



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, August 14th, 2023 at 9:00 a.m.

File #.: A-32/23

Roll #: 3-2-080

Civic Address: 1113 Golf Avenue, Unit #3

Owners: 2413307 Ontario Inc. 1113 Golf Avenue, Unit #3, Port Carling, ON P0B 1JO

Legal Description: Part of Lot 31, Concession 9, Part 1, Plan 35R-16121, and Part 1, Plan 35R-17023 (Watt)

Lake/River: Lake Rosseau (Category 1)

Zoning: Waterfront Residential (WR5-7 and WR5-7R)

Zoning Schedule: 22

EXPLANATION OF THE PURPOSE AND EFFECT: The applicant proposes to construct covered porch and screened room additions to an existing dwelling.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	3.2 a) ii.	Increase in Floor Area of a Dwelling Where More Than One Sleeping Cabin Exists	7,073 sq. ft. (Existing)	7,361 sq. ft.	288 sq. ft.
B	3.45	Maximum Number of Habitable Buildings on a Lot	1 Sleeping Cabin & 1 Dwelling	3 Sleeping Cabins & 1 Dwelling (Existing)	Increase in Floor Area of a Dwelling on a Lot Containing 3 Sleeping Cabins

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wish to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM hearing is included in this Notice and can be found on our website at www.muskokalakes.ca.

ADDITIONAL INFORMATION relating to the proposed variance application is available from the Planning Department week days between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.
Please quote the file number noted above.

YOU OR YOUR REPRESENTATIVE are entitled to participate in this public hearing and make verbal representation and/or make written representation prior to the meeting. Comments can be submitted by emailing planning@muskokalakes.ca or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

IF YOU WISH TO SPEAK to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

NO ONE OTHER THAN the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

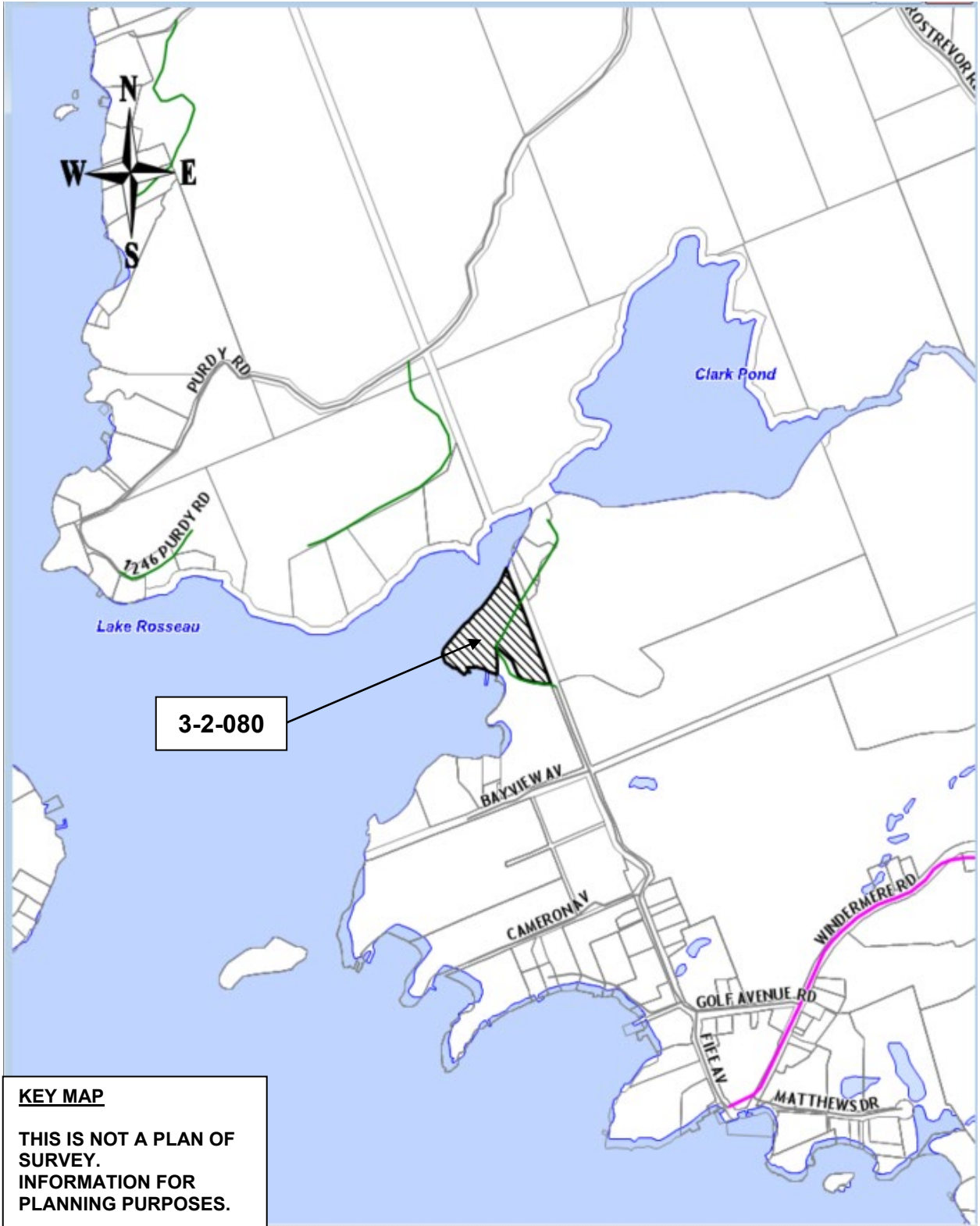
THE HEARING will be live-streamed on the Township's live webcast at: www.muskokalakes.ca If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 27th day of July, 2023.

"Original Signed by K. Bavington"
Kitty Bavington,
Secretary-Treasurer
Committee of Adjustment

KEY MAP



KEY MAP

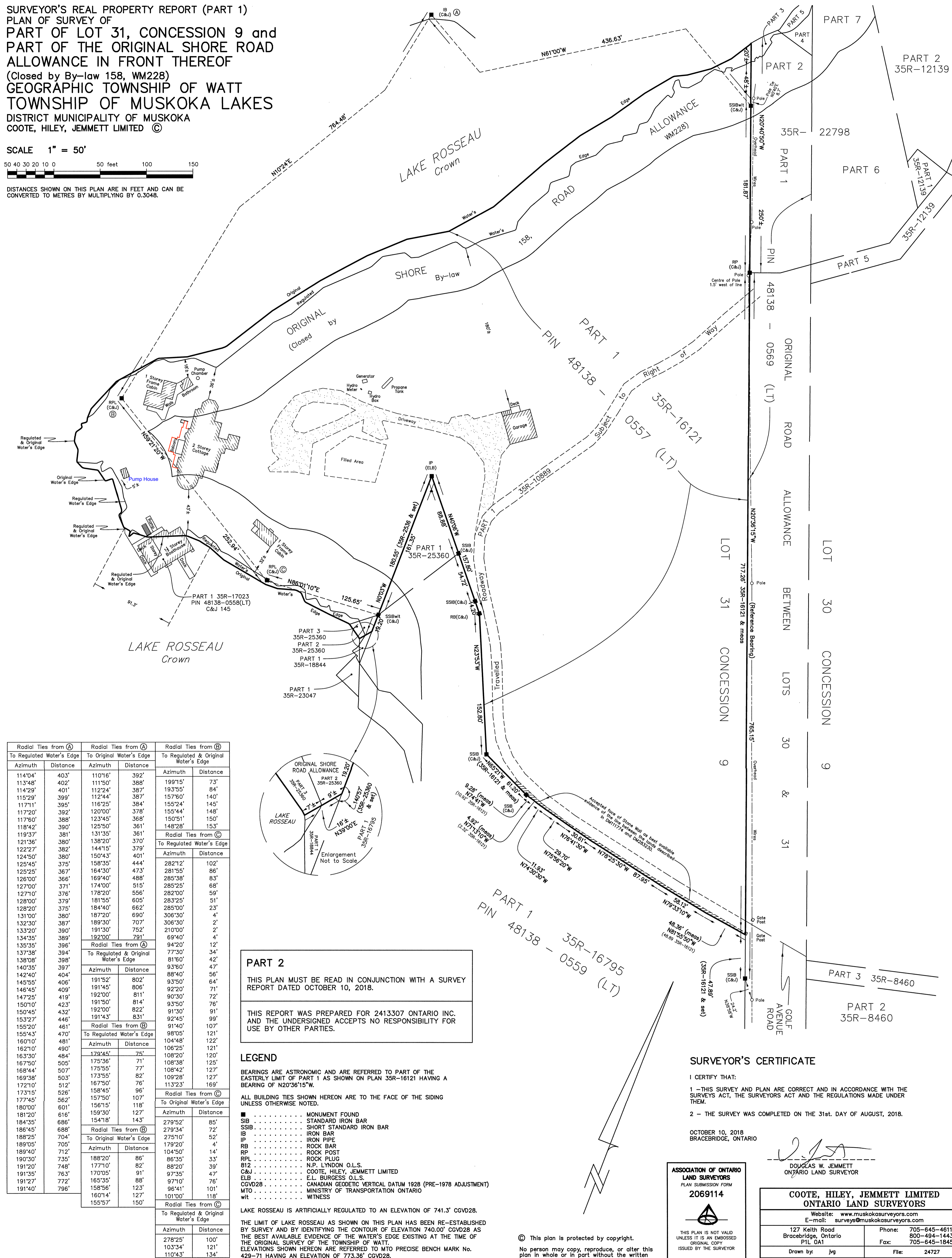
**THIS IS NOT A PLAN OF
SURVEY.
INFORMATION FOR
PLANNING PURPOSES.**

SURVEYOR'S REAL PROPERTY REPORT (PART 1)
PLAN OF SURVEY OF
PART OF LOT 31, CONCESSION 9 and
PART OF THE ORIGINAL SHORE ROAD
ALLOWANCE IN FRONT THEREOF
 (Closed by By-law 158, WM228)
GEOGRAPHIC TOWNSHIP OF WATT
TOWNSHIP OF MUSKOKA LAKES
DISTRICT MUNICIPALITY OF MUSKOKA
COOTE, HILEY, JEMMETT LIMITED ©

SCALE 1" = 50'

50 40 30 20 10 0 50 feet 100 150

DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048.



Radial Ties from (A)		Radial Ties from (B)		Radial Ties from (C)	
To Regulated Water's Edge	To Original Water's Edge	To Regulated Water's Edge	To Original Water's Edge	To Regulated Water's Edge	To Original Water's Edge
Azimuth	Distance	Azimuth	Distance	Azimuth	Distance
114°04'	403'	110°16'	392'	199°15'	73'
113°48'	402'	111°50'	388'	193°55'	84'
114°29'	401'	112°24'	387'	193°55'	84'
115°29'	399'	112°44'	387'	157°60'	140'
117°11'	395'	116°25'	384'	155°24'	145'
117°20'	392'	120°00'	378'	155°44'	148'
117°60'	388'	123°45'	368'	150°51'	150'
118°42'	390'	125°50'	361'	148°28'	153'
119°37'	381'	131°35'	361'		
121°36'	380'	138°20'	370'		
122°27'	382'	144°15'	379'		
124°50'	380'	150°43'	401'		
125°45'	375'	158°35'	444'		
125°25'	367'	164°30'	473'		
126°00'	366'	169°40'	488'		
127°00'	371'	174°00'	515'		
127°10'	376'	178°20'	556'		
128°00'	379'	181°55'	605'		
128°20'	375'	184°40'	682'		
131°00'	380'	187°20'	690'		
132°30'	387'	189°30'	707'		
133°20'	390'	191°30'	752'		
134°35'	389'	192°30'	791'		
135°35'	396'				
137°38'	394'				
138°08'	398'				
140°35'	397'				
142°40'	404'				
145°55'	406'				
146°45'	409'				
147°25'	419'				
150°10'	423'				
150°45'	432'				
153°27'	446'				
155°20'	461'				
155°43'	470'				
160°10'	481'				
162°10'	490'				
163°30'	484'				
167°50'	505'				
168°44'	507'				
169°38'	503'				
172°10'	512'				
173°15'	526'				
177°45'	562'				
180°00'	601'				
181°20'	616'				
184°35'	686'				
186°45'	688'				
188°25'	704'				
189°05'	705'				
189°40'	712'				
190°30'	735'				
191°20'	748'				
191°35'	763'				
191°27'	772'				
191°40'	796'				

PART 2
 THIS PLAN MUST BE READ IN CONJUNCTION WITH A SURVEY REPORT DATED OCTOBER 10, 2018.
 THIS REPORT WAS PREPARED FOR 2413307 ONTARIO INC. AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

LEGEND
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO PART OF THE EASTERLY LIMIT OF PART 1 AS SHOWN ON PLAN 35R-16121 HAVING A BEARING OF N20°36'15"W.
 ALL BUILDING TIES SHOWN HEREON ARE TO THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
 ■ MONUMENT FOUND
 SIB STANDARD IRON BAR
 SSIB SHORT STANDARD IRON BAR
 IB IRON BAR
 IP IRON PIPE
 RB ROCK BAR
 RP ROCK POST
 RPL ROCK PLUG
 B12 N.P. LYNDON O.L.S.
 C&L COOTE, HILEY, JEMMETT LIMITED
 ELB E.L. BURGESS O.L.S.
 CGVD28 CANADIAN GEODETIC VERTICAL DATUM 1928 (PRE-1978 ADJUSTMENT)
 MTO MINISTRY OF TRANSPORTATION ONTARIO
 WITNESS
 LAKE ROSSEAU IS ARTIFICIALLY REGULATED TO AN ELEVATION OF 741.3' CGVD28.
 THE LIMIT OF LAKE ROSSEAU AS SHOWN ON THIS PLAN HAS BEEN RE-ESTABLISHED BY SURVEY AND BY IDENTIFYING THE CONTOUR OF ELEVATION 740.00' CGVD28 AS THE BEST AVAILABLE EVIDENCE OF THE WATER'S EDGE EXISTING AT THE TIME OF THE ORIGINAL SURVEY OF THE TOWNSHIP OF WATT.
 ELEVATIONS SHOWN HEREON ARE REFERRED TO MTO PRECISE BENCH MARK No. 429-71 HAVING AN ELEVATION OF 773.36' CGVD28.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1 - THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2 - THE SURVEY WAS COMPLETED ON THE 31st. DAY OF AUGUST, 2018.
 OCTOBER 10, 2018
 BRACEBRIDGE, ONTARIO
 DOUGLAS W. JEMMETT
 ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SURVEYOR'S FORM
 2069114
 THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR

COOTE, HILEY, JEMMETT LIMITED
 ONTARIO LAND SURVEYORS
 Website: www.muskokasurveyors.com
 E-mail: surveys@muskokasurveyors.com
 127 Keth Road
 Bracebridge, Ontario
 P1L 0A1
 Phone: 705-645-4811
 800-494-1443
 Fax: 705-645-1845
 Drawn by: Jvg
 File: 24727
 Archived Survey Plans: www.landsurveyrecords.com

COOTE ♦ HILEY ♦ JEMMETT

Part 2
 Surveyor's Real Property Report
 File No. 24727
 Prepared for 2413307 Ontario Inc.

Legal Description
 The subject lands form part of Lot 31, Concession 9 and part of the Original Shore Road Allowance in front thereof (closed by By-law 158, WM228), in the Geographic Township of Watt, now in the Township of Muskoka Lakes in the District Municipality of Muskoka described in PIN 48138-0557(LT) and designated as Part 1, Plan 35R-16121, except Part 1 Plan 35R-18844.

The lands are bounded from the northeast along the westerly limit by the limit of Lake Rosseau, which is located at the Geodetic Contour of Elevation 741.3 feet.

Research
 The plan attached hereto illustrates the results of the field survey completed on August 31st, 2018 and the office research undertaken in conjunction therewith.

An outline of the various aspects of the project is as follows.

Monumentation
 Nine existing survey posts were located around the perimeter of the property and all of these can be attributed to previous surveys undertaken by E.L. Burgess, O.L.S., and our firm.
 Where possible a two-inch wooden stake, painted white with a red top, was placed beside each survey monument.

The limit of Lake Rosseau was accurately located by taking soundings to the 740.0 foot contour and ties were also taken to the present limit of the lake, which is controlled by dam under normal conditions, at an elevation of 741.3 feet.

Dimensions
 The bearings and distances around the property generally conform to those shown on Plans 35R-16121, 35R-17023, and 35R-18844.
 The unfolded area of the property was measured at 332,580 square feet, more or less, the straight-line frontage at 750 feet, and the distance along the present water's edge at 1,490 feet, more or less.

The area of the property lying within 200 feet of the high water mark is 197,200 square feet, more or less.

Site Details
 The structures were accurately located, together with other selected site details and the positions of these are shown on the plan with the pertinent distances to the property lines.

Items to which attention is drawn or those that do not appear on the plan are set out as follows:

- The southerly face of the retaining wall along the southerly side of the driveway has been accepted as the best available evidence of the line between DM111774 and DM283230 for the area shown on the plan.
- The flooded portion of the Original Shore Road Allowance forms part of the subject lands.
- Part 1 Plan 35R-17023 describes a portion of the bed of Lake Rosseau upon which the boathouse is located.
- The areas of the various roofed structures are as follows:

Cottage	3,293.4	square feet
Balcony	109.6	square feet
Cabin	578.0	square feet
Bathroom	115.0	square feet
Cabin east of cottage	340.4	square feet
Frame cabin west of cottage	70.9	square feet
Boathouse (all)	1,609.8	square feet
1 st storey portion only	375.9	square feet
Garage	955.8	square feet
- The heights of the various structures are as follows:

Cottage	33.6	feet
Cabin	14.0	feet
Bathroom	14.0	feet
Cabin	Less than 15.0	feet
Frame cabin	12.7	feet
Garage	21.5	feet
Boathouse	unable to measure	
- The filled area has the characteristics of containing a tile bed.

Easements
 Part 1 Plan 35R-10889 is subject to right of way.

By-law Compliance
 This report does not address any issue of by-law compliance, but provides an illustration of the details necessary to obtain pertinent comments from the Corporation of the Township of Muskoka Lakes.

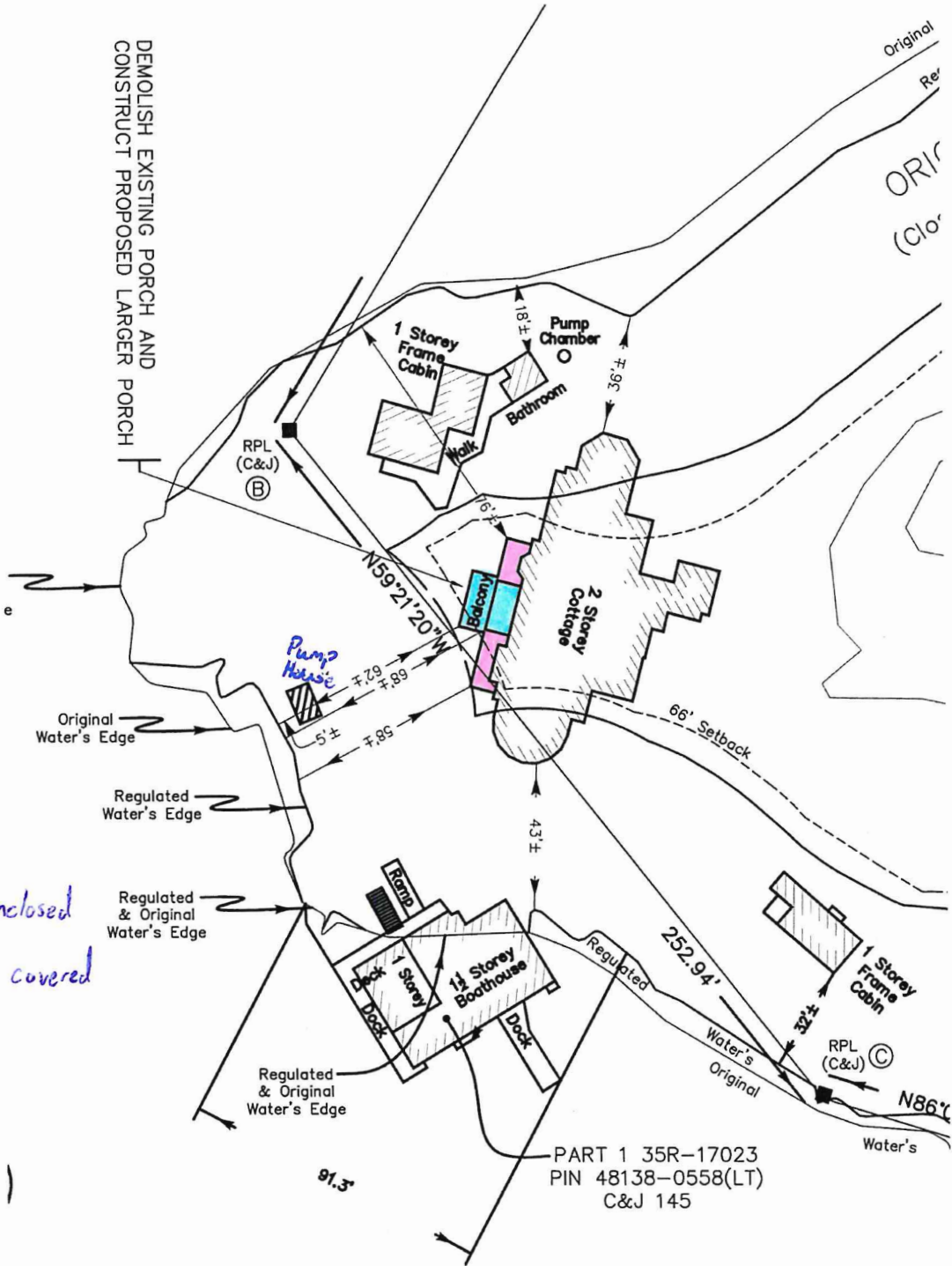
Access
 This report does not address any issue of access to the property beyond what is illustrated on the plan.

Bracebridge, Ontario
 Dated: October 10, 2018

[Signature]
 Douglas W. Jemmett, O.L.S.

SITE PLAN (ENLARGED)

NOT TO SCALE



= proposed enclosed porch

= proposed covered porch

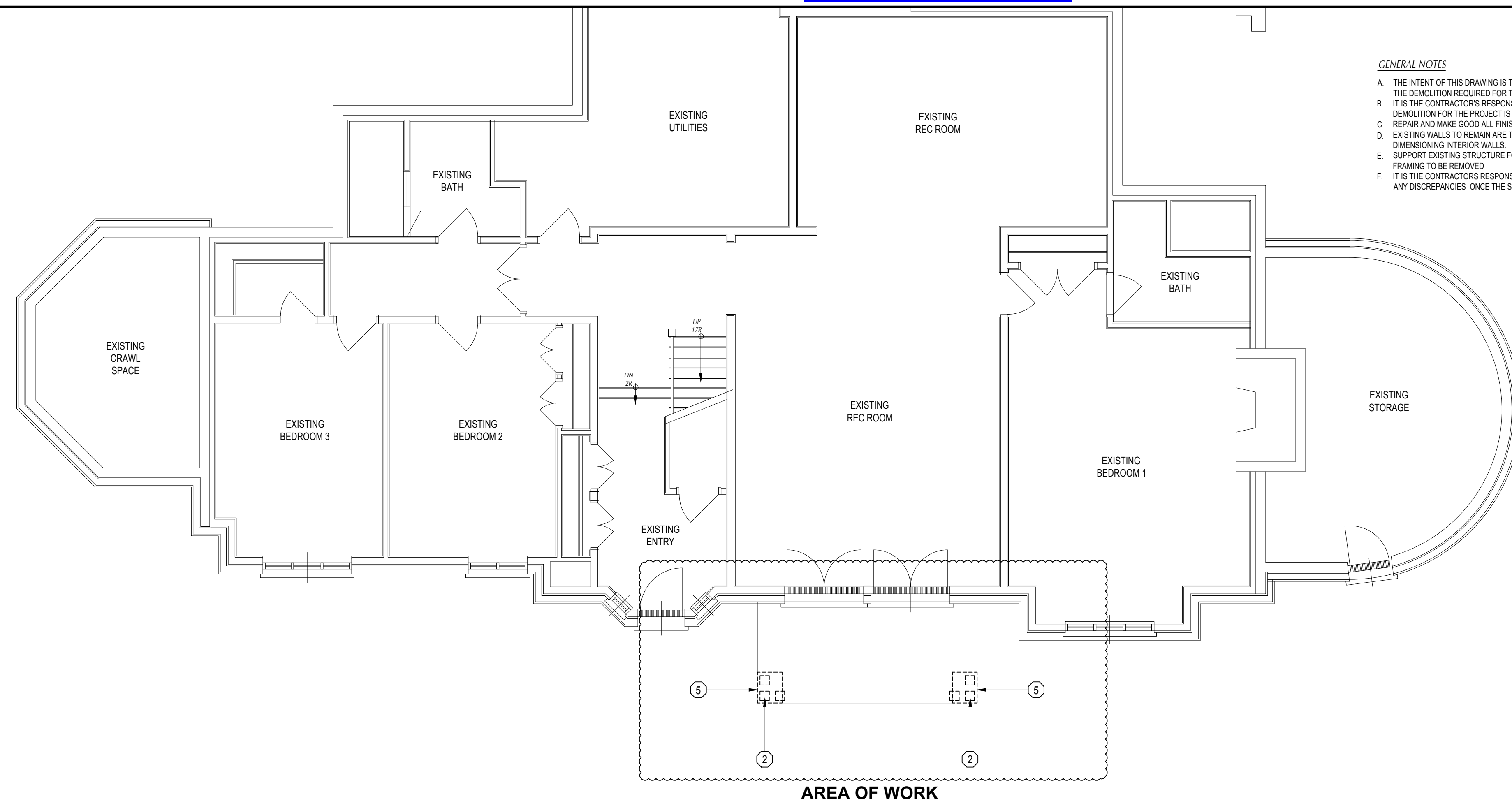
LAKE ROSSEAU
Crown

P
35F
P
35R
F
35I

PAR
35R-2

FLOOR PLANS - EXISTING

NOT TO SCALE



GENERAL NOTES

- A. THE INTENT OF THIS DRAWING IS TO OUTLINE THE SCOPE OF WORK FOR THE DEMOLITION REQUIRED FOR THIS PROJECT.
- B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL DEMOLITION FOR THE PROJECT IS PERFORMED AS REQUIRED.
- C. REPAIR AND MAKE GOOD ALL FINISHES THAT ARE TO REMAIN.
- D. EXISTING WALLS TO REMAIN ARE TO BE USED AS THE BASE FOR DIMENSIONING INTERIOR WALLS.
- E. SUPPORT EXISTING STRUCTURE FOR ALL LOAD BEARING WALLS & FRAMING TO BE REMOVED.
- F. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INFORM THE ARCHITECT OF ANY DISCREPANCIES ONCE THE START OF WORK COMMENCES.

DEMOLITION LEGEND

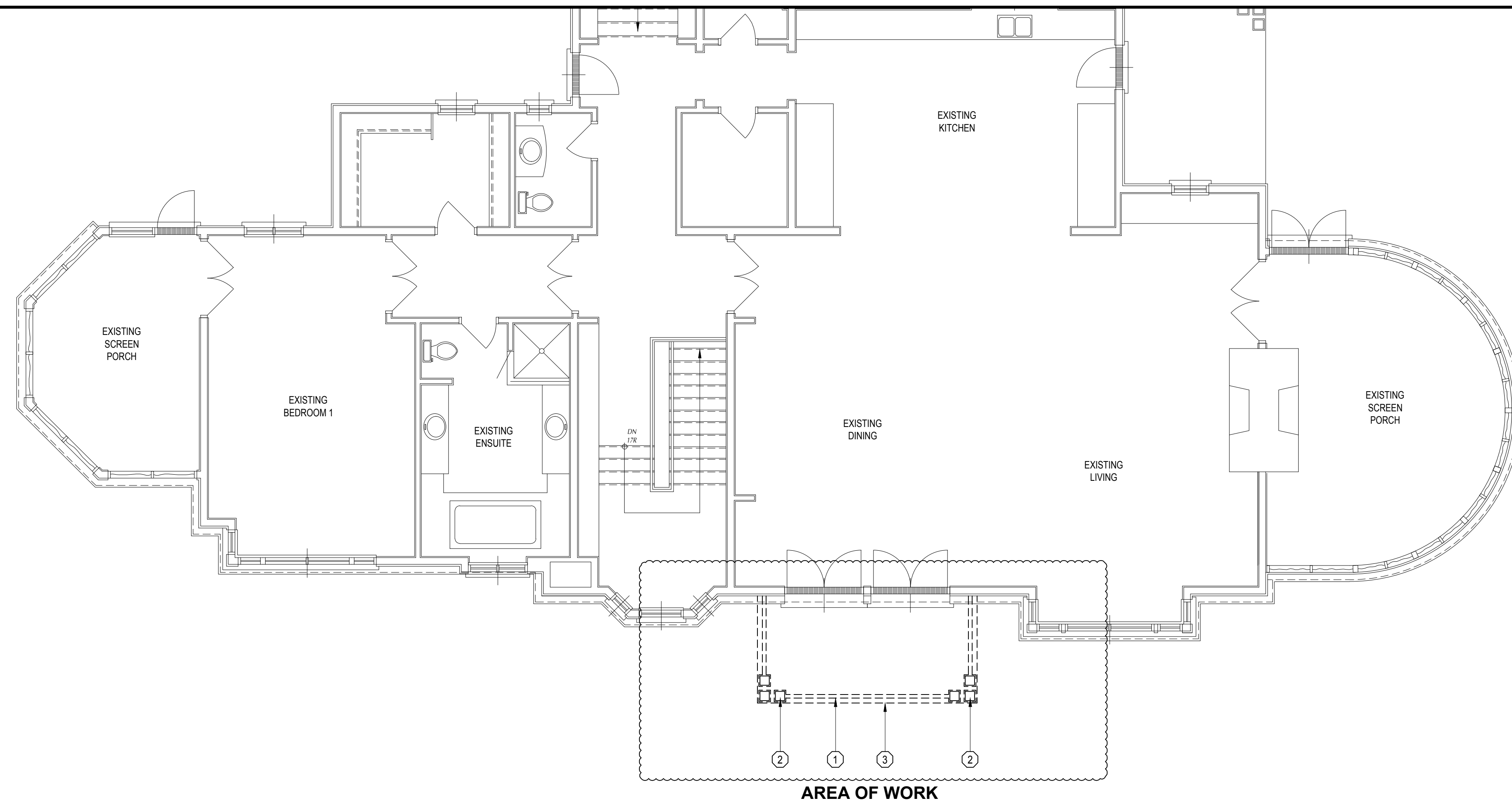
SYMBOL	DESCRIPTION
①	RAILING TO BE REMOVED
②	DECORATIVE POST TO BE RELOCATED
③	EXISTING DECK TO BE REMOVED
④	ROOF FRAMING/EAVES TO BE REMOVED
⑤	CUT EXISTING CONC. PORCH TO FIT NEW CONC. PIERS
---	DENOTES EXISTING CONSTRUCTION
---	DENOTES ELEMENTS TO BE REMOVED

EXISTING/DEMOLITION PLANS

**HENSCHEL COTTAGE
CLARKS POND ROAD
WINDERMERE, ONTARIO**

DRAWING:

PROJECT:



REVISIONS

NO.	DATE	ISSUED FOR B.P. APPLICATION
1	MAR. 27, 2023	

CHECKED BY: DT
DRAWN BY: MGL

DAVID THOMPSON ARCHITECT
181 SIMEON STREET, KITCHENER, ONTARIO N2H 1S7
v: 519 342-0095 f: 519 342-5700



DATE: MARCH 27, 2023

SCALE: 3/16" = 1'-0"

DRAWING NO.:

PROJECT NO.: 1000-1

A1.3

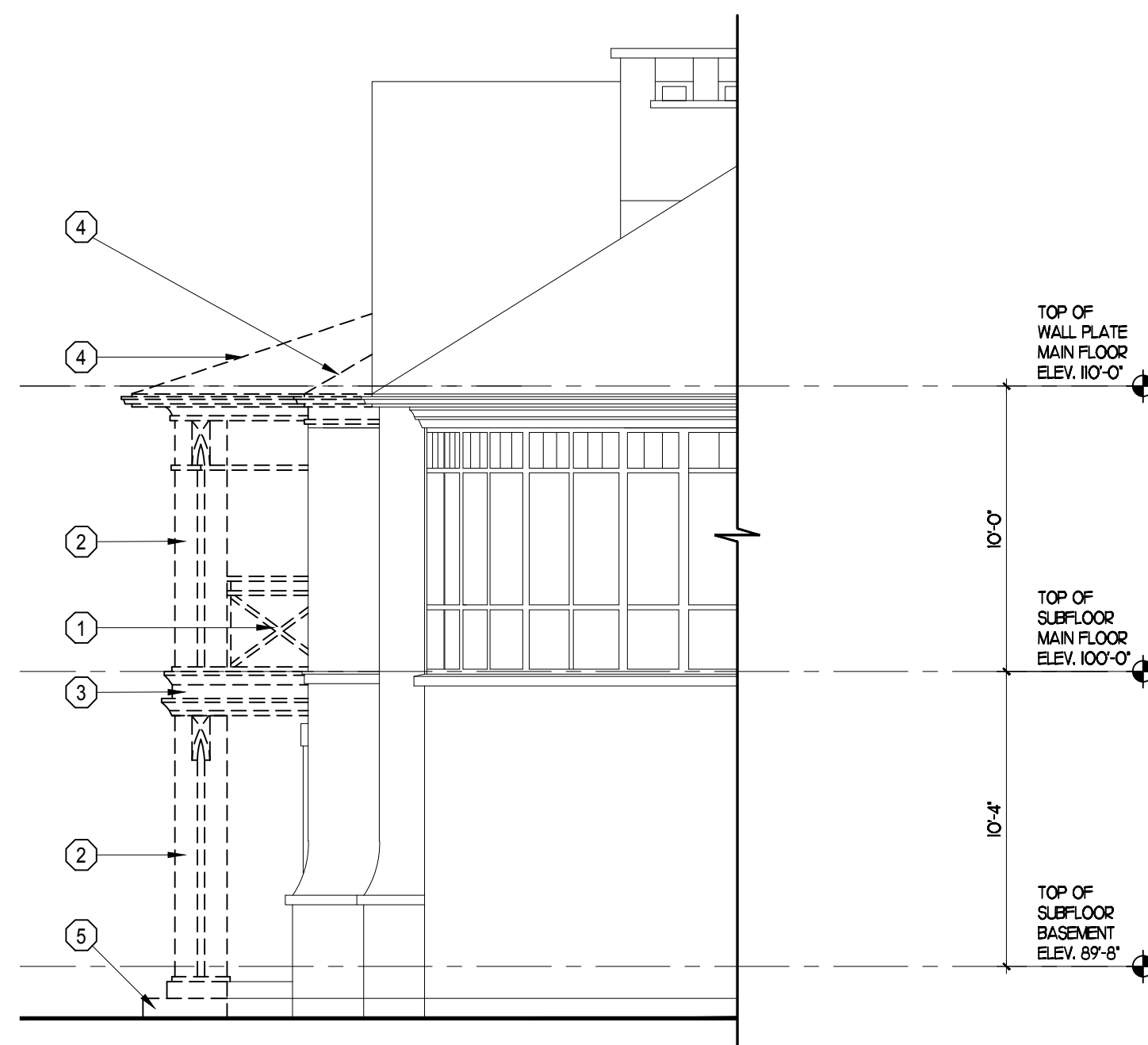


GENERAL NOTES

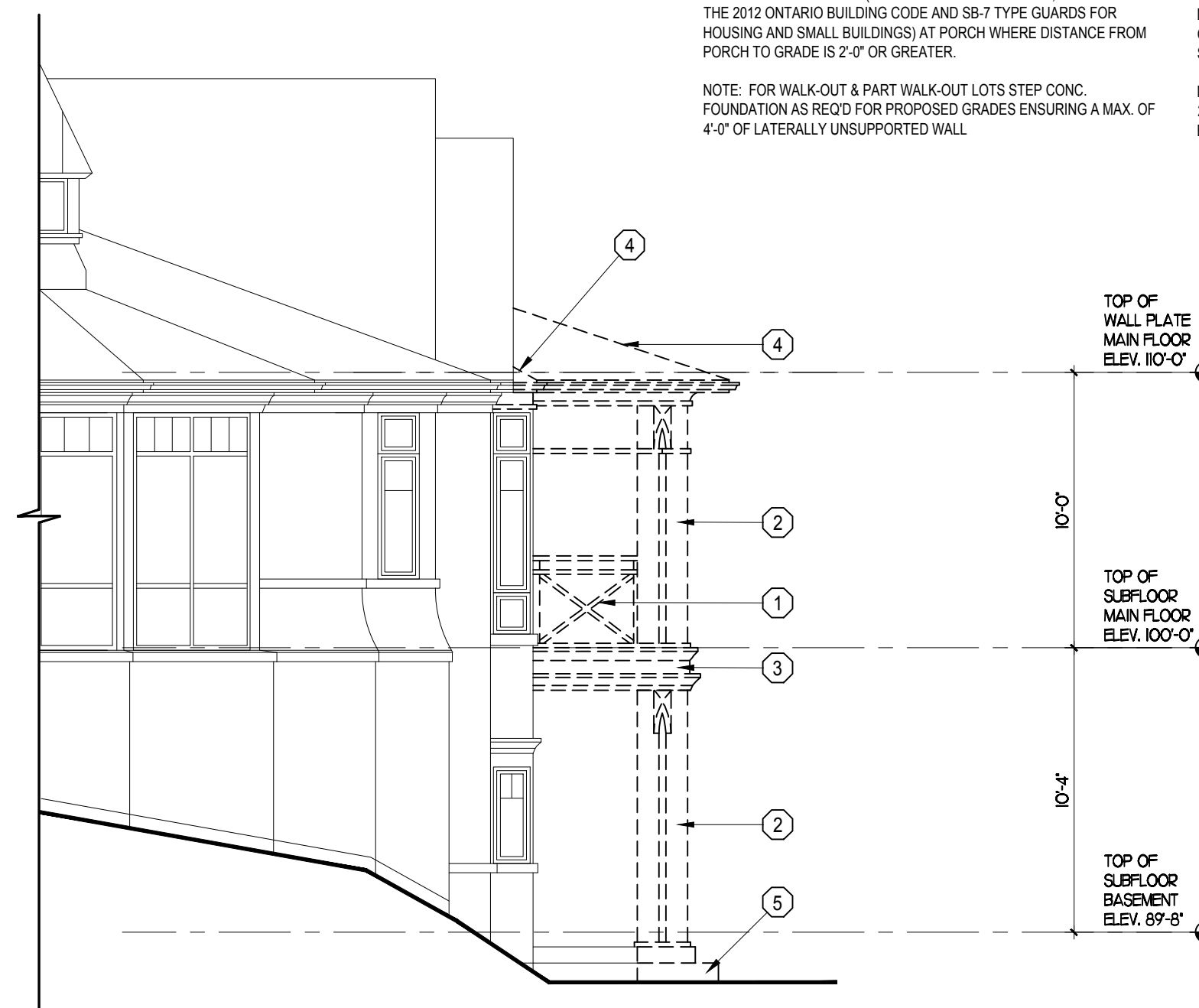
- A. THE INTENT OF THIS DRAWING IS TO OUTLINE THE SCOPE OF WORK FOR THE DEMOLITION REQUIRED FOR THIS PROJECT.
- B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL DEMOLITION FOR THE PROJECT IS PERFORMED AS REQUIRED.
- C. REPAIR AND MAKE GOOD ALL FINISHES THAT ARE TO REMAIN.
- D. EXISTING WALLS TO REMAIN ARE TO BE USED AS THE BASE FOR DIMENSIONING INTERIOR WALLS.
- E. SUPPORT EXISTING STRUCTURE FOR ALL LOAD BEARING WALLS & FRAMING TO BE REMOVED.
- F. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INFORM THE ARCHITECT OF ANY DISCREPANCIES ONCE THE START OF WORK COMMENCES.

DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
①	RAILING TO BE REMOVED
②	DECORATIVE POST TO BE RELOCATED
③	EXISTING DECK TO BE REMOVED
④	ROOF FRAMING/EAVES TO BE REMOVED
⑤	CUT EXISTING CONC. PORCH TO FIT NEW CONC. PIERS
---	DENOTES EXISTING CONSTRUCTION
---	DENOTES ELEMENTS TO BE REMOVED

1 WEST ELEVATION (LAKE SIDE)
A1.4 SCALE: 3/16" = 1'-0"



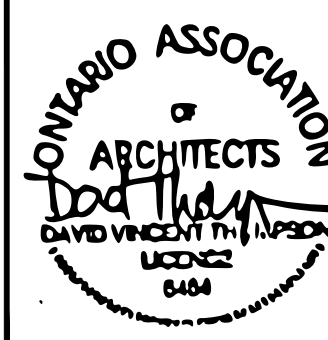
2 SOUTH ELEVATION
A1.4 SCALE: 3/16" = 1'-0"

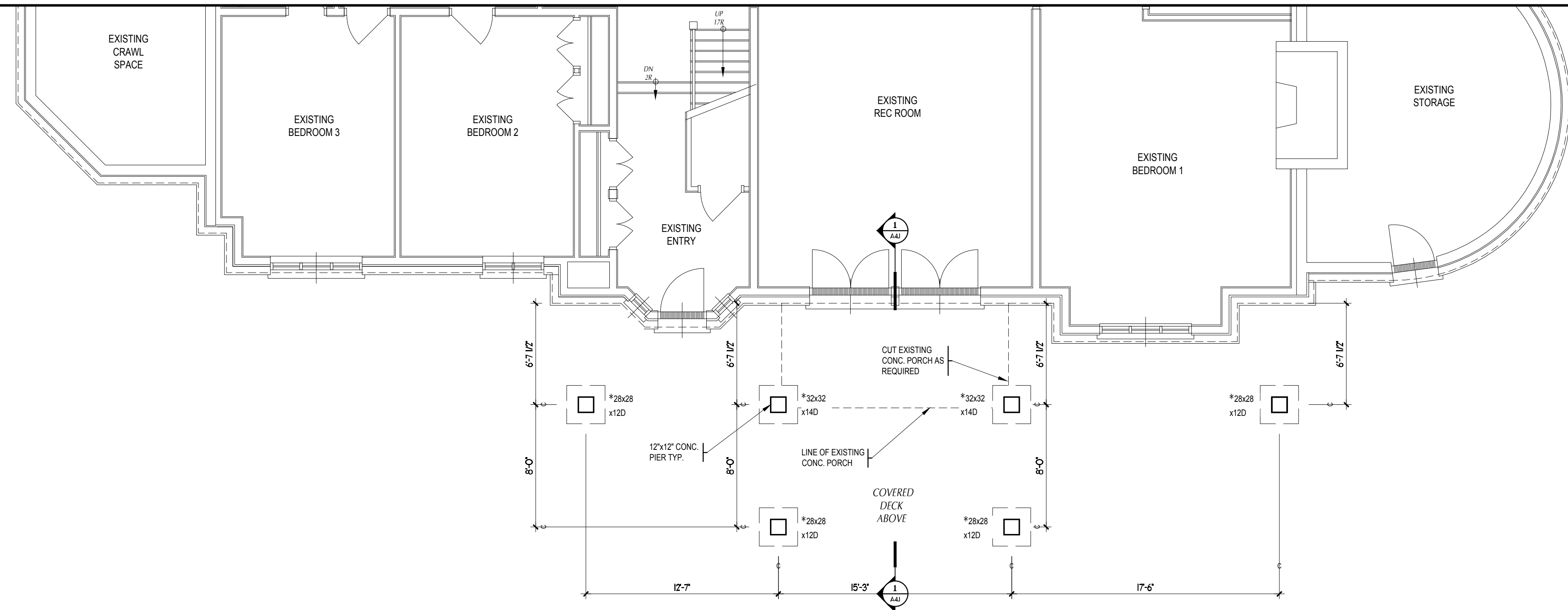


3 NORTH ELEVATION
A1.4 SCALE: 3/16" = 1'-0"

ELEVATION NOTES

- NOTE: PROVIDE GUARDS (CONFORMING TO DIVISION 8, PART 9.8.8 OF THE 2012 ONTARIO BUILDING CODE AND SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.
- NOTE: FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF Laterally UNSUPPORTED WALL.
- NOTE: WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.
- NOTE: WHERE PATIO/TERRACE DOOR THRESHOLD IS GREATER THAN 2'-0" ABOVE FINISHED GRADE, PROVIDE SB-7 GUARD OR PROVIDE BLOCKING TO PREVENT DOOR FROM OPENING MORE THAN 4".

EXISTING/DEMOLITION ELEVATIONS		DRAWING:	
HENSCHEL COTTAGE		PROJECT:	
CLARKS POND ROAD		WINDERMERE, ONTARIO	
DAVID THOMPSON ARCHITECT		N2H 1S7	
181 SIMEON STREET, KITCHENER, ONTARIO		v: 519 342-0095 f: 519 342-5700	
REVISIONS		NO.	
DATE	ISSUED FOR B.P. APPLICATION	NO.	ISSUED FOR B.P. APPLICATION
MARCH 27, 2023		NO.	
CHECKED BY:	DT	DATE:	MARCH 27, 2023
DRAWN BY:	MGL	SCALE:	3/16"=1'-0"
		DRAWING NO.:	A1.4
PROJECT NO.:		1000-1	



NOTE:
FOR STRUCTURAL DETAILS and
REQUIREMENTS, REFER TO DRAWINGS BY
BLACKWELL STRUCTURAL ENGINEERS.

LEGEND

TOP OF FOUNDATION WALL ELEVATIONS
SHOWN THUS: [Symbol]

TOP OF FOOTING ELEVATIONS
SHOWN THUS: [Symbol]

SW = APPROXIMATE LOCATION OF STEP
IN FOUNDATION WALL

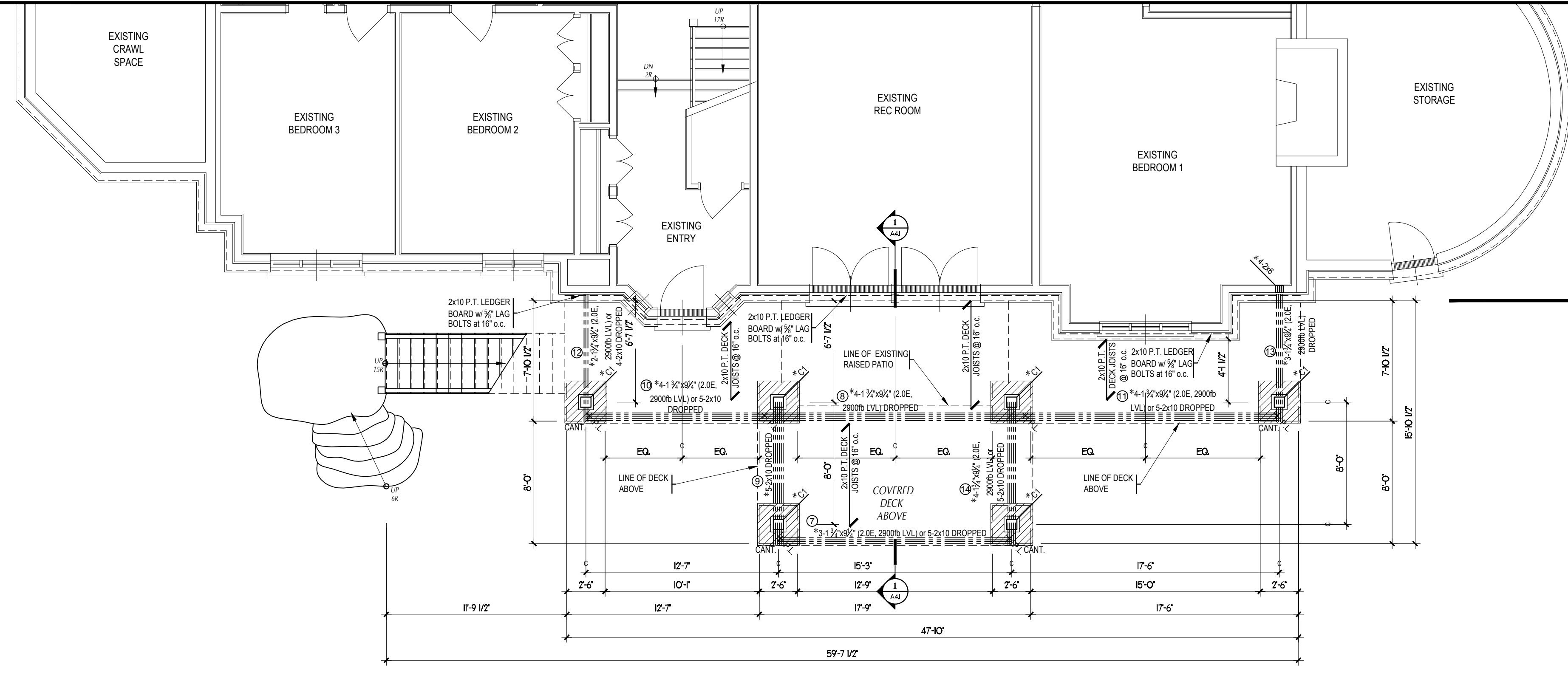
SF = APPROXIMATE LOCATION OF
STEP IN FOOTING

[Symbol] DENOTES 4" W. x 6" D. CHECK
IN FOUNDATION WALL

NOTES

1. STEPS IN FOUNDATION WALLS AND FOOTINGS ARE TO BE SITE VERIFIED.
2. STEP FOOTINGS NOT TO EXCEED 23.5"
3. STEP FOOTINGS NOT INDICATED MAY BE REQUIRED IF ADVERSE SOIL CONDITIONS ARE PRESENT.
4. ALL FOOTINGS ARE 16"WIDEx8"DEEP UNLESS OTHERWISE INDICATED.

1 PROPOSED FOUNDATION PLAN
A2.1 SCALE: 3/16" = 1'-0"



COLUMN SCHEDULE

[Symbol] 8"x8" PRESSURE TREATED POST

NOTE:
FOR STRUCTURAL DETAILS and
REQUIREMENTS, REFER TO DRAWINGS BY
BLACKWELL STRUCTURAL ENGINEERS.

NOTE:
SOLID FILLED WALLS INDICATE INTERIOR
LOAD BEARING WALL

FRAMING NOTES:
ALL INTERIOR STUD WALLS
TO BE 2x4, U.N.O. REFER TO STRUCTURAL
ENGINEER'S DRAWINGS.

ALL LINTELS AND BEAMS TO BE DROPPED
UNLESS NOTED OTHERWISE.

2 PROPOSED BASEMENT FLOOR PLAN
A2.1 SCALE: 3/16" = 1'-0"

DRAWING:
**PROPOSED FOUNDATION
AND BASEMENT PLAN**

PROJECT:
**HENSCHER COTTAGE
CLARKS POND ROAD
WINDERMERE, ONTARIO**

NO.	DATE	ISSUED FOR	REVISIONS
1	MAR. 27, 2023	FOR B.P. APPLICATION	

DAVID THOMPSON ARCHITECT
181 SIMEON STREET, KITCHENER, ONTARIO N2H 1S7
v: 519 342-0095 f: 519 342-5700

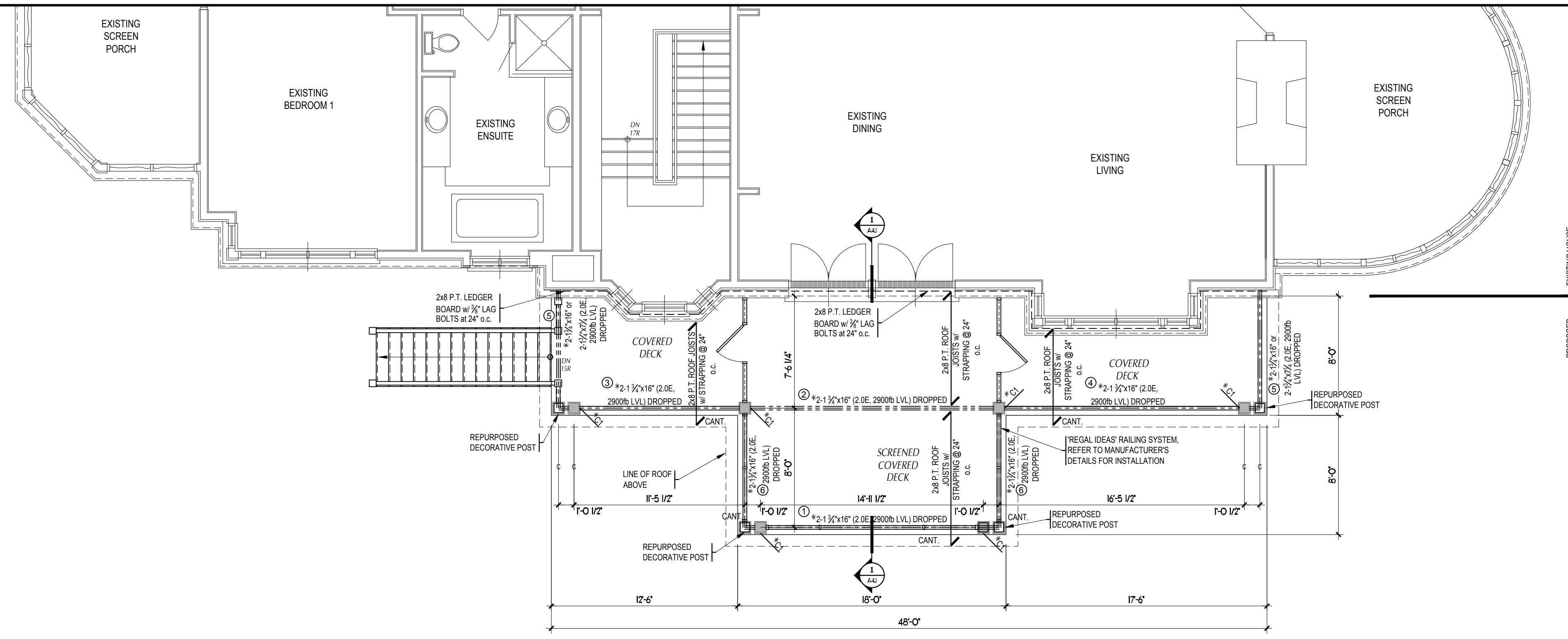


CHECKED BY: DT
DRAWN BY: MGL

DATE: MARCH 27, 2023

SCALE: 3/16" = 1'-0" DRAWING NO.:

PROJECT NO.: 1000-1 **A2.1**



COLUMN SCHEDULE
 8"x8" PRESSURE TREATED POST
 NEW PORCH AREA - 481 sq.ft.

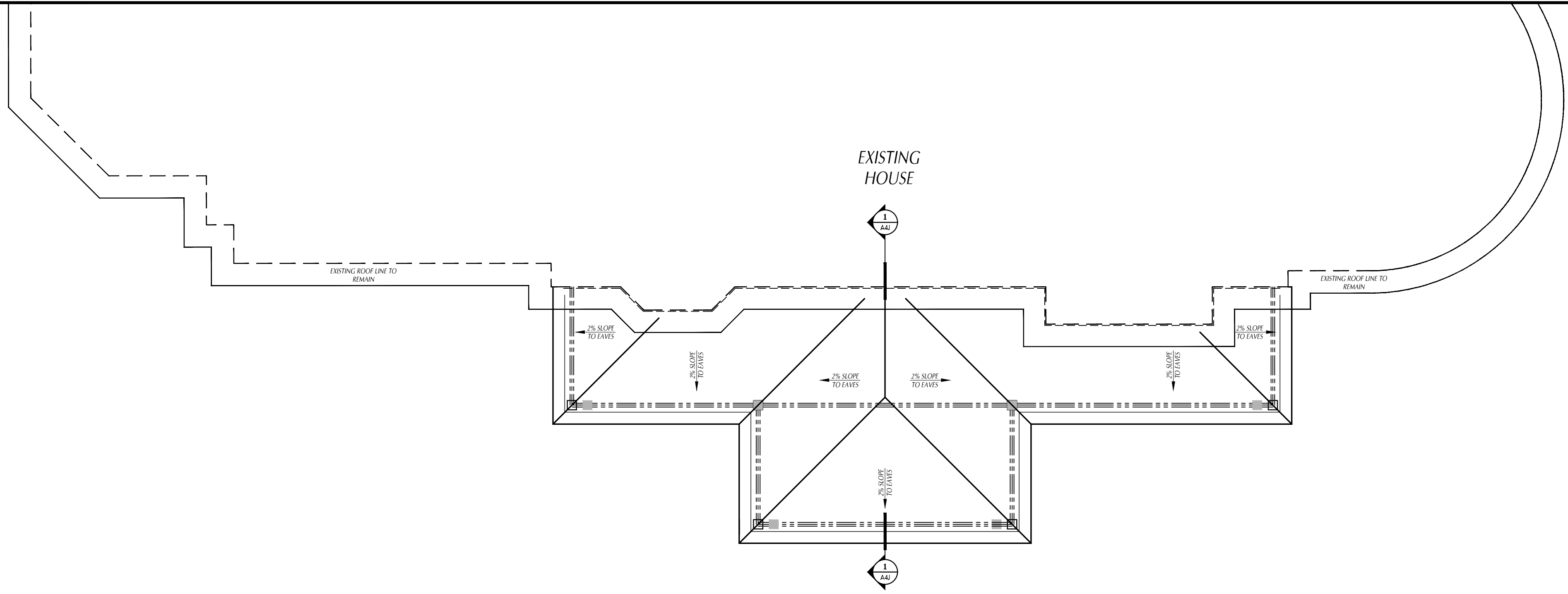
NOTE:
 FOR STRUCTURAL DETAILS and REQUIREMENTS, REFER TO DRAWINGS BY BLACKWELL STRUCTURAL ENGINEERS.

NOTE:
 SOLID FILLED WALLS INDICATE INTERIOR LOAD BEARING WALL.

NOTE:
 REINFORCE STUDS IN MAIN BATH FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO TUB AND WATER CLOSET. AS PER O.B.C. DIV 9, PART 9, 9.2.2.3

FRAMING NOTES:
 ALL INTERIOR STUD WALLS TO BE 2x4 U.N.O. REFER TO STRUCTURAL ENGINEER'S DRAWINGS.
 ALL LINTELS AND BEAMS TO BE DROPPED UNLESS NOTED OTHERWISE

1 PROPOSED MAIN FLOOR PLAN
 SCALE: 3/16" = 1'-0"



NOTE:
 FOR STRUCTURAL DETAILS and REQUIREMENTS, REFER TO DRAWINGS BY BLACKWELL STRUCTURAL ENGINEERS.

TRUSS MANUFACTURER NOTE:
 TRUSS MANUFACTURER TO VERIFY ALL STEEL BEAMS AND LINTEL SIZES SUPPORTING ROOF LOADS.

TRUSS MANUFACTURER OR BUILDER TO PROVIDE ROOF TRUSS DRAWINGS TO ORCHARD DESIGN STUDIO PRIOR TO TRUSS MANUFACTURING.

NOTE:
 PROVIDE 9" ROOF OVERHANGS U.N.O.

2 PROPOSED ROOF PLAN
 SCALE: 3/16" = 1'-0"

PROPOSED MAIN FLOOR AND ROOF PLAN

**HENSHEL COTTAGE
 CLARKS POND ROAD
 WINDERMERE, ONTARIO**

DRAWING:
PROJECT:

NO.	DATE	REVISIONS
1	MAR.27.2023	ISSUED FOR B.P. APPLICATION

DAVID THOMPSON ARCHITECT
 181 SIMEON STREET, KITCHENER, ONTARIO N2H 1S7
 v: 519 342-0095 f: 519 342-5700



CHECKED BY: DT
 DRAWN BY: MGL

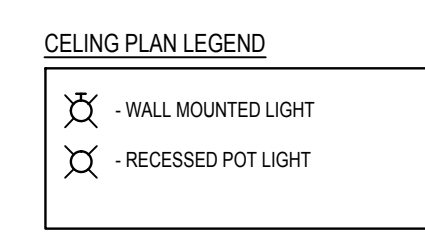
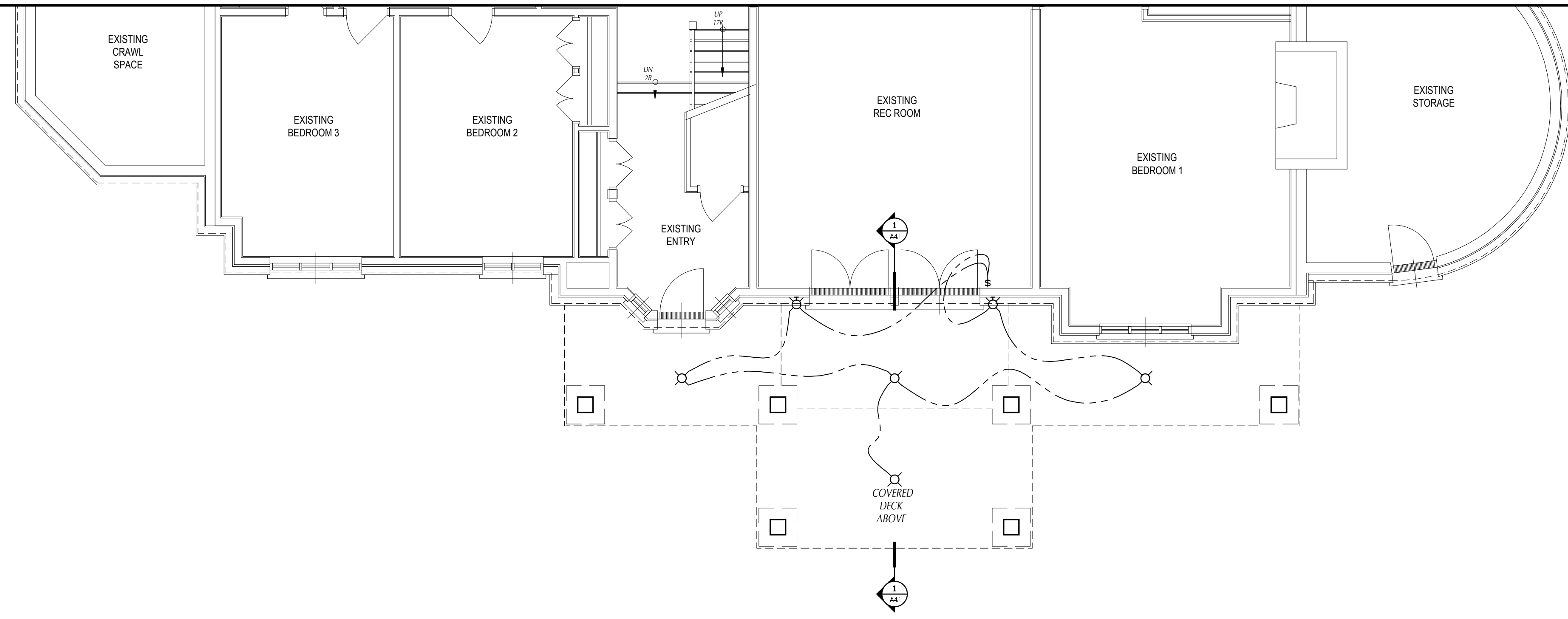
DATE:
 MARCH 27, 2023

SCALE:
 3/16"=1'-0"

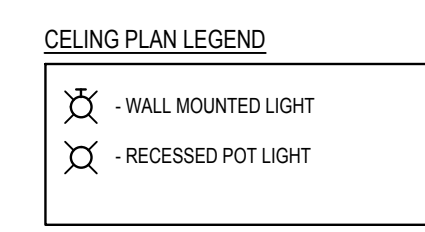
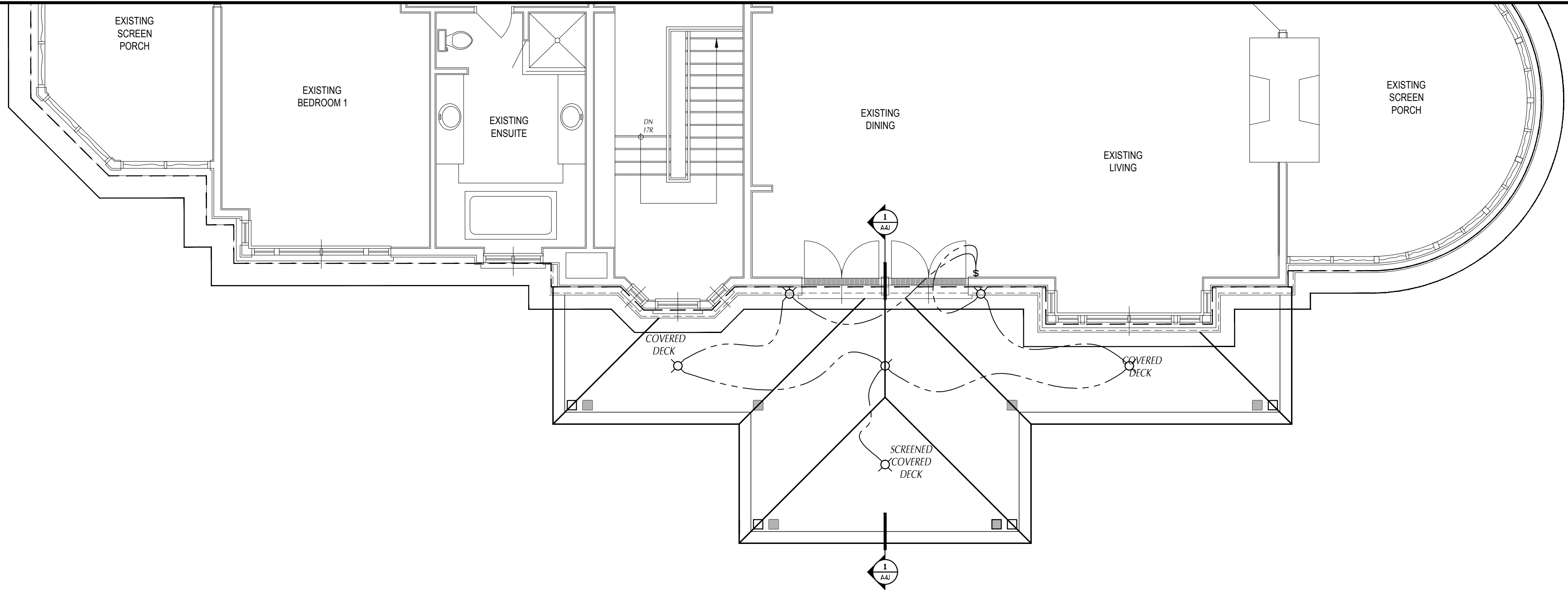
DRAWING NO.:

PROJECT NO.:

A2.2



1 BASEMENT FLOOR REFLECTED CEILING PLAN
A2.3 SCALE: 3/16" = 1'-0"



2 MAIN FLOOR REFLECTED CEILING PLAN
A2.3 SCALE: 3/16" = 1'-0"

DRAWING: **PROPOSED REFLECTED CEILING PLANS**
 PROJECT: **HENSCHEL COTTAGE
 CLARKS POND ROAD
 WINDERMERE, ONTARIO**

DAVID THOMPSON ARCHITECT
 181 SIMEON STREET, KITCHENER, ONTARIO N2H 1S7
 v: 519 342-0095 f: 519 342-5700

NO.	DATE	REVISIONS
1	MAR. 27, 2023	ISSUED FOR B.P. APPLICATION

CHECKED BY: DT
 DRAWN BY: MGL

DATE: MARCH 27, 2023

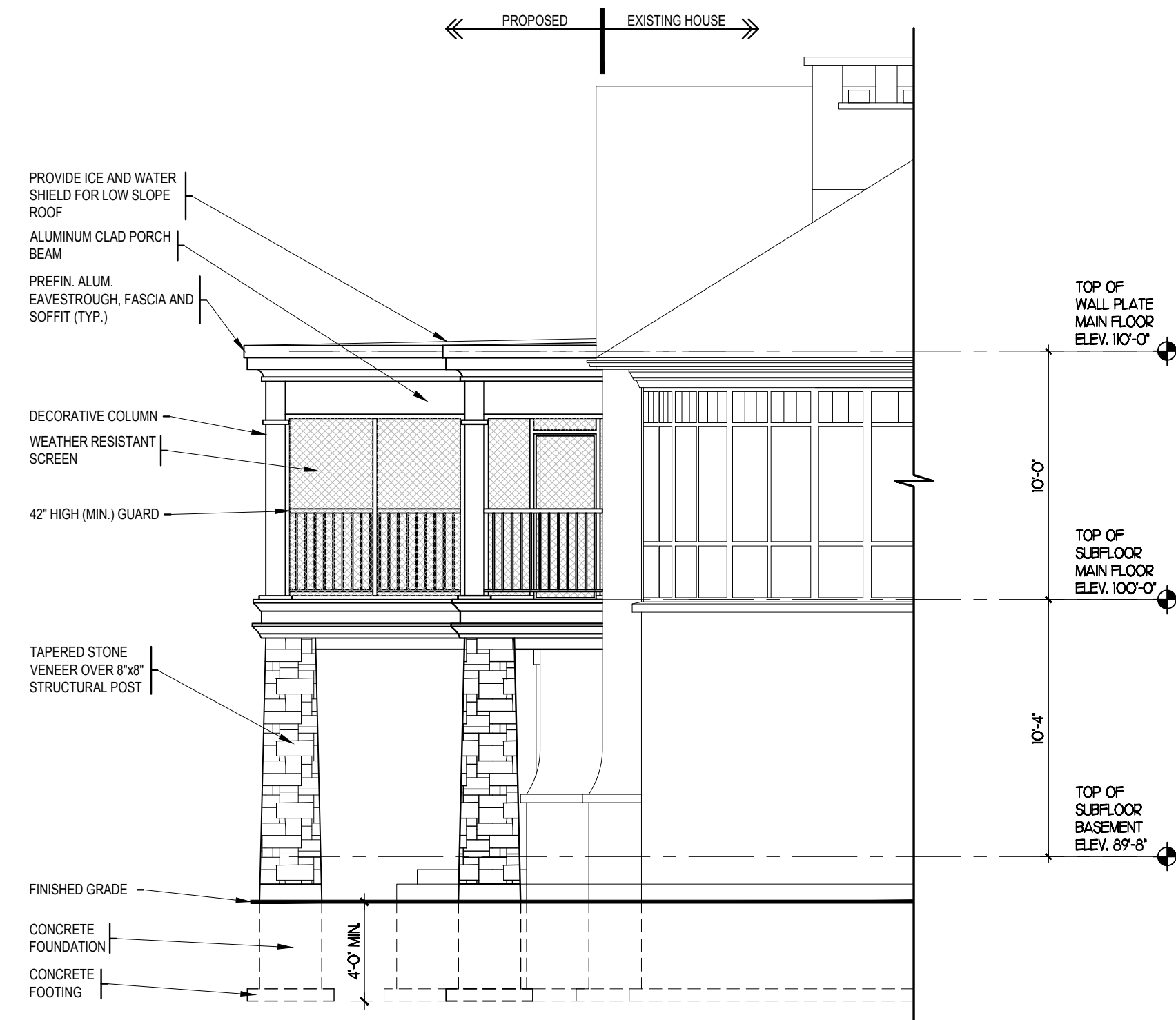
SCALE: 3/16" = 1'-0" DRAWING NO.:

PROJECT NO.: 1000-1 **A2.3**

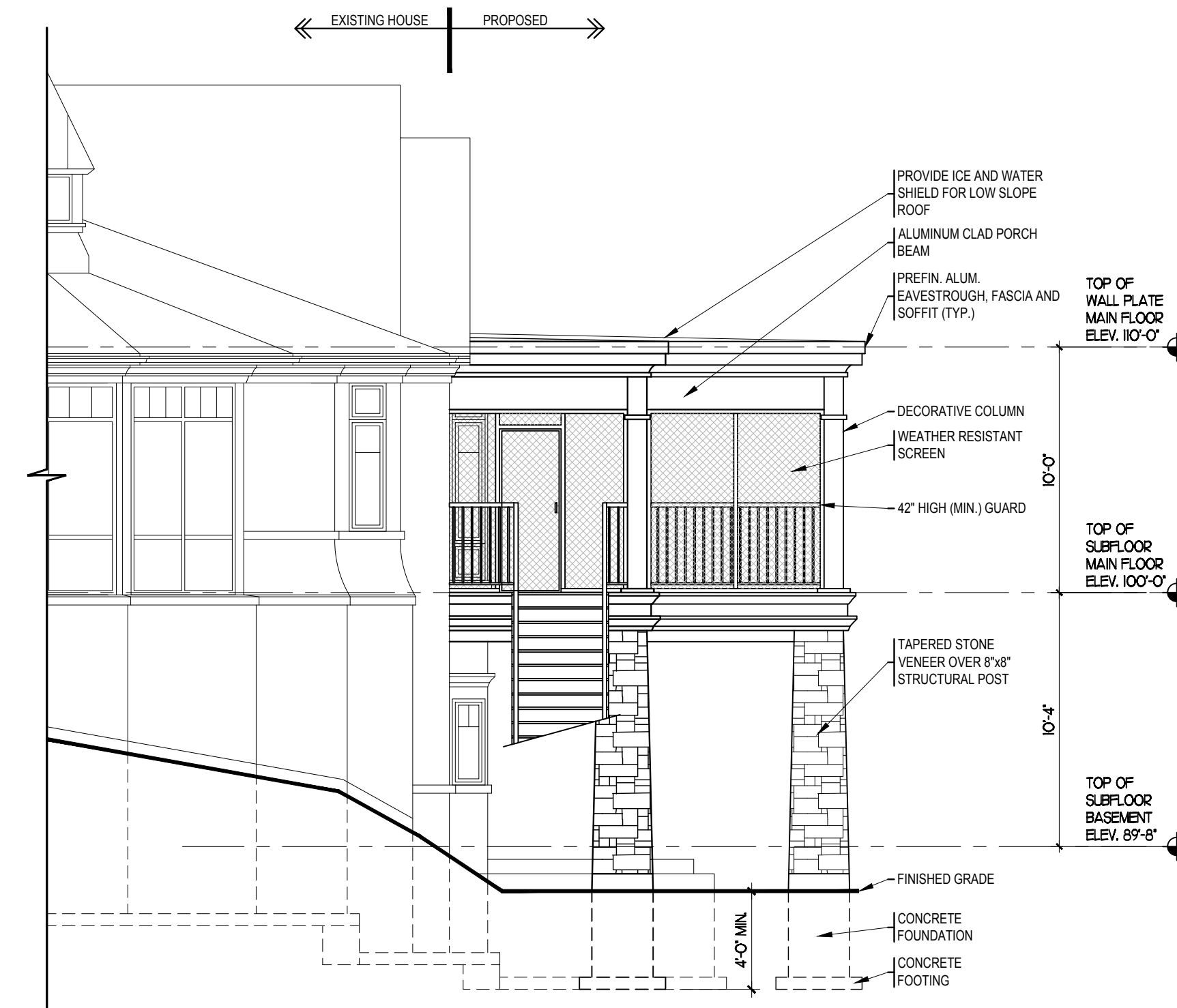


- ELEVATION NOTES:**
- 1) PROVIDE GUARDS (CONFORMING TO DIVISION B, PART 9.8.8 OF THE 2012 ONTARIO BUILDING CODE AND SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.
 - 2) WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.
 - 3) WHERE PATIO/TERRACE DOOR THRESHOLD IS GREATER THAN 2'-0" ABOVE FINISHED GRADE, PROVIDE SB-7 GUARD OR PROVIDE BLOCKING TO PREVENT DOOR FROM OPENING MORE THAN 4".
 - 4) FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF LATERALLY UNSUPPORTED WALL.
 - 5) ONLY NEW MATERIALS ARE NOTED AND EXISTING MATERIALS SHOWN AS IS.
 - 6) REPAIR AND MAKE GOOD ALL FINISHES THAT ARE TO REMAIN.
 - 7) PROVIDE ADDITIONAL ROOF VENTS AS REQUIRED.

1 WEST ELEVATION (LAKE SIDE)
A3.1 SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
A3.1 SCALE: 3/16" = 1'-0"



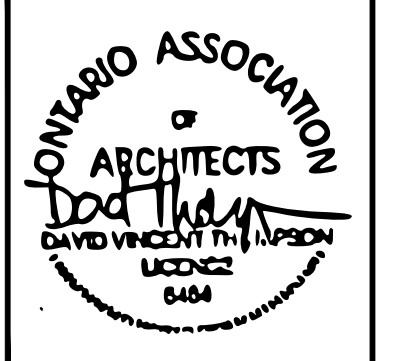
3 NORTH ELEVATION
A3.1 SCALE: 3/16" = 1'-0"

DRAWING: **PROPOSED REAR AND SIDE ELEVATIONS**

PROJECT: **HENSHEL COTTAGE
CLARKS POND ROAD
WINDERMERE, ONTARIO**

NO.	DATE	ISSUED FOR B.P. APPLICATION	REVISIONS
1	MAR. 27, 2023		

DAVID THOMPSON ARCHITECT
181 SIMEON STREET, KITCHENER, ONTARIO N2H 1S7
v: 519 342-0095 f: 519 342-5700



CHECKED BY: DT
DATE: MARCH 27, 2023

DRAWN BY: MGL
SCALE: 3/16" = 1'-0"

PROJECT NO.: 1000-1
DRAWING NO.: **A3.1**

EXISTING RENDERING

NOT TO SCALE



PROPOSED RENDERING

NOT TO SCALE

