



THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

NOTICE OF COMPLETE APPLICATION AND NOTICE OF ELECTRONIC PUBLIC MEETING

CONCERNING A **ZONING BY-LAW
AMENDMENT**
BY-LAW 2022-147 AND PROPOSED
CONSENT APPLICATION B/05/22/ML

TAKE NOTICE THAT THE PLANNING COMMITTEE OF THE TOWNSHIP OF MUSKOKA LAKES WILL HOLD A PUBLIC MEETING ON

August 17, 2023

at **9:00 a.m.** in the Council Chambers, Municipal Building
Township of Muskoka Lakes, Port Carling, Ontario
(corner of Bailey and Joseph Streets)

TO CONSIDER a proposed consent application in the Township of Muskoka Lakes, pursuant to the provisions of Section 53 of the Planning Act, 1990, R.S.O. c.P13, as amended, and a proposed amendment to By-law 2014-14 of the Township of Muskoka Lakes, pursuant to the provisions of Section 34 of the Planning Act, R.S.O., as amended.

TAKE FURTHER NOTICE THAT this public meeting will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wish to attend in person. **The meeting will be held in the Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM meeting is included in this Notice and can be found on our website at www.muskokalakes.ca.

PUBLIC MEETING: You or your representative are entitled to participate in this public hearing and make verbal representation by participating in the ZOOM meeting or make written representation prior to the meeting. This representation can be in support of or in opposition to the proposed Consent/Zoning By-law Amendment. If you wish to make written comments on these applications, they can be forwarded to the email address shown below.

Members of the public may also observe the proceedings by accessing the live webcast at: www.muskokalakes.ca. If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>.

THIS NOTICE has been circulated to all property owners to which the proposed consent and by-law would apply, to every owner of land within 240 metres (800 feet) of the area to which the proposed consent and by-law would apply, and to the appropriate officials and agencies according to *Ontario Regulation 404/83* under the *Planning Act, R.S.O., 1990*.

AN EXPLANATION of the Purpose and Effect of the proposed consent and by-law, describing the lands to which the proposed consent and by-law applies, and a key map showing the location of the lands are attached.

ALL INQUIRIES concerning the proposed consent and zoning by-law amendment should be directed to the Planning Department.

IF A PERSON OR PUBLIC BODY would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Council of the Township of Muskoka Lakes before the zoning by-law is passed, the person or public body is not entitled to appeal the decision.

ANY PERSON OR PUBLIC BODY that files an appeal of a decision of Council in respect of the proposed consent does not make written submissions to the Planning Committee and/or Council before it gives or refuses to give a provisional consent, the Ontario Land Tribunal may dismiss the appeal.

IF A PERSON OR PUBLIC BODY does not make oral submissions at the Public Meeting, or make written submissions to Planning Committee and/or Council of the Township of Muskoka Lakes before the consent/by-law is given/passed or refused, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

IF YOU WISH TO BE NOTIFIED of Council with respect to the proposed consent and/or zoning by-law amendment or be notified of any subsequent meetings of the Planning Committee, the Planning Act requires that you must make a **written** request for such notification to the Township of Muskoka Lakes at the address noted below.

THERE MAY BE ADDITIONAL INFORMATION relating to the proposed consent and zoning by-law amendment is available from staff of the Planning Department through the email address below on weekdays between 8:15 a.m. and 4:00 p.m. or by mail at the Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0. Telephone (705) 765-6755. Please email any submissions or requests to planning@muskokalakes.ca. Please quote the Application File Number in your submission or request.

DATED at the Corporation of the Township of Muskoka Lakes this 18th day of **July, 2023**.

Crystal Paroschy,
Clerk
Township of Muskoka Lakes

CONSENT #B/05/22/ML
BY-LAW #2022-147
AMENDEMENT #ZBA-40/22
NAME: HARJU
ROLL #: 2-18-099, 2-18-100, 2-19-001
CIVIC ADDRESS: 1119 Skeleton Lake Road 2,
Unit #2



THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

EXPLANATION OF THE PURPOSE AND EFFECT OF PROPOSED CONSENT AND ZONING BY-LAW AMENDMENT

B/05/22/ML, ZBA-40/22, BY-LAW 2022-147

HARJU

ROLL #: 2-18-099, 2-18-100, 2-19-001

The lands affected are described as Part of Lots 4 and 5, Concession 11, Plan RD-1796, Parts 19 and 20 (in the former Township of Watt), now in the Township of Muskoka Lakes. The subject land is known municipally as 1119 Skeleton Lake Road 2, Unit #2. The land is presently under the ownership of Sandy and Nancy Harju.

Please note that concurrent Consent/Severance (B/05/22/ML) and Zoning By-law Amendment (ZBA-40/22/ML) Applications were circulated in September 2022. The applications and are now being re-circulated in accordance with requirements of the Planning Act. No changes to the original applications have been proposed.

Consent/Severance Application (B/05/22/ML) has been submitted to create one new lot. Please see the attached Consent Sketch. The Severed Lot is currently vacant and a Hunt Camp is proposed in the future. The Retained Lot will continue to contain an existing dwelling and an accessory building.

Zoning By-law Amendment Application (ZBA-40/22, By-law 2022-147) has also been submitted. The purpose of By-law 2022-147 is to rezone a portion of the Severed Lot from Rural (RU1) to Open Space - Private (OS2). See Schedule II to By-law 2022-147.

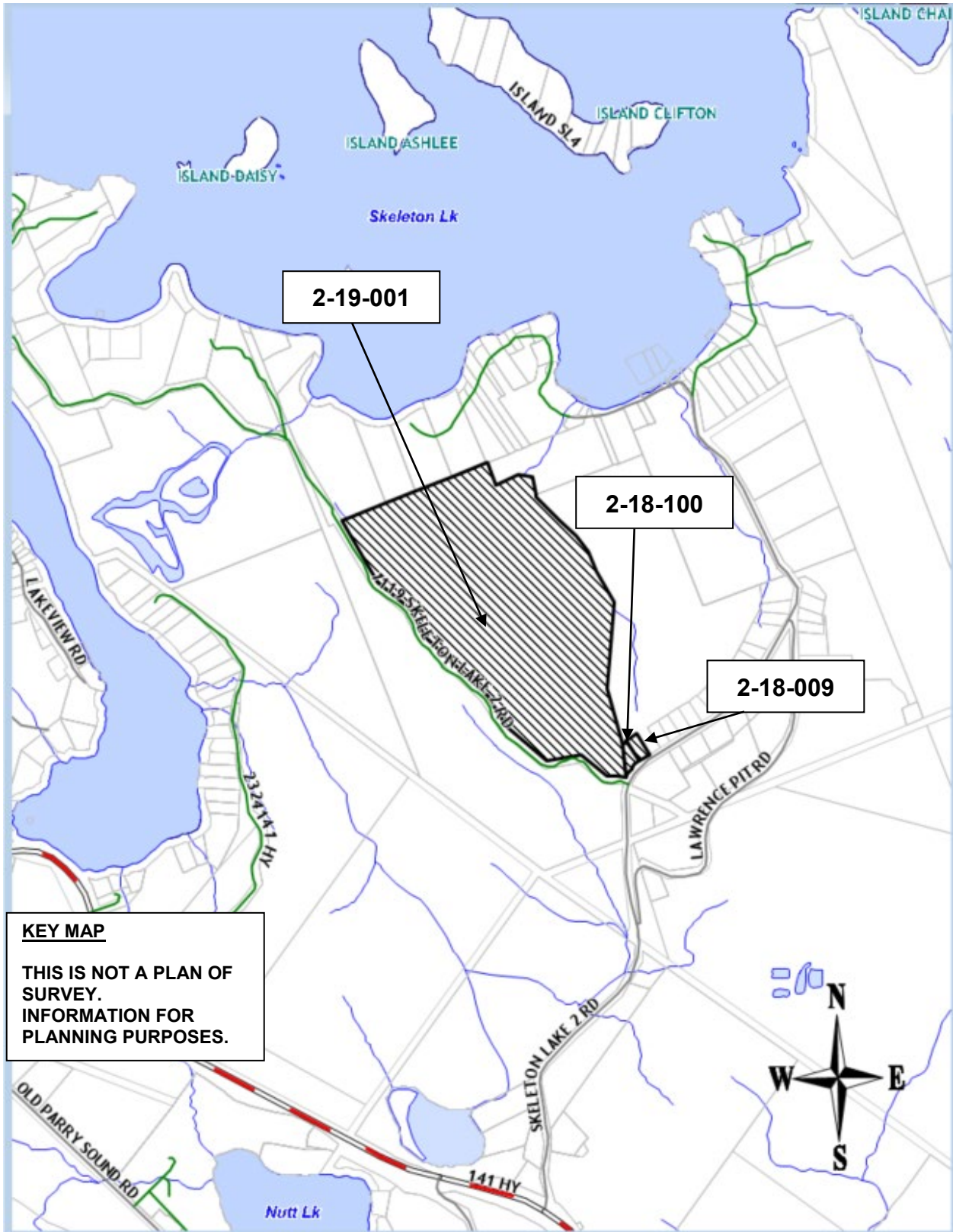
The purpose of By-law 2022-147 is also to provide an exemption from Section 6.1.3 of By-law 2014-14, as amended, being the minimum lot frontage requirement of 600 feet in a Rural (RU1) Zone for the Retained Lot. Please see Schedule II of By-law 2022-147.

Despite the provisions of Section 6.1.3 of By-law 2014-14, as amended, being the minimum lot frontage requirement of 600 feet for a lot zoned Rural (RU1), the lot frontage of the Retained Lot on Skeleton Lake Road 2 is 323 feet. Please note that the lot frontage of the existing Parent Lot (i.e. the Severed Lot together with the Retained Lot) is 323 feet.

In summary, the Severance and Zoning By-law Amendment Applications will have the effect of creating a new lot, of rezoning part of the new lot, and of granting an exemption from a minimum lot frontage requirement.

See Key Map on the Following Page

KEY MAP

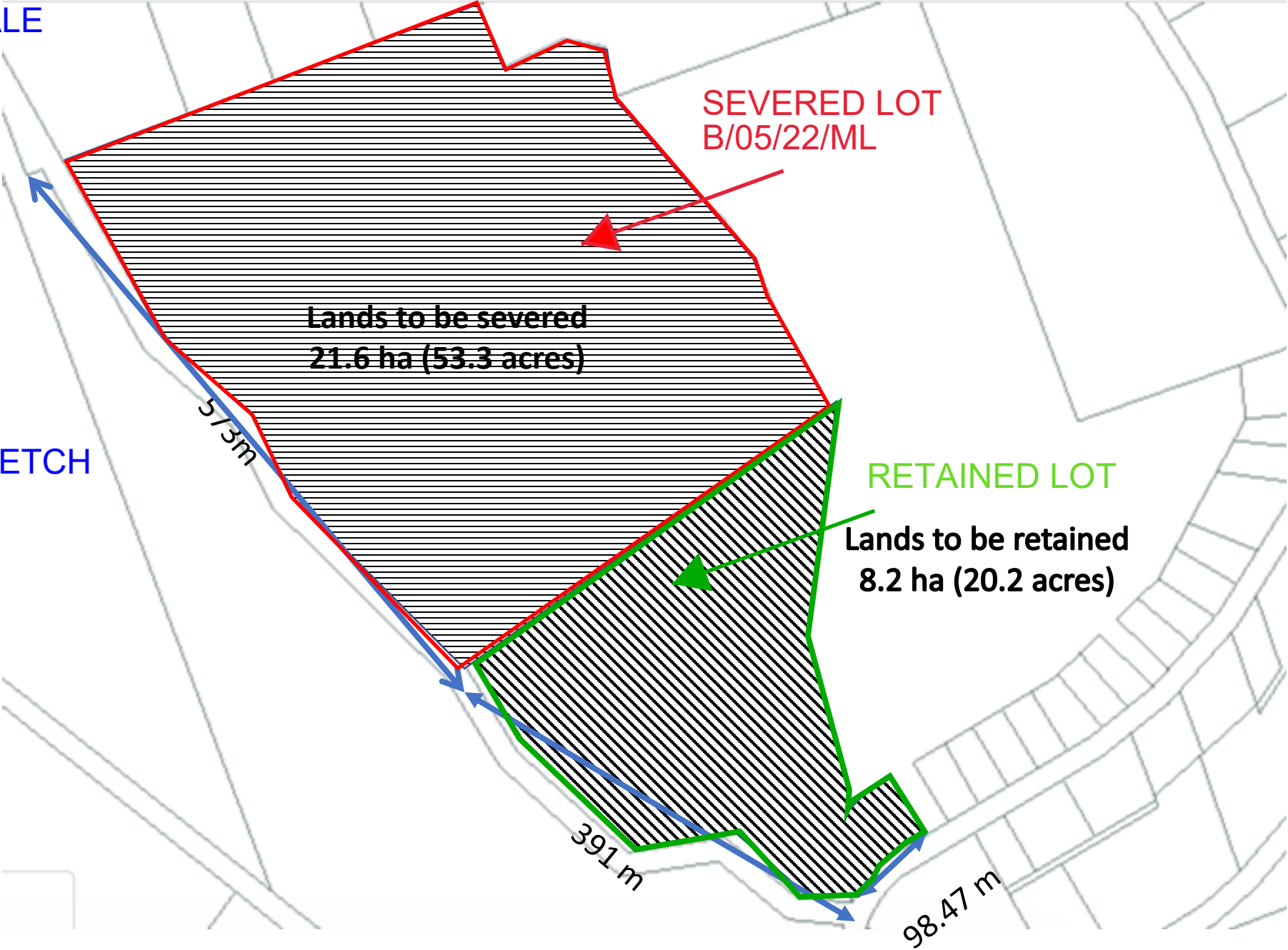


KEY MAP

THIS IS NOT A PLAN OF SURVEY.
INFORMATION FOR PLANNING PURPOSES.

NOT TO SCALE

CONSENT SKETCH



THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

BY-LAW 2022-147

Being a By-law to amend Comprehensive Zoning By-law 2014-14, as amended, in the Township of Muskoka Lakes

WHEREAS the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

AND WHEREAS By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

AND WHEREAS the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

NOW THEREFORE the Council of the Corporation of the Township of Muskoka Lakes enacts as follows:

1. Schedule 17 of By-law 2014-14, as amended, is hereby further amended by rezoning part of the land described as Part of Lots 4 and 5, Concession 11, Plan RD-1796, Parts 19 and 20 (in the former Township of Watt), now in the Township of Muskoka Lakes as shown on Schedule I, more particularly part of the Severed Lot in Application B/05/22/ML, from Rural (RU1) to Open Space - Private (OS2) as shown hatched on Schedule II to By-law 2022-147.
2. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:
 - 87-2046 i) The land affected by this amendment is described as Part of Lots 4 and 5, Concession 11, Plan Rd-1796, Parts 19 and 20 (in the former Township of Watt), now in the Township of Muskoka Lakes, as shown hatched on Schedule I to By-law 2022-147.
 - ii) Despite the provisions of Section 6.1.3 of By-law 2014-14, as amended, for those lands described above, the minimum lot frontage of the Retained Lot in Application B/05/22/ML shall be 320 feet as shown on Schedule II to By-law 2022-147.
3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2022-147 and By-law 2014-14, as amended, the provisions of By-law 2022-147 shall apply.
4. Schedules I and II attached hereto are hereby made part of this By-law.

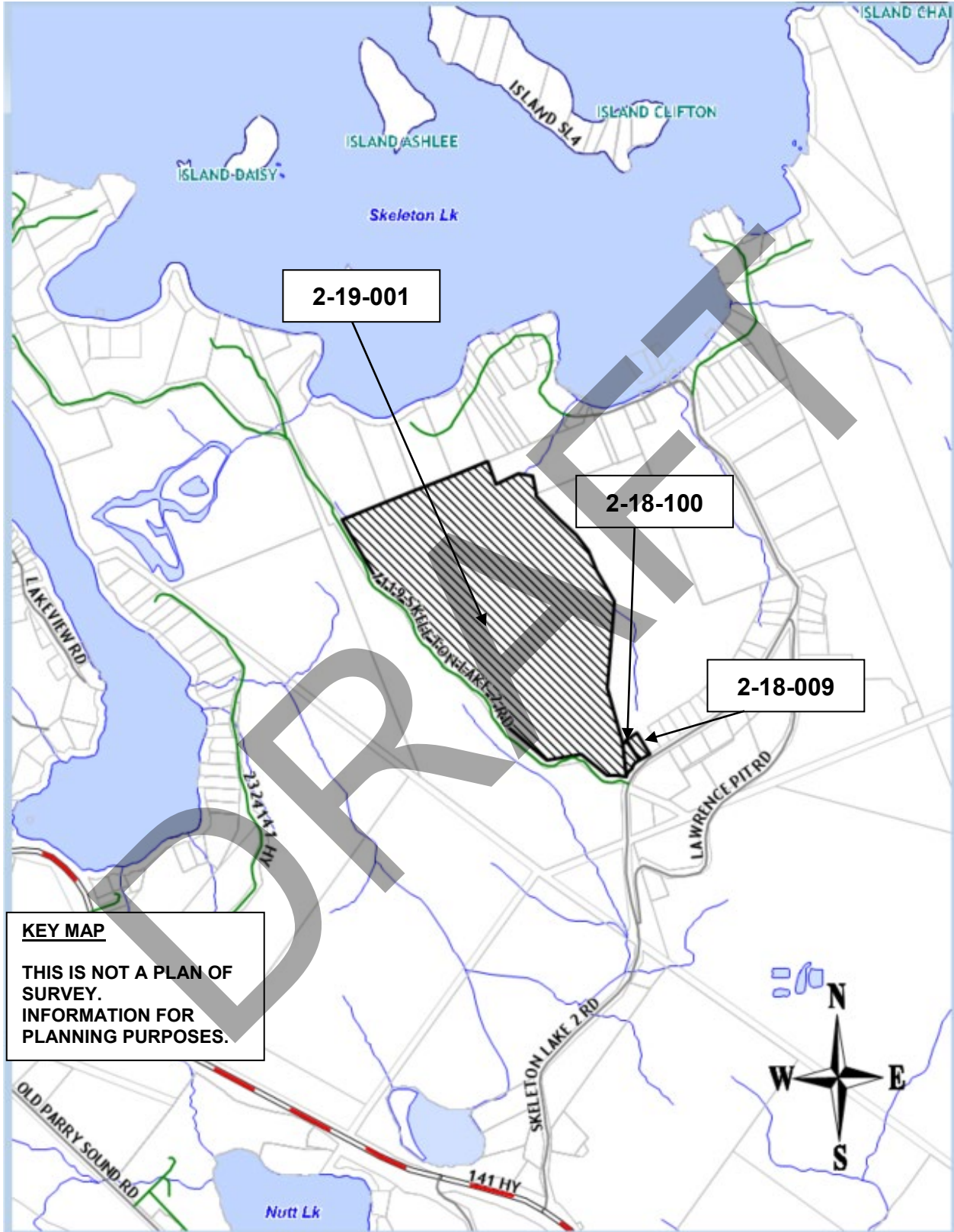
READ A FIRST AND SECOND TIME this ____ day of _____, 2023.

READ A THIRD TIME AND FINALLY PASSED this _____ day of _____, 2023.

Peter Kelley, Mayor

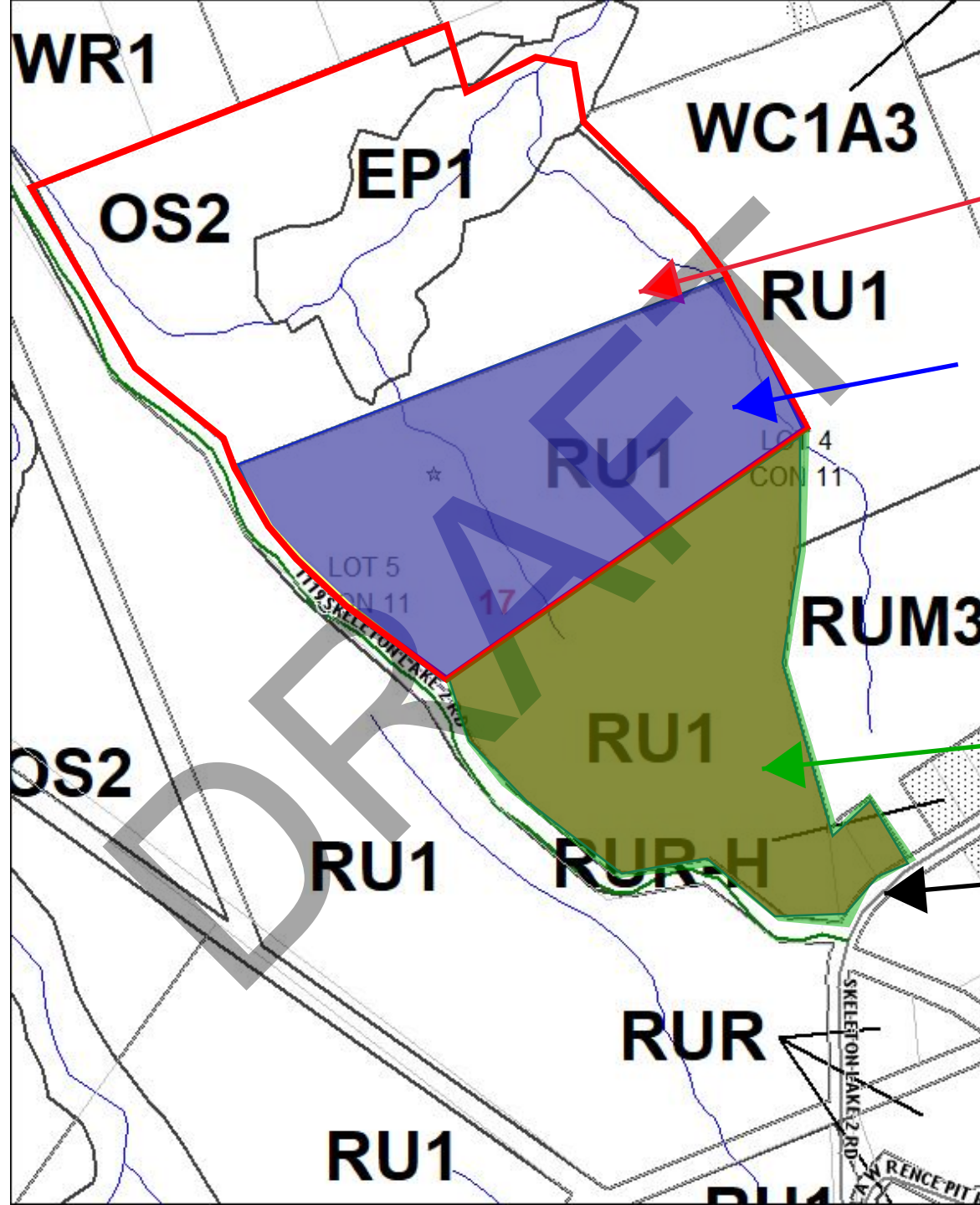
Crystal Paroschy, Clerk

SCHEDULE I TO BY-LAW 2022-147




SCHEDULE II TO
BY-LAW 2022-147

NOT TO SCALE
ZONING SKETCH




SEVERED LOT
B/05/22/ML

 Lands to be rezoned from
RU1 to OS2

 Lands requiring an
exemption

 RETAINED LOT

 +/- 320 feet of lot frontage
for Retained Lot