



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, August 14th, 2023 at 9:00 a.m.

File #.: A-39/23

Roll #: 4-7-016

Civic Address: 1102 Woodroffe Road, Unit 4

Owners: Marie Hasnain, 16755 Zumaque, PO Box 9012, Ranch Santa Fe, CA, 92067, United States

Legal Description: Part of Lot 6, Concession 11, Part 1, Plan 35R-9307, Parts 1 and 2, Plan 35R-9644, (Medora)

Lake/River: Lake Joseph (Category 1)

Zoning: Waterfront Residential (WR4)

Zoning Schedule: 26

EXPLANATION OF THE PURPOSE AND EFFECT: The applicant proposes to construct a one storey garage and a gazebo.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.3 and 4.1.3.7	Maximum Lot Coverage (Within 200 feet of the High Water Mark)	9,390 sq. ft. (10%)	9,971 sq. ft. (10.6%)	581 sq. ft.

A key map of the subject property and the applicant’s site plan and any drawings are included in this notice.

TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wish to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM hearing is included in this Notice and can be found on our website at www.muskokalakes.ca.

ADDITIONAL INFORMATION relating to the proposed variance application is available from the Planning Department week days between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

Please quote the file number noted above.

YOU OR YOUR REPRESENTATIVE are entitled to participate in this public hearing and make verbal representation and/or make written representation prior to the meeting. Comments can be submitted by emailing planning@muskokalakes.ca or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

IF YOU WISH TO SPEAK to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

NO ONE OTHER THAN the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

THE HEARING will be live-streamed on the Township's live webcast at: www.muskokalakes.ca If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 31st day of July, 2023.

"Original Signed by K. Bavington"
Kitty Bavington,
Secretary-Treasurer
Committee of Adjustment

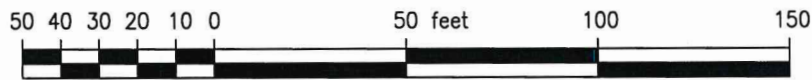
KEY MAP



PART OF LOT 6, CONCESSION 11
 GEOGRAPHIC TOWNSHIP OF MEDORA
 TOWNSHIP OF MUSKOKA LAKES

DISTRICT MUNICIPALITY OF MUSKOKA

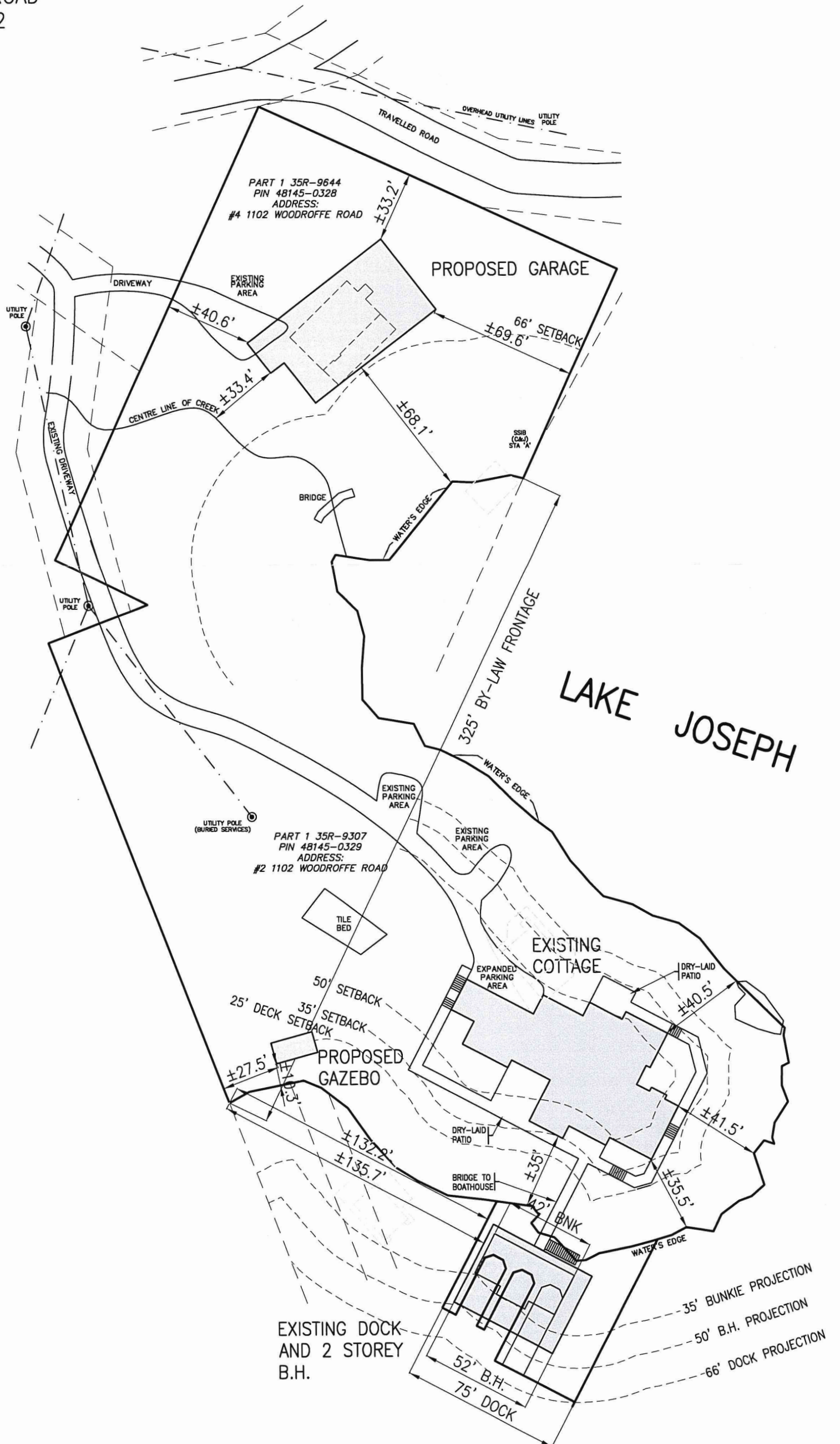
SCALE 1" = 50'



AREA ANALYSIS

TOTAL SITE AREA:	93900 S.F.	2.2 Ac.
LOT AREA WITHIN 200' OF SHORE	93900 S.F.	2.2 Ac.
EXISTING COTTAGE COVERAGE AREA:	4497 S.F.	
EXISTING BOATHOUSE COVERAGE AREA:	2106 S.F.	
PROPOSED GAZEBO COVERAGE AREA:	200 S.F.	
PROPOSED GARAGE AREA:	3168 S.F.	
TOTAL LOT COVERAGE	9971 S.F.	
PERCENT COVERAGE WITHIN 200' OF SHORE:		10.62%
WR4 ZONING		

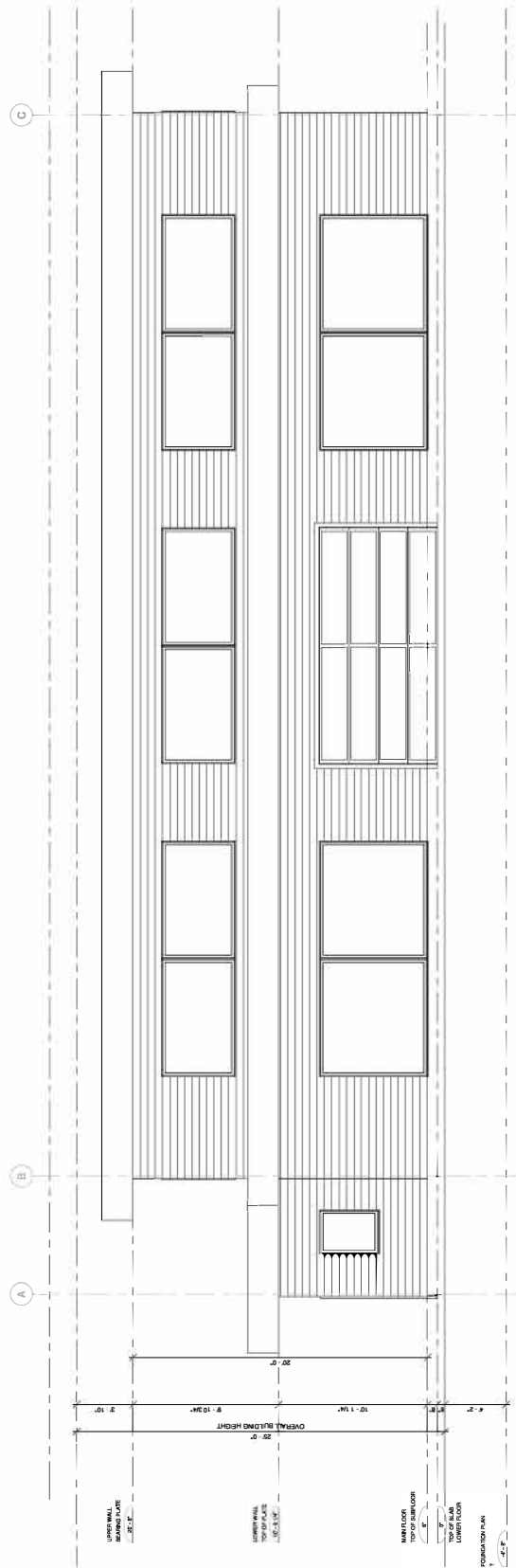
HASNAIN PROPERTY
 #4 1102 WOODROFFE ROAD
 RP35R-9644 Parts 1&2



- NOTES:
1. ALL VEGETATION WITHIN 50' OF SHORE SHALL REMAIN IN A NATURAL STATE IN COMPLIANCE WITH THE TREE PRESERVATION BY-LAW.
 2. TREE REMOVAL AND SITE ALTERATION WILL COMPLY WITH TREE PRESERVATION AND SITE ALTERATION BY-LAWS.
 3. ALL EXTERIOR LIGHTING SHALL BE DARK-SKY COMPLIANT.
 4. PATHWAYS SHALL BE MAX. 6' WIDE AND MEANDER THROUGH EXISTING TREES AND SHALL NOT RESULT IN THE REMOVAL OF TREES. PATHWAYS SHALL BE CONSTRUCTED OF WATER PERMEABLE MATERIALS.
 5. PATHWAYS INDICATED AS STONE, SHALL BE DRY-LAID AND NOT RESULT IN MODIFICATIONS TO EXISTING TOPOGRAPHY.
 6. ALL STRUCTURED ARE NOT TO EXCEED THE MAXIMUM HEIGHT RESTRICTION LISTED IN THE ZONING BY-LAW AT TIME OF CONSTRUCTION

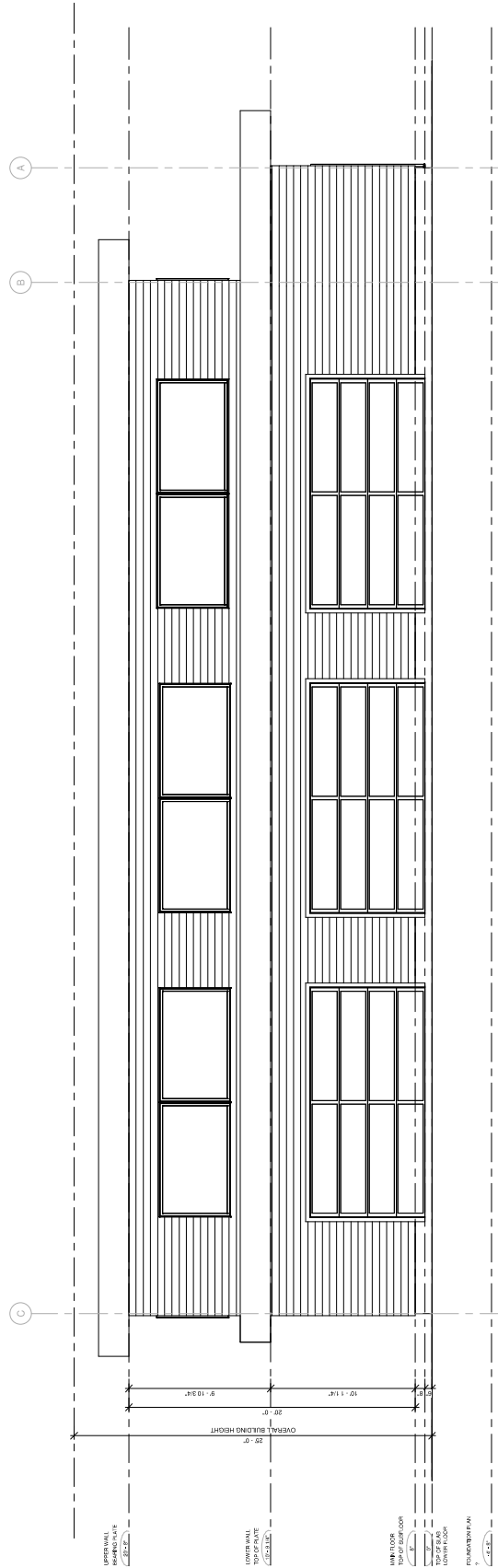
NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY



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ARCHITECTURAL DESIGN SERVICES
 300 S. MAIN STREET, SUITE 200
 DENVER, CO 80202
 TEL: 303.733.8888
 WWW.ADSERVICES.COM
 CONTRACTOR TO VERIFY DESIGN RELATIONS
 AND DIMENSIONS FROM ARCHITECT'S GENERAL
 CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION.

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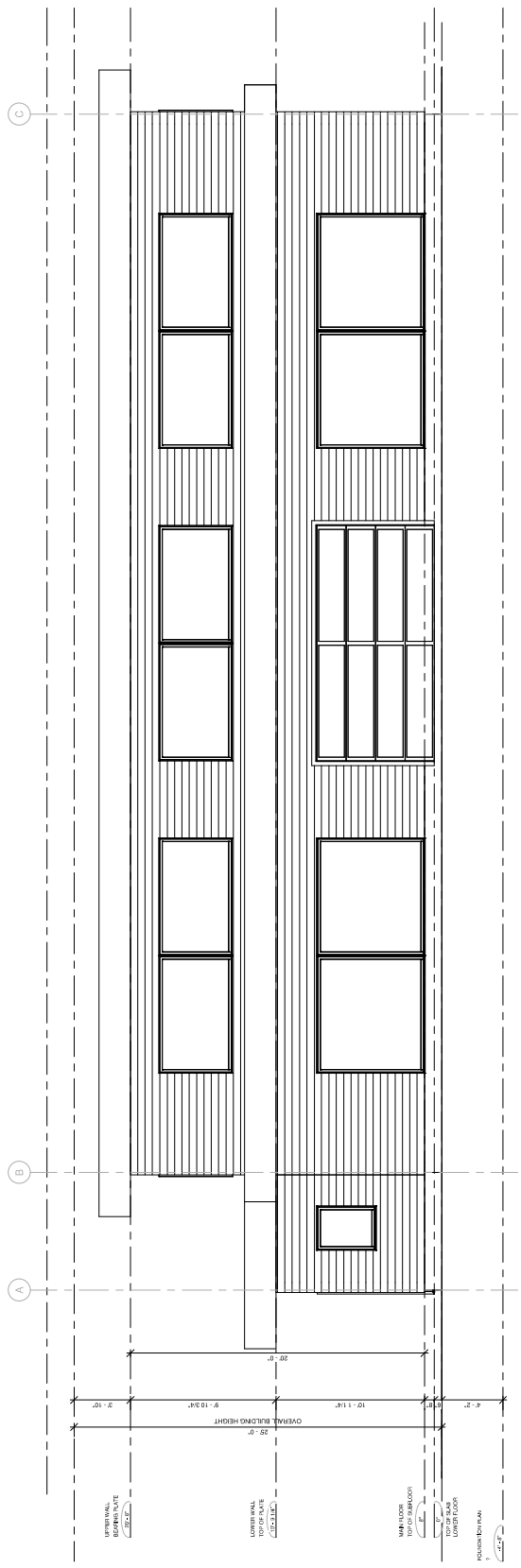
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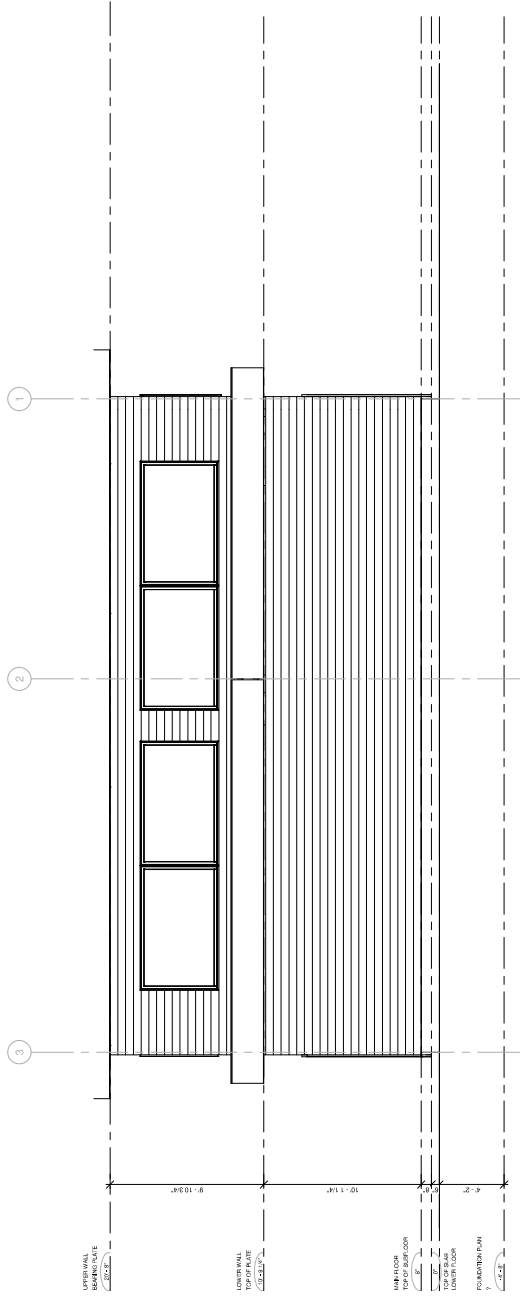
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1 FRONT ELEVATION
 1/4" = 1'-0"



2 RIGHT ELEVATION
 1/4" = 1'-0"

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PROJECT
 New STORAGE
 BUILDING for the
 HASSANAN family
 4-1102 Woodroffe Rd

ELEVATIONS

NO.	DESCRIPTION	DATE	BY
1	ISSUE FOR PERMIT APPLICATION		

NO.	DATE	SCALE	BY	CHKD.
1	2/2/2018	1/4" = 1'-0"		

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