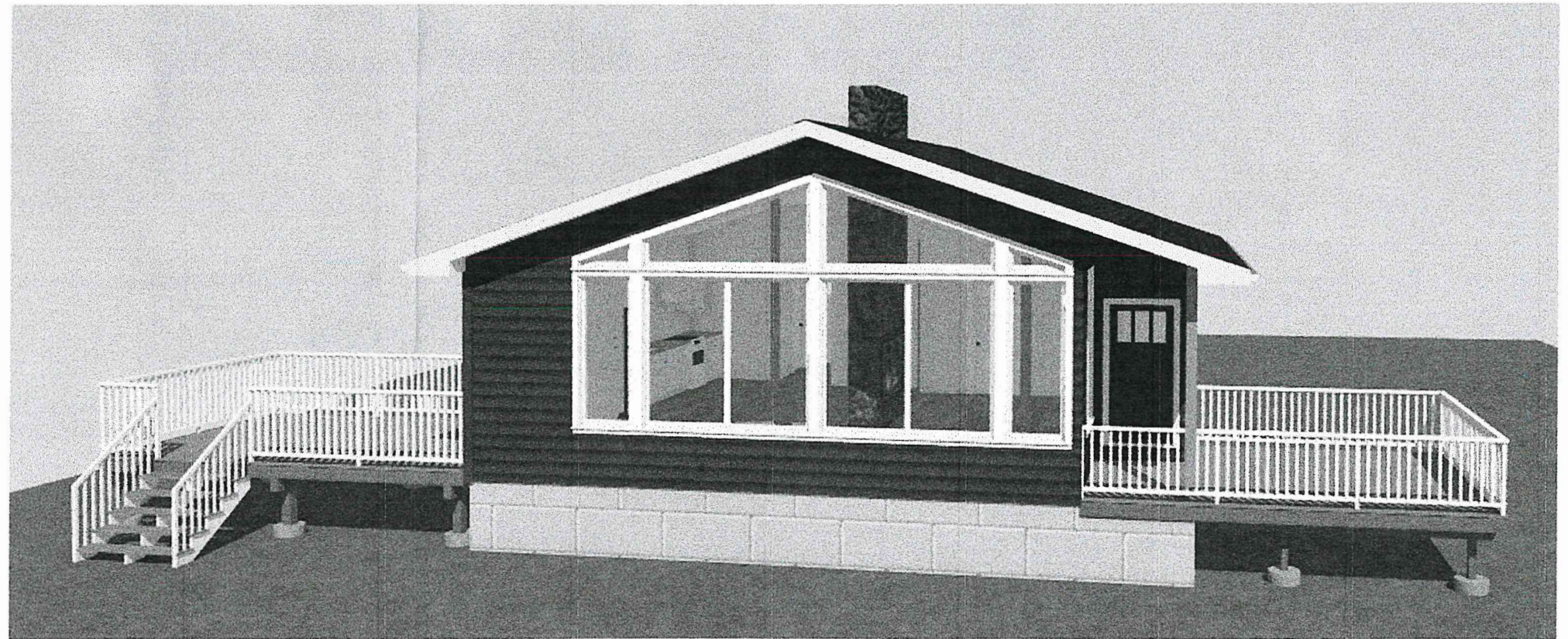
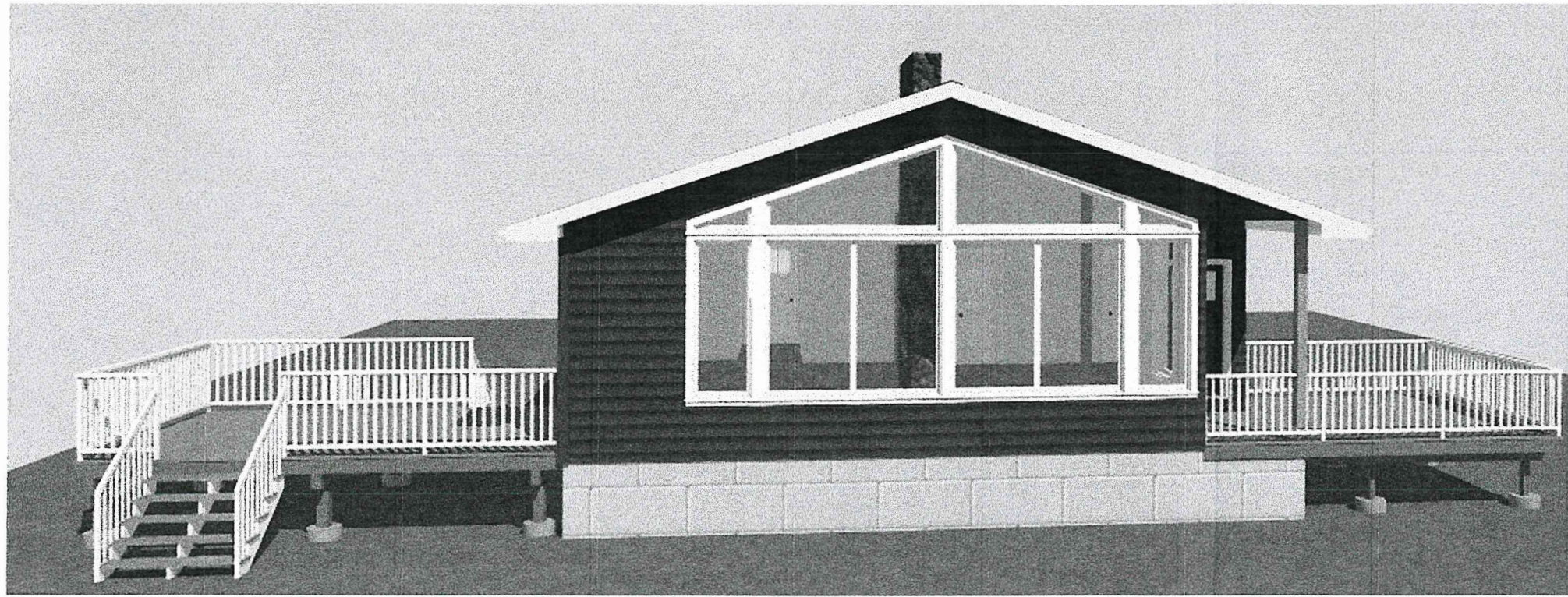


#### THE PERMIT GUY

35 COVERED BRIDGE TRAIL  
BRACEBRIDGE, ON  
P1L 1Y1

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PROPOSED 2 STOREY GARAGE. SECOND STOREY TO BE STORAGE ONLY.



**THE PERMIT GUY**

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## PORCH CONVERTED TO INTERIOR LIVING SPACE

1038 SUNSET BAY [GRANATO]  
TOWNSHIP OF MUSKOKA LAKES

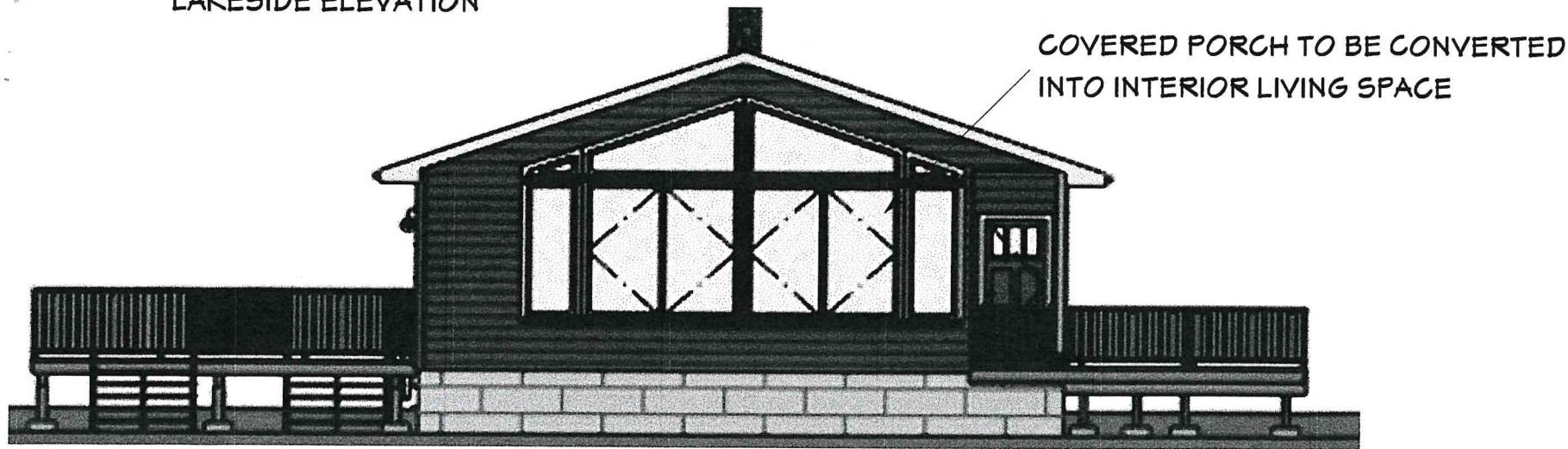
DRAWING BY: A. LENNIE II. BCIN 18995/41308

SHEET NUMBER:

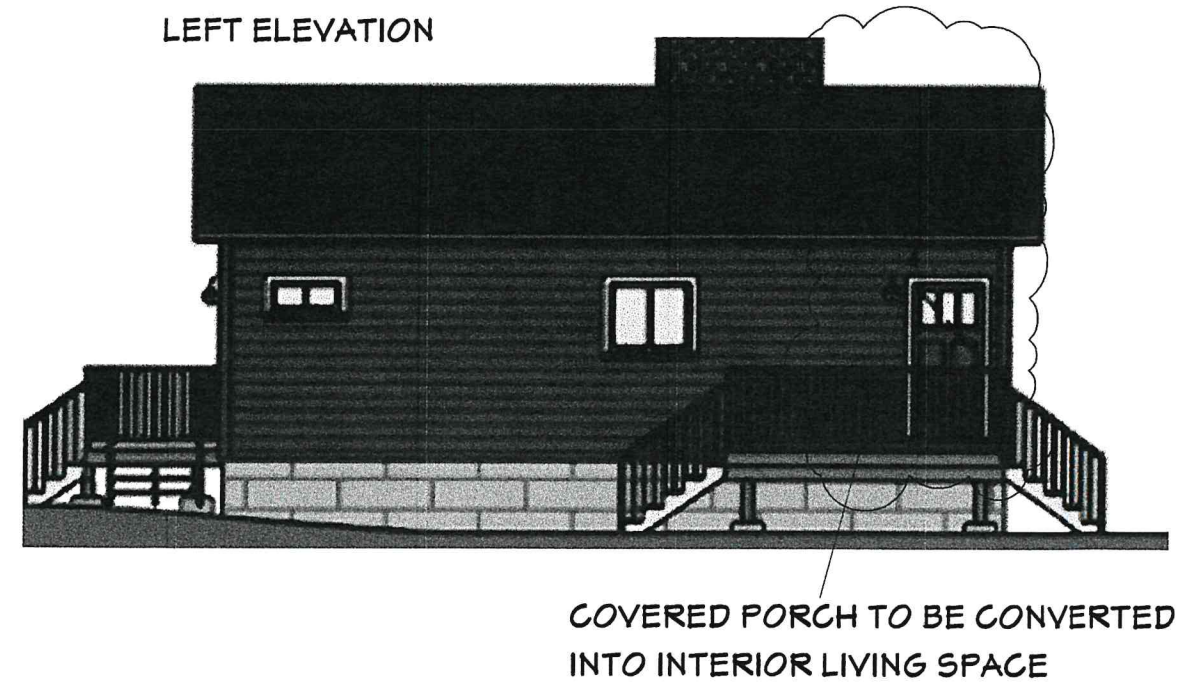
ELEVATION DRAWINGS - PROPOSED DWELLING

NOT TO SCALE

LAKESIDE ELEVATION

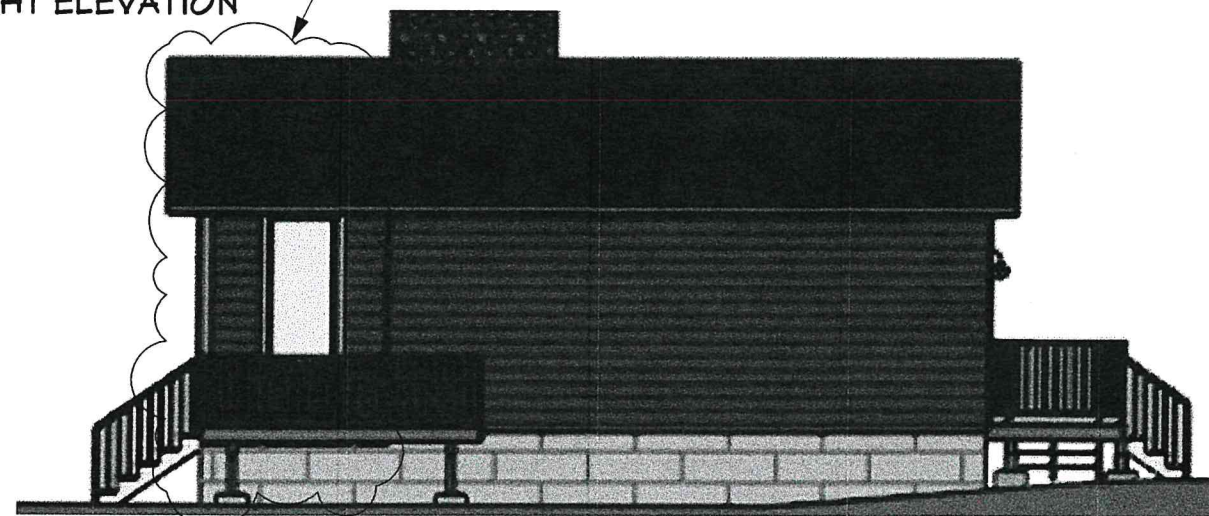


LEFT ELEVATION

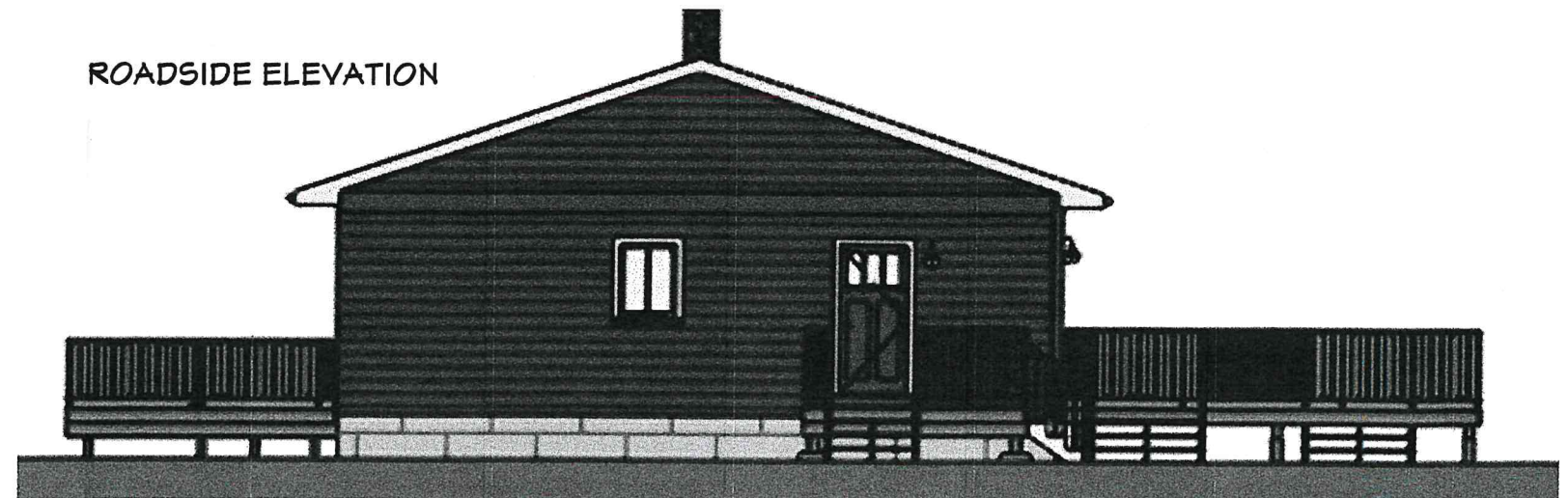


COVERED PORCH TO BE CONVERTED INTO INTERIOR LIVING SPACE

RIGHT ELEVATION



ROADSIDE ELEVATION



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**PORCH CONVERTED TO INTERIOR LIVING SPACE**

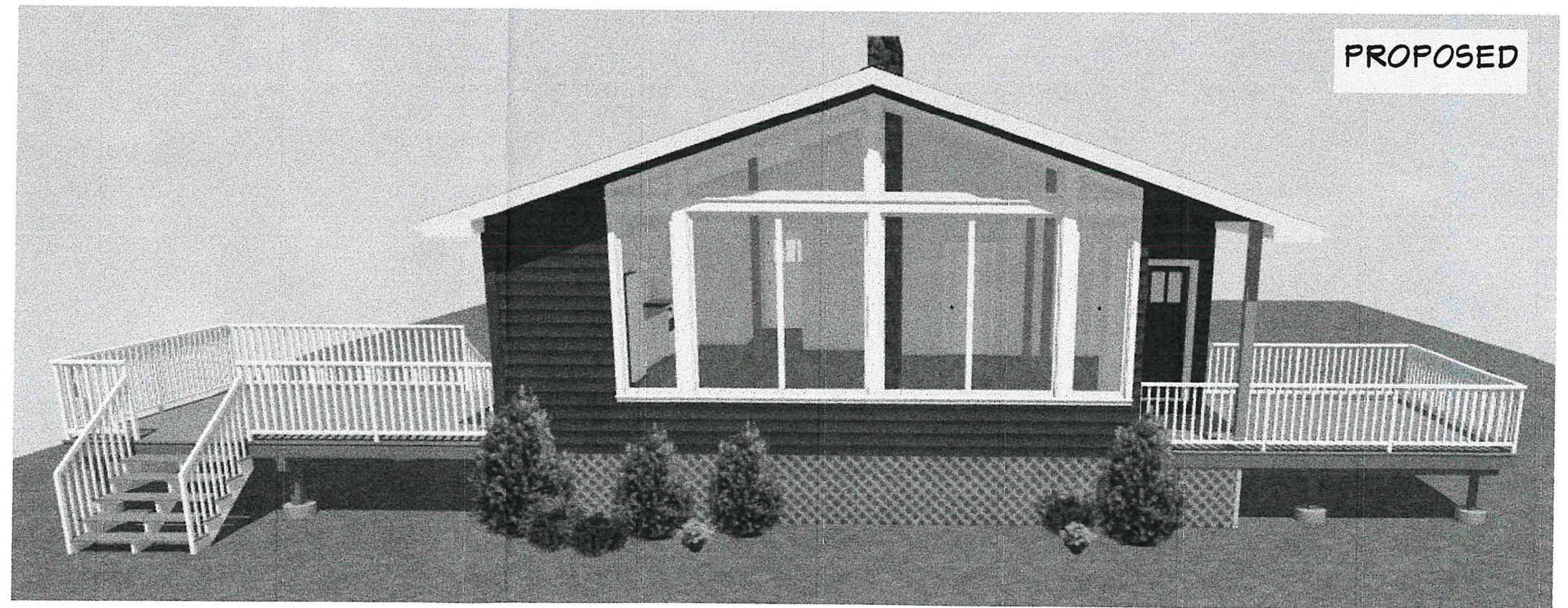
1038 SUNSET BAY [GRANATO]  
TOWNSHIP OF MUSKOKA LAKES

DRAWING BY: A. LENNIE II. BCIN 18995/47308

SHEET NUMBER:



**EXISTING**



**PROPOSED**



**THE PERMIT GUY**

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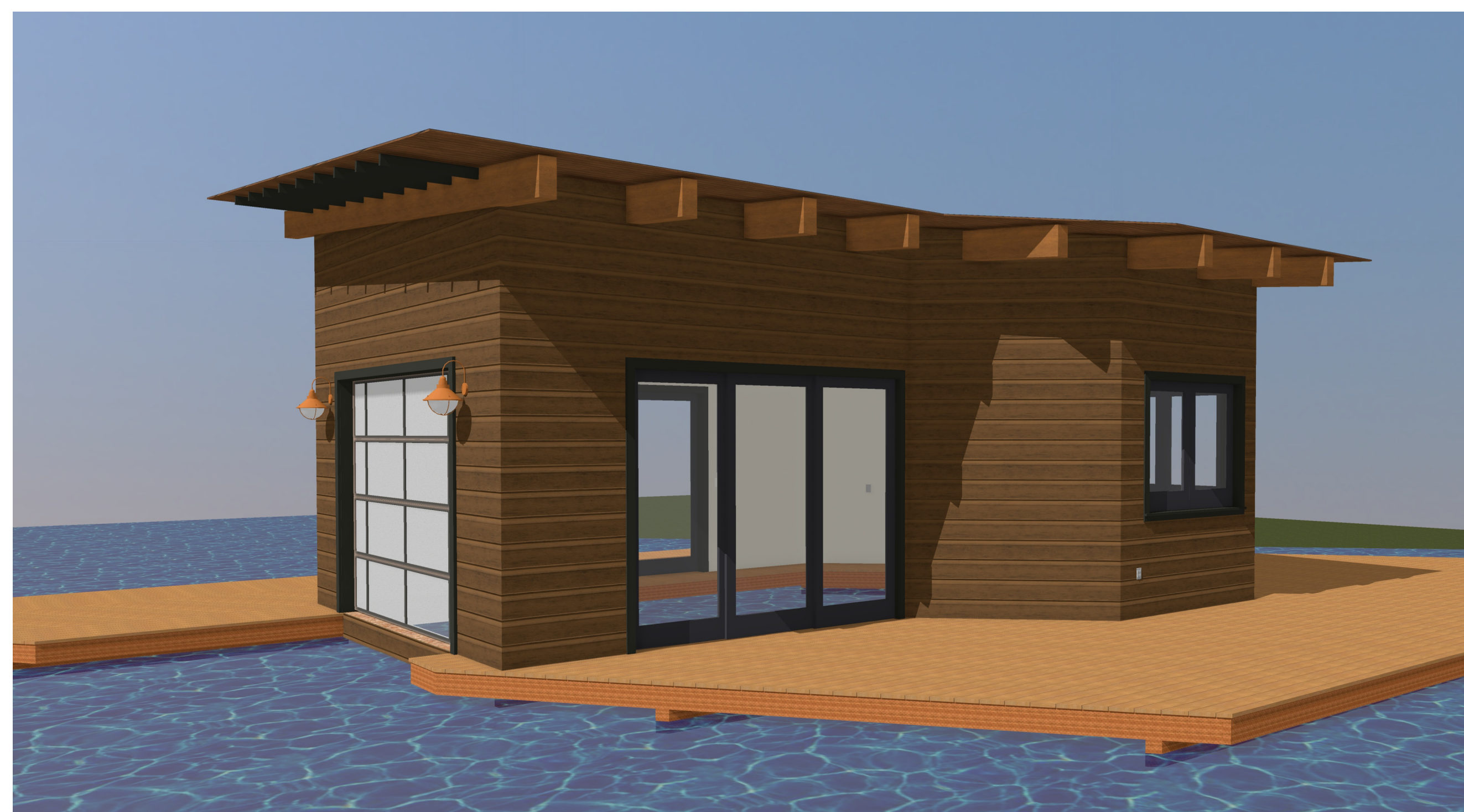
## **PORCH CONVERTED TO INTERIOR LIVING SPACE**

**1038 SUNSET BAY [GRANATO]  
TOWNSHIP OF MUSKOKA LAKES**

DRAWING BY: A. LENNIE II. BCIN 18995/47308

SHEET NUMBER:

# 1038 SUNSET BAY ROAD TOWNSHIP OF MUSKOKA LAKES



**STANDARD NOTES**  
BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWING, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN PART OF ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND MUST CONFORM TO THE 2012 BUILDING CODE.

THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS

ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BYLAW WHICH MAY TAKE PRECEDENCE

THE PERMIT GUY SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE FINAL CONSTRUCTION DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITION ENCOUNTERED ON THE JOB SITE, AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

**WOOD FRAMING**  
-ALL STRUCTURAL FRAMING TO BE S.P.F. No 2 GD. KILN DRIED  
-ALL COLUMNS IN FRAMED WALLS TO BE NAILED WELL INTO ADJACENT FRAMING TO RESIST LATERAL MOVEMENT  
-PLACE DOUBLE JOIST OR BLOCKING UNDER ALL PARALLEL PARTITIONS OVER 6' LONG  
-DIMENSION ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF INTERIOR PARTITIONS UNLESS OTHERWISE NOTED.  
-FACE OF EXTERIOR WALL AND FOUNDATION TO BE FLUSH  
-WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 6MIL POLY. SIL. GASKET OR OTHER APPROVED METHODS. PLATES TO BE ANCHORED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS AT A MAXIMUM OF 48" O.C. EXTERIOR SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.

**FOUNDATION**  
FOUNDATION LAYOUT SHALL CONFORM WITH FINAL DRAWINGS  
-FOUNDATION SHALL BE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE  
-FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAY STRENGTH OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION  
-ALL STRUCTURAL CONCRETE TO HAVE A MIN. 28 DAY COMPRESSIVE STRENGTH OF 20 MPa, EXCEPT EXTERIOR STEPS, CARPORT & GARAGE FLOORS WHICH REQUIRE 32 MPa AFTER 28 DAYS

**ERRORS AND OMISSIONS**  
THE PERMIT GUYS MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION

SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT YOUR EARLIEST CONVINCE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE IF NECESSARY

**FLOOR AREAS (R<sup>2</sup>)**

DOCK & BOATHOUSE	
EXISTING STEEL DOCK	1,325 R <sup>2</sup>
BOATHOUSE	460 R <sup>2</sup>

**GLAZING PERCENTAGE**

TOTAL WALL AREA	410 R <sup>2</sup>
TOTAL GLAZING AREA	336.0 R <sup>2</sup>
PERCENTAGE OF GLAZING	31.0%

**ABBREVIATIONS**

ADDN	ADDITION
ALUM.	ALUMINUM
B/O	BY OTHERS
B/U	BUILT UP
CANT	CANTILEVERED
CONC.	CONCRETE
CONTIN.	CONTINUOUS
DEC.	DECORATIVE
D.O.	DITTO
DWG	DRAWINGS
e/s	EACH SIDE
EXT.	EXTERIOR
FDN	FOUNDATION
FTG	FOOTING
INSUL.	INSULATION
INT.	INTERIOR
MANUF.	MANUFACTURER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
P.T.	PRESSURE TREATED
R.O.	ROUGH OPENING
SBFLR	SUBFLOOR
SF	SQUARE FEET
T&G	TONGUE AND GROOVE
TYP.	TYPICAL
U/S	UNDERSIDE OF
W/	WITH
WD	WOOD

**ELECTRICAL**  
ELECTRICAL LAYOUT SHOWN TO BE USED AS A GUIDE ONLY. ELECTRICAL CONTRACTOR MUST ENSURE THAT DESIGN AND SYSTEMS MEET LOCAL AND NATIONAL CODES.

ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED BETWEEN FLOORS.

INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH LOCAL CODES AND REGULATIONS AND WITH THE LOCAL ELECTRICAL POWER SUPPLIER'S REGULATIONS IN ALL RESPECTS

OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNER'S AND/OR LOCAL AUTHORITY'S REQUIREMENTS.

**INSULATION AND VENTILATION**  
ATTIC OR ROOF SPACE TO BE VENTED 1/500 OF AREA. UNHEATED CRAWLSPACES TO BE VENTED A MIN. OF 1/5000 OF AREA WITH CLOSABLE VENTS

6 MIL POLY TO BE INSTALLED ON WARM SIDE OF INSULATION

WALL AND CEILING INSULATION MAY BE LOOSE FILL OR BATT TYPE

PROVIDE Baffle FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE

ALL ROOFS SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE, EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACE AND SOFFIT.

**FINISHING**  
ALL MANUFACTURED PRODUCTS ARE TO BE INSTALLED USING THE MANUFACTURERS BEST PRACTICES PROCEDURES AND/OR INSTALLATION INSTRUCTIONS.

1/2" TYPE X DRYWALL TO BE APPLIED AT GARAGE WALLS ADJACENT TO DWELLING

ALL INTERIOR AND EXTERIOR FINISHING SHALL BE SPECIFIED BY OWNER. ANY FINISHING PLANS SHOE SHALL BE CONFIRMED BY OWNER.

ALL EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHER-STRIPPED. GARAGE DOORS PROVIDING ACCESS TO DWELLING SHE BE AS ABOVE AND SELF CLOSING

INSTALL FLASHING ON ALL EXTERIOR OPENINGS

ALL EXTERIOR FINISHES TO BE APPLIED WITH GALVANIZED NAILS

ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS

**PRESCRIPTIVE COMPLIANCE PACKAGE A1  
(TABLE 3.1.1.2.A)**

CEILING WITH ATTIC SPACE MIN. R51	60
CEILING WITHOUT ATTIC SPACE MIN. R51	31
EXPOSED FLOOR MIN. R51	31
WALLS ABOVE GRADE MIN. R51	22
BASEMENT WALLS MIN. R51	20
HEATED SLAB OR SLAB <=600mm BELOW GRADE MIN. R51	10
WINDOWS & SLIDING GLASS DOORS MAX U	0.28
SKYLIGHTS MAX U	0.49
SPACE HEATING EQUIPMENT MIN. AFUE	96%
HRV MIN SRE	75%
DOMESTIC HOT WATER HEATER MMIN EF	0.8

**BRACEBRIDGE CLIMATIC DATA**

LOCATION: GRAVENHURST

<b>ROOF LOADING:</b>	
- GROUND SNOW LOAD (Sg):	3.1 kPa (64.74 psf)
- RAIN LOAD (Sr):	0.4 kPa (8.35 psf)
- SNOW LOAD FACTOR (Ce):	0.95
- ROOF DESIGN SNOW LOAD:	2.11 kPa (43.96 psf)
- ROOF & CEILING DESIGN DEAD LOAD:	0.51 kPa (12.0 psf)
<b>STRUCTURE LOADING:</b>	
- GROUND & SECOND FLOOR:	1.92 kPa (40.0 psf)
- FLOOR/CEILING DESIGN DEAD LOAD:	0.72 kPa (15.0 psf)
<b>WIND LOADING:</b>	
- 1/50 WIND PRESSURE:	0.38 kPa (7.81 psf)
- 1/10 WIND PRESSURE:	0.27 kPa (5.64 psf)
<b>TEMPERATURE:</b>	
- DEGREE DAYS BELOW 18 DEGREES C	4800

THE DESIGN DEAD LOADS SPECIFIED ABOVE ARE BASED ON THE DRAWINGS AND MATERIALS EITHER SPECIFIED OR ASSUMED. WHERE DIFFERENT OR HEAVIER MATERIALS ARE PROPOSED THE CONTRACTOR SHALL NOTIFY THE DESIGNER PRIOR TO CONSTRUCTION OF ANY LOAD-BEARING ELEMENTS THAT MAY BE ADVERSELY AFFECTED

**GENERAL NOTES**  
1. DO NOT SCALE DRAWINGS  
2. These plans shall be considered "NOT FOR CONSTRUCTION" unless they have been approved by the local building department.  
3. All measurements to be checked and confirmed by contractor prior to construction. Any discrepancies should be reported.  
4. All construction shall comply with Local Building Authorities

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Label	Title
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A1	FLOOR PLAN
A2	ELEVATION
A3	CROSS SECTION & DETAILS
S1	ROOF FRAMING
E1	ELECTRICAL PLAN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 3.2.5 of Division C of the Building Code.

ADAM LENNIE *A. Lennie* 18995  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
Design is exempt under 3.2.4 of Division C of the Building Code.

THE PERMIT GUY 47308  
FIRM NAME BCIN

DRAWING TITLE: COVER PAGE

CLIENT:

PROJECT: PERMIT DOCK AND BOATHOUSE DRAWINGS

SITE LOCATION: 1038 SUNSET BAY ROAD  
TOWNSHIP OF MUSKOKA LAKES

THE PERMIT GUY  
35 COVERED BRIDGE TRAIL  
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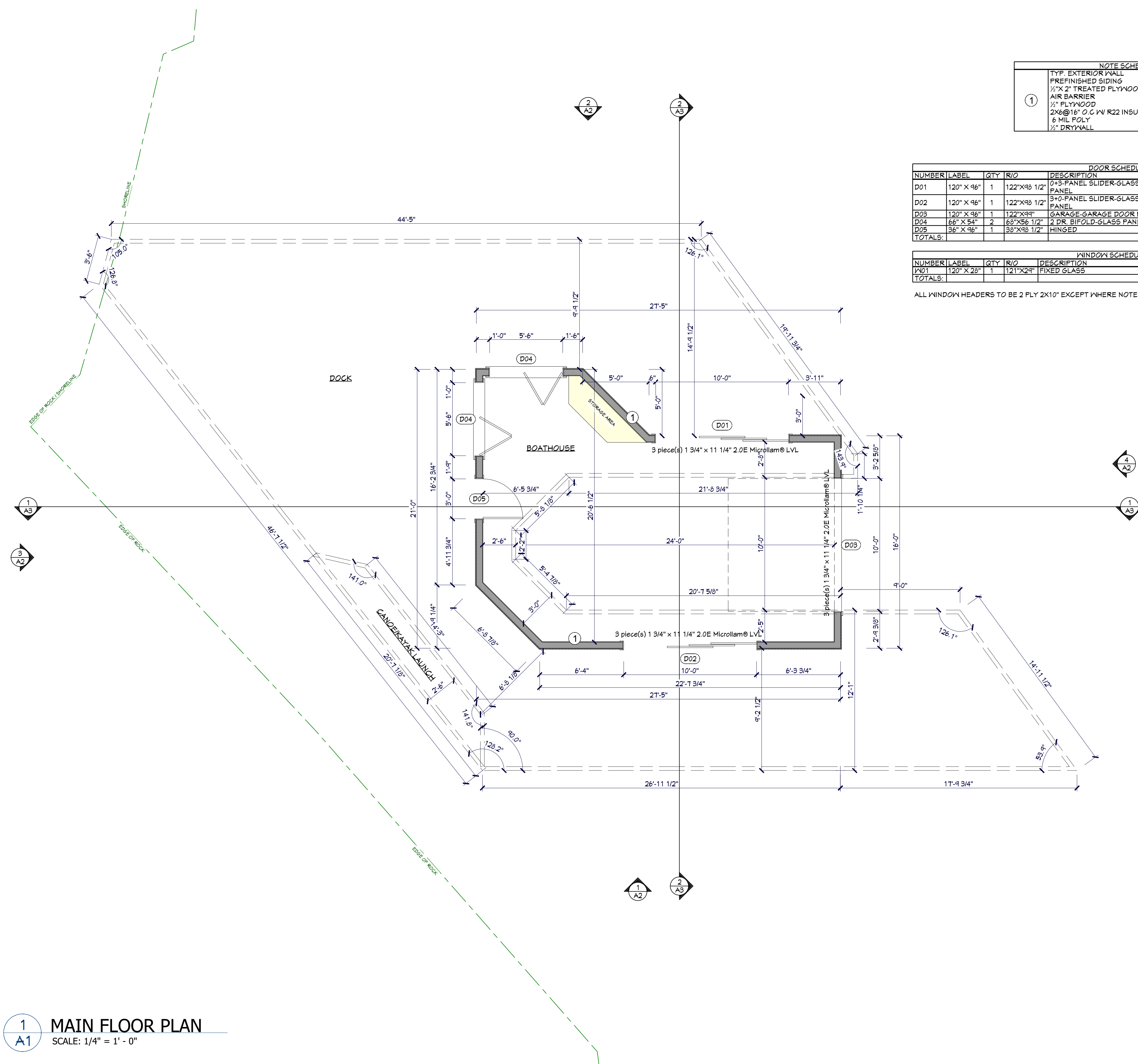
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DRAWN BY: A. LENNIE II. BCIN 18995/47308

Friday, February 10, 2023

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NOTE SCHEDULE	
1	TYP. EXTERIOR WALL PREFINISHED SIDING 1/2" X 2" TREATED PLYWOOD STRIPS AIR BARRIER 1/2" PLYWOOD 2X6@16" O.C. W/ R22 INSULATION 6 MIL FOLY 1/2" DRYWALL

DOOR SCHEDULE						
NUMBER	LABEL	QTY	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS
D01	120" X 96"	1		0+3-PANEL SLIDER-GLASS PANEL	80.0	
D02	120" X 96"	1		3+0-PANEL SLIDER-GLASS PANEL	80.0	
D03	120" X 96"	1		GARAGE-GARAGE DOOR F06	80.0	
D04	66" X 54"	2		2 DR. BIFOLD-GLASS PANEL	24.75	
D05	36" X 96"	1		HINGED	24.0	
TOTALS:					313.5	

WINDOW SCHEDULE						
NUMBER	LABEL	QTY	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS
W01	120" X 28"	1		FIXED GLASS	23.33	
TOTALS:					23.33	

ALL WINDOW HEADERS TO BE 2 PLY 2X10" EXCEPT WHERE NOTED ON FLOOR PLAN

- GENERAL NOTES**
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**QUALIFICATION INFORMATION**  
Required unless design is exempt under 3.2.5 of Division C of the Building Code.

ADAM LENNIE *A. Lennie* 18995  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
Design is exempt under 3.2.4 of Division C of the Building Code.

THE PERMIT GUY 47308  
FIRM NAME BCIN

DRAWING TITLE: FLOOR PLAN

CLIENT:

PROJECT: PERMIT DOCK AND BOATHOUSE DRAWINGS

SITE LOCATION: 1038 SUNSET BAY ROAD TOWNSHIP OF MUSKOKA LAKES

THE PERMIT GUY  
35 COVERED BRIDGE TRAIL  
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DRAWN BY: A. LENNIE II. BCIN 18995/47308

Friday, February 10, 2023 PAGE NO. A1

1 A1 MAIN FLOOR PLAN  
SCALE: 1/4" = 1' - 0"

# ELEVATION DRAWINGS

# NOT TO SCALE

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS
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**1 FRONT ELEVATION**  
SCALE: 1/4" = 1' - 0"



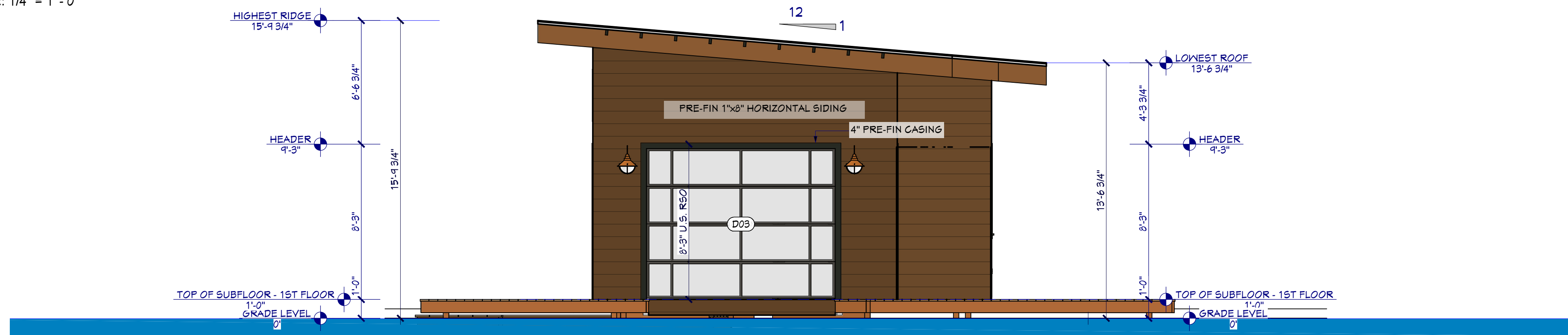
**2 REAR ELEVATION**  
SCALE: 1/4" = 1' - 0"



**3 LEFT ELEVATION**  
SCALE: 1/4" = 1' - 0"



**4 RIGHT ELEVATION**  
SCALE: 1/4" = 1' - 0"



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**QUALIFICATION INFORMATION**  
Required unless design is exempt under 3.2.5 of Division C of the Building Code.

ADAM LENNIE *A. Lennie* 18995  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
Design is exempt under 3.2.4 of Division C of the Building Code.

THE PERMIT GUY 47308  
FIRM NAME BCIN

DRAWING TITLE: ELEVATION

CLIENT:

PROJECT: PERMIT DOCK AND BOATHOUSE DRAWINGS

SITE LOCATION: 1038 SUNSET BAY ROAD  
TOWNSHIP OF MUSKOKA LAKES

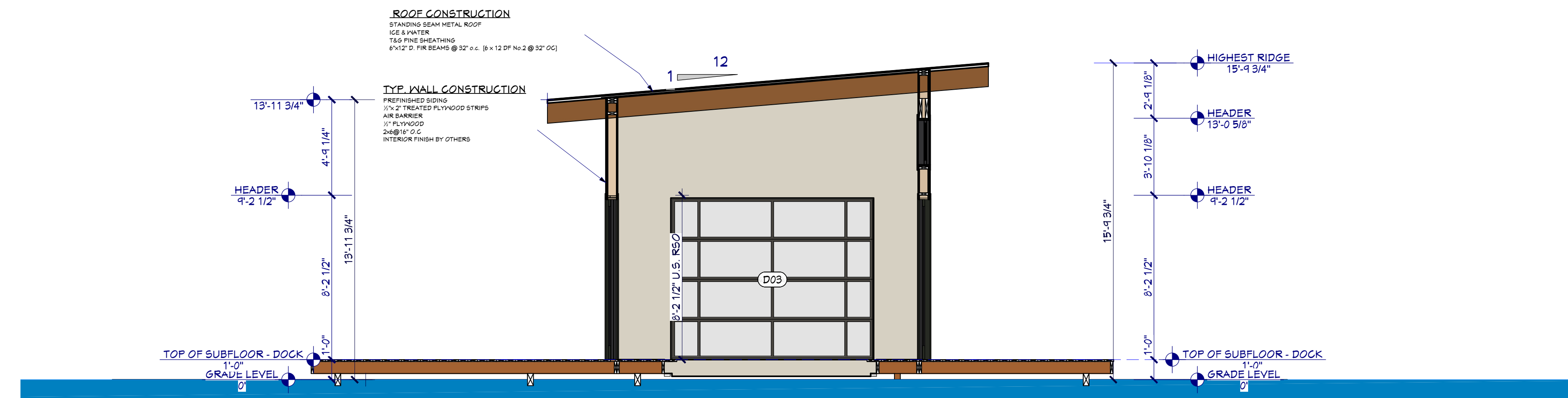
THE PERMIT GUY  
35 COVERED BRIDGE TRAIL  
BRACEBRIDGE, ON  
P1L 1Y1  
705-644-1167  
Permits@ThePermitGuy.ca



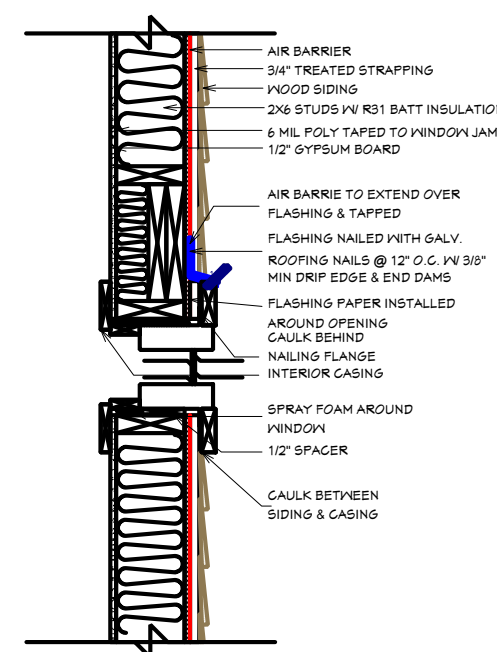
DRAWN BY: A. LENNIE II. BCIN 18495/47308



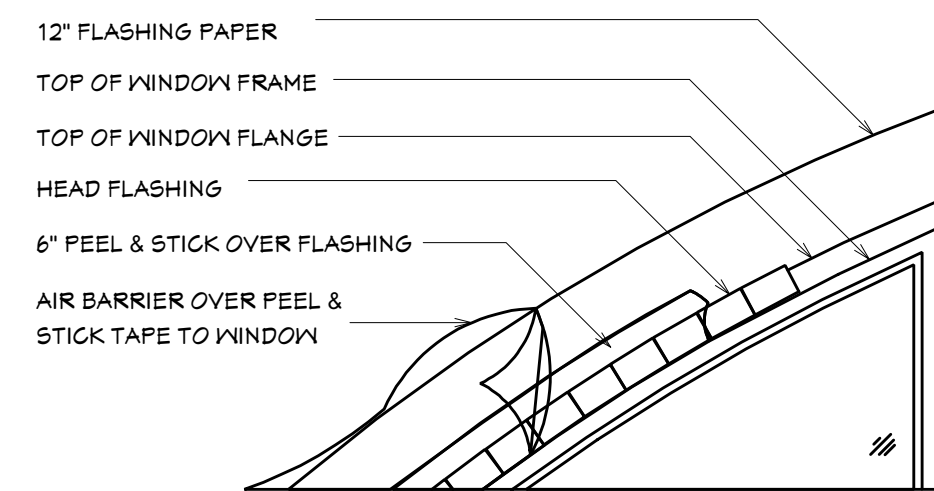
1 CROSS SECTION 1  
A3 SCALE: 1/4" = 1' - 0"



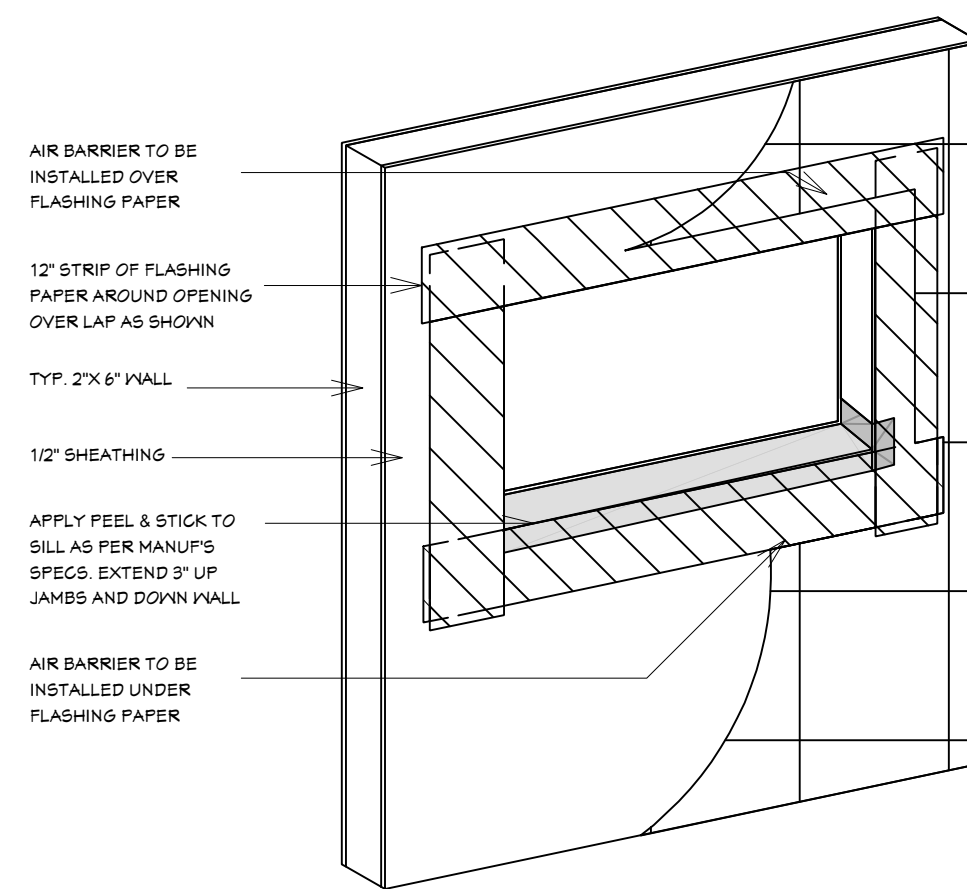
2 CROSS SECTION 2  
A3 SCALE: 1/4" = 1' - 0"



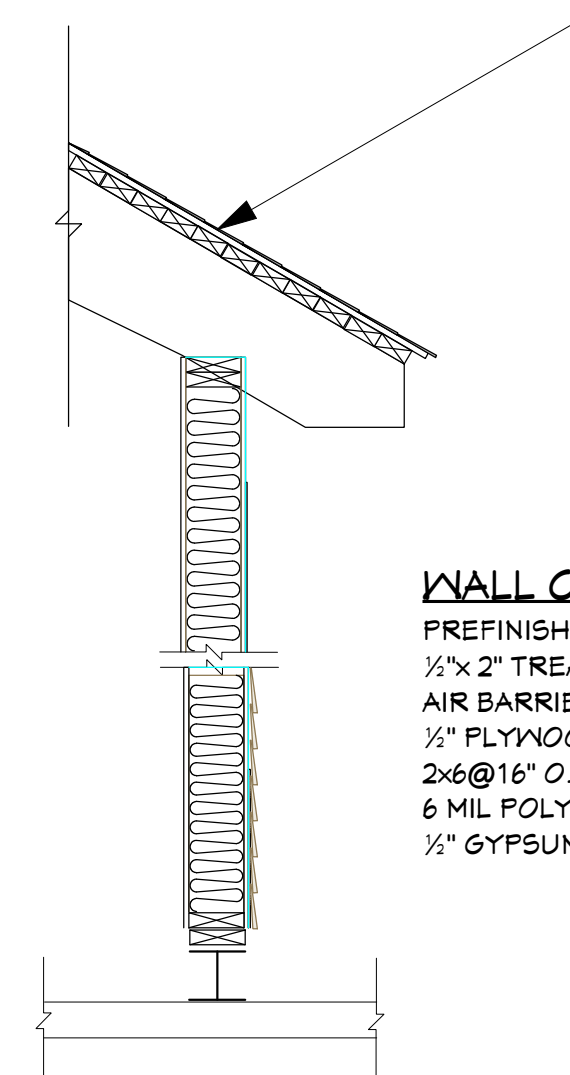
3 WINDOW SECTION  
A3 N.T.S.



4 WINDOW DETAIL-1  
A3 N.T.S.



5 OPENING DETAIL  
A3 N.T.S.



6 WALL SECTION  
A3 N.T.S.

- GENERAL NOTES
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A2	ELEVATION
A3	CROSS SECTION & DETAILS
S1	ROOF FRAMING
E1	ELECTRICAL PLAN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5 of Division C of the Building Code.

ADAM LENNIE *A. Lennie* 18995  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Design is exempt under 3.2.4 of Division C of the Building Code.

THE PERMIT GUY 47308  
FIRM NAME BCIN

DRAWING TITLE: CROSS SECTION & DETAILS

CLIENT:

PROJECT: PERMIT DOCK AND BOATHOUSE DRAWINGS

SITE LOCATION: 1038 SUNSET BAY ROAD TOWNSHIP OF MUSKOKA LAKES

THE PERMIT GUY  
35 COVERED BRIDGE TRAIL  
BRACEBRIDGE, ON  
P1L 1Y1



705-644-1167  
Permits@ThePermitGuy.ca

DRAWN BY: A. LENNIE II. BCIN 18995/47308

## 1038 SUNSET BAY TOWNSHIP OF MUSKOKA LAKES



**STANDARD NOTES**  
BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWING, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN PART OF ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND MUST CONFORM TO THE 2012 BUILDING CODES.

THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS

ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITY HAVING JURISDICTION OR LOCAL BUILDING CODES AND BY LAWS WHICH MAY TAKE PRECEDENCE

THE PERMIT GUY SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE FINAL CONSTRUCTION DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITION ENCOUNTERED ON THE JOB SITE, AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

**WOOD FRAMING**  
ALL STRUCTURAL FRAMING TO BE 5 P.F. NO. 2 GR. KILN DRIED  
ALL COLLARS IN FRAMED WALLS TO BE NAILED WELL INTO ADJACENT FRAMING TO RESIST LATERAL MOVEMENT  
PLACE DOUBLE JOIST OR BLOCKING UNDER ALL PARALLEL PARTITIONS OVER 6' LONG  
DIMENSION ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF INTERIOR PARTITIONS UNLESS OTHERWISE NOTED  
FACE OF EXTERIOR WALL AND FOUNDATION TO BE FLUSH  
WOOD IN CONTACT WITH CONCRETE TO BE DAMP PROTECTED WITH 4MIL POLY, SIL BASKET OR OTHER APPROVED METHODS. PLATES TO BE ANCHORED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS AT A MAXIMUM OF 40" O.C. EXTERIOR SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.

**FOUNDATION**  
FOUNDATION LAYOUT SHALL CONFORM WITH FINAL DRAWINGS  
FOUNDATION SHALL BE ON SOLID UNDISTURBED BEARINGS AND BELOW FROST LINE  
FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAY STRENGTH OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION  
ALL STRUCTURAL CONCRETE TO HAVE A MIN. 28 DAY COMPRESSIVE STRENGTH OF 20 MPa EXCEPT EXTERIOR STEPS, CARPORT & GARAGE FLOORS WHICH REQUIRE 33 MPa AFTER 28 DAYS

**PERMITS AND DIMENSIONS**  
THE PERMIT GUY MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION  
SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT YOUR EARLIEST CONVENIENCE. BY DOING SO YOU WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE IF NECESSARY

**FLOOR AREAS (R<sup>2</sup>)**

LIVING AREAS	
2ND FLOOR - STORAGE	374 R <sup>2</sup>
<b>GARAGE &amp; DECK</b>	
GARAGE - 1ST FLOOR	374 R <sup>2</sup>
DECK (2ND FLOOR)	163 R <sup>2</sup>
<b>GLAZING PERCENTAGE</b>	
TOTAL WALL AREA	120 R <sup>2</sup>
TOTAL GLAZING AREA	203.5 R <sup>2</sup>
PERCENTAGE OF GLAZING	24.9%

**ABBREVIATIONS**

ADDN	ADDITION
ALUM.	ALUMINUM
B/O	BY OTHERS
BU	BUILT UP
CANT	CANTILEVERED
CONC.	CONCRETE
CONTIN.	CONTINUOUS
DEC.	DECORATIVE
D.O.	DITTO
DWG	DRAWINGS
els	EACH SIDE
EXT.	EXTERIOR
FDN	FOUNDATION
FTG	FOOTING
INSUL.	INSULATION
INT.	INTERIOR
MANUF.	MANUFACTURER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
P.T.	PRESSURE TREATED
R.O.	ROUGH OPENING
SBFLR	SUBFLOOR
SF	SQUARE FEET
T&G	TONGUE AND GROOVE
TYP.	TYPICAL
U/S	UNDERSIDE OF
W	WITH
W/D	WOOD

**ELECTRICAL**  
ELECTRICAL LAYOUT SHOWN TO BE USED AS A GUIDE ONLY. ELECTRICAL CONTRACTOR MUST ENSURE THAT DESIGN AND SYSTEMS MEET LOCAL AND NATIONAL CODES.

ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED BETWEEN FLOORS.

INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH LOCAL CODES AND REGULATIONS AND WITH THE LOCAL ELECTRICAL POWER SUPPLIERS REGULATIONS IN ALL RESPECTS.

OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE

MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNER'S AND/OR LOCAL AUTHORITY'S REQUIREMENTS.

**INSULATION AND VENTILATION**  
ATTIC OR ROOF SPACE TO BE VENTED 1500 OF AREA UNHEATED GABLE SPACES TO BE VENTED A MIN. OF 15000 OF AREA WITH CLOSABLE VENTS  
6 MIL POLY TO BE INSTALLED ON WARM SIDE OF INSULATION  
WALL AND CEILING INSULATION MAY BE LOOSE FILL OR BATT TYPE  
PROVIDE Baffle FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE  
ALL ROOFS SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE, EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACE AND SOFFIT.

**FINISHING**  
ALL MANUFACTURED PRODUCTS ARE TO BE INSTALLED USING THE MANUFACTURER'S BEST PRACTICES PROCEDURES AND/OR INSTALLATION INSTRUCTIONS.  
1/2" TYPE X DRYWALL TO BE APPLIED AT GARAGE WALLS ADJACENT TO DWELLING  
ALL INTERIOR AND EXTERIOR FINISHING SHALL BE SPECIFIED BY OWNER ANY FINISHING PLANS SHOWN SHALL BE CONFIRMED BY OWNER.  
ALL EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHER-STRIPPED. GARAGE DOORS PROVIDING ACCESS TO DWELLING SHOE BE AS ABOVE AND SELF CLOSING  
INSTALL FLASHING ON ALL EXTERIOR OPENINGS  
ALL EXTERIOR FINISHES TO BE APPLIED WITH GALVANIZED NAILS  
ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS

**PRESCRIPTIVE COMPLIANCE PACKAGE A1  
(TABLE 3.1.1.2.A)**

CEILING WITH ATTIC SPACE MIN. RSI	60
CEILING WITHOUT ATTIC SPACE MIN. RSI	91
EXPOSED FLOOR MIN. RSI	91
WALLS ABOVE GRADE MIN. RSI	22
BASEMENT WALLS MIN. RSI	20
HEATED SLAB OR SLAB <= 600mm BELOW GRADE MIN. RSI	10
WINDOWS & SLIDING GLASS DOORS MAX U	0.28
SKYLIGHTS MAX U	0.49
SPACE HEATING EQUIPMENT MIN. AFUE	96%
HV MIN. SRE	75%
DOMESTIC HOT WATER HEATER MIN. EF	0.8

**CLIMATIC & DESIGN LOAD DATA**

LOCATION: GRAVENHURST	
<b>ROOF LOADING:</b>	
-GROUND SNOW LOAD (psf)	5.1 kPa (104 psf)
-WIND LOAD (psf)	6.4 kPa (134 psf)
-DOWNWIND FACTOR (psf)	0.75
-ROOF DESIGN SNOW LOAD	5.1 kPa (104 psf)
-ROOF & CEILING DESIGN DEAD LOAD	0.81 kPa (16.8 psf)
<b>STRUCTURE LOADING:</b>	
-GROUND & SECOND FLOOR	1.15 kPa (24.2 psf)
-FOUNDATION DESIGN DEAD LOAD	0.32 kPa (6.6 psf)
<b>WIND LOADING:</b>	
-15% WIND PRESSURE	0.28 kPa (5.8 psf)
-30% WIND PRESSURE	0.57 kPa (11.6 psf)
<b>TEMPERATURE:</b>	
-DESIGNS DAYS BELOW 18 DEGREES C	4000
<b>SOIL:</b>	
-ALLOWED ALLOWABLE BEARING PRESSURE AT FOOTING FOUNDATION	75 kPa (1686 psf)
<b>ROCK:</b>	
-100 kPa (2142 psf)	
THE DESIGN LOAD LOADS SPECIFIED ABOVE ARE BASED ON THE DRAWINGS AND MATERIALS EITHER SPECIFIED OR ASSUMED. IN CASE OF DIFFERENT OR HEAVIER MATERIALS ARE PROPOSED THE CONTRACTOR SHALL NOTIFY THE DESIGNER PRIOR TO CONSTRUCTION OF ANY LOAD-BEARING ELEMENTS THAT MAY BE ADVERSELY AFFECTED.	

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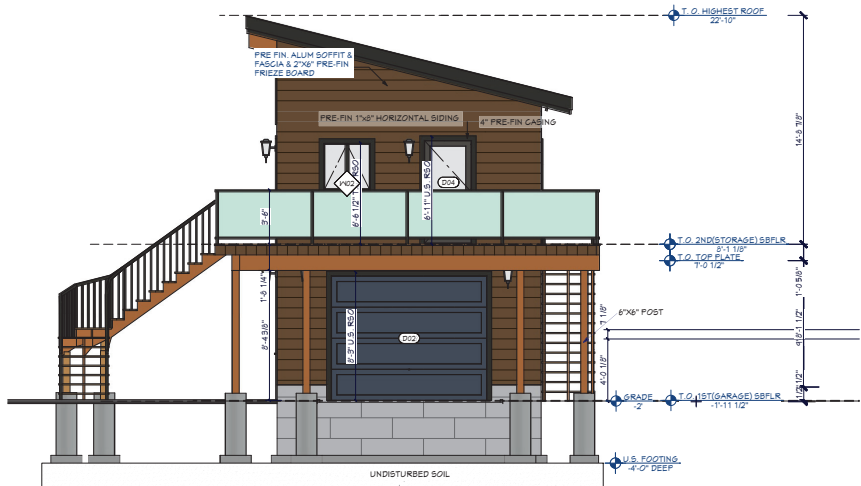
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ADAM LENNIE	A. Lennie	18995
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
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THE PERMIT GUY		47308
FIRM NAME		BCIN

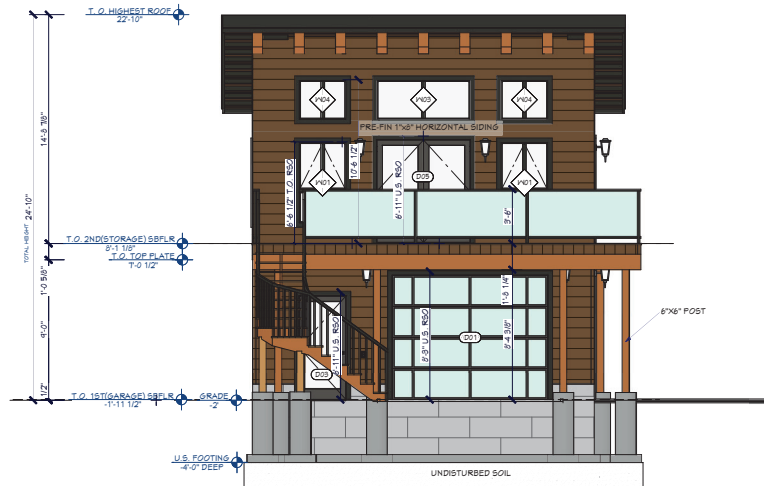
DRAWING TITLE:	COVER PAGE
CLIENT:	GRANATO
PROJECT:	PERMIT DRAWINGS
SITE LOCATION:	1038 SUNSET BAY
<b>THE PERMIT GUY</b> 35 COVERED BRIDGE TRAIL BRACEBRIDGE, ON PRL 1Y1	
705-644-1167 Permit@ThePermitGuy.ca	
DRAWN BY:	A. LENNIE II. BCIN 18495/1305

# ELEVATION DRAWINGS - PROPOSED GARAGE

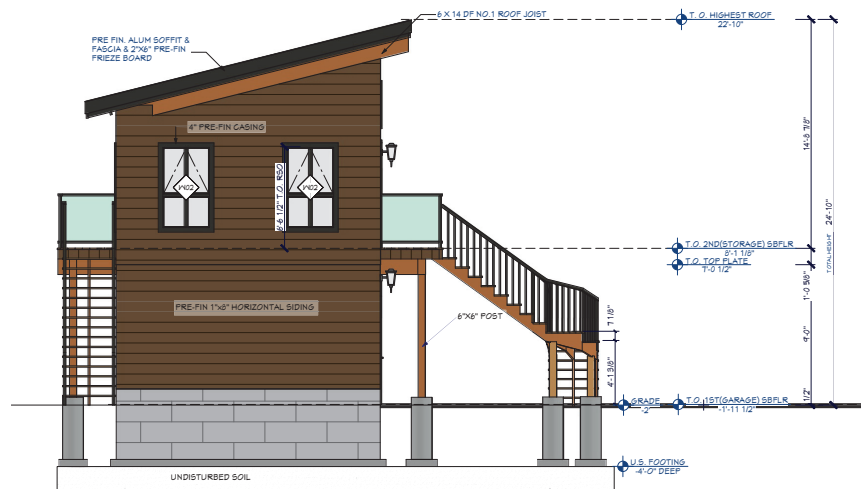
**NOT TO SCALE**



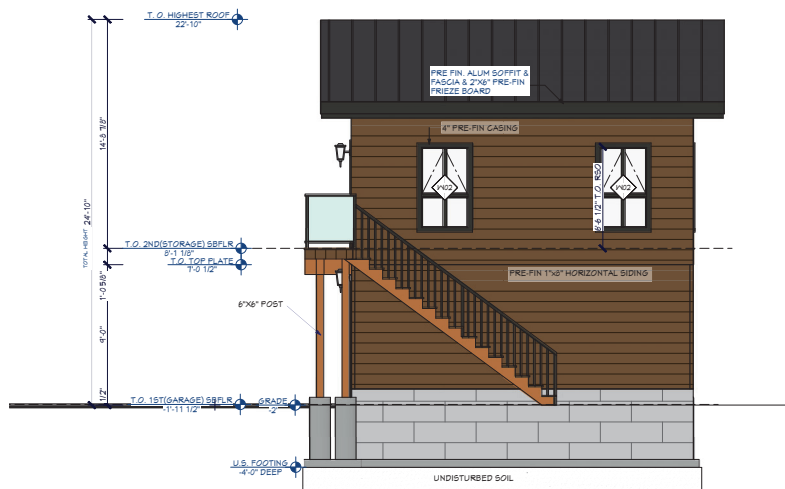
**1**  
A2 RIGHT ELEVATION  
SCALE: 1/4" = 1' - 0"



**3**  
A2 FRONT ELEVATION  
SCALE: 1/4" = 1' - 0"



**2**  
A2 LEFT ELEVATION  
SCALE: 1/4" = 1' - 0"



**4**  
A2 REAR ELEVATION  
SCALE: 1/4" = 1' - 0"

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PROJECT:	PERMIT DRAWINGS
SITE LOCATION:	1038 SUNSET BAY
<b>THE PERMIT GUY</b> 35 COVERED BRIDGE TRAIL BRIDGEVILLE, OH PHL 111	
705-644-1167 Permit@ThePermitGuy.ca	
DRAWN BY: A. LENNIE II, BCIN 18495/41305	

