



Box 129, Port Carling, ON, POB 1JO  
 Telephone (705) 765-3156  
 Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES  
**PLANNING COMMITTEE**

**NOTICE OF COMPLETE APPLICATION  
 AND  
 NOTICE OF PUBLIC MEETING**

**This notice has been sent to you for your information and does not require any response unless you wish to make one.**

**TAKE NOTICE THAT** the Council for The Corporation of the Township of Muskoka Lakes will be considering the following proposed Amendment to Zoning By-Law 2014-14 pursuant to Section 34 of the Planning Act, R.S.O. 1990, c. P.13.

**Public Meeting Date: December 14, 2023 at 9:00 a.m.**

**File and By-law #.:** ZBA-35/23, By-law 2023-128

**Roll #:** 7-12-049

**Civic Address:** 1021 Gordon Street

**Owner:** 1377135 Ontario Inc., 727 Millwood Rd., Toronto, ON, M4G 1V7

**Legal Description:** Part of Lot 15, Concession A, Parts 1 to 4, Plan 35R-12683, and Parts 1, 3, and 5, Plan 35R-26858, (Bala)

**Lake/River:** Lake Muskoka

**Zoning:** Community Commercial – Marina (C2) and Community Industrial – Light Industry (M1)

**Zoning Schedule:** 58

**EXPLANATION OF THE PURPOSE AND EFFECT:** The applicant has submitted a Zoning By-law Amendment Application to rezone part of the subject lot from Community Industrial – Light Industry (M1) to Community Commercial – Marina (C2), to construct a rooftop sundeck on an existing store that exceeds the maximum permitted length and is within a required side yard setback, and to construct a new accessory retail store (showroom) and staff quarters building in excess of the maximum permitted height requirement.

Table 1: Summary of Existing and Proposed Uses

Proposal	Permitted Uses in M1 Zone	Permitted Uses in C2 Zone
Rezone part of the subject lot from Community Industrial – Light Industry (M1) to Community Commercial – Marina (C2).	<ul style="list-style-type: none"> <li>• Automobile service state</li> <li>• Building supply yard</li> <li>• Contractors yard</li> <li>• Light industry</li> <li>• Marina</li> <li>• Service shop</li> <li>• Warehousing</li> </ul>	<ul style="list-style-type: none"> <li>• Gas Bar</li> <li>• Marina</li> <li>• Service Shop.</li> </ul> <p>Accessory:</p> <ul style="list-style-type: none"> <li>• Artist studio</li> <li>• Convenience store</li> </ul>

	Accessory: <ul style="list-style-type: none"> <li>• Office</li> <li>• Retail store</li> </ul>	<ul style="list-style-type: none"> <li>• Contractors yard</li> <li>• Cultural center</li> <li>• Residential – dwelling unit</li> <li>• Office</li> <li>• Restaurant</li> <li>• Retail store</li> <li>• Service shop</li> <li>• Staff quarters</li> </ul>
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Table 2: Summary of Proposed Exemptions

Exemption	ZBL 2014-14 Section(s)	Description	Permitted	Proposed
A	5.2.7 b. i.	Maximum Length	50 ft.	Construct a Rooftop Sundeck 66.5 ft. from the HWM
B	5.2.7 b. iv.	Minimum Interior Side Yard Setback	15 ft.	Construct a Rooftop Sundeck at a Setback of 0 ft.
C	5.2.3	Maximum Permitted Height	35 ft.	Construct a Building Containing an Accessory Retail Store (Showroom) and Staff Quarters 48 ft. in Height

**A key map of the property, the applicant’s site plan and any drawings, and a draft of By-law 2023-121 are included in this notice.**

**TAKE FURTHER NOTICE THAT** this public meeting will be held in a hybrid forum with both electronic participation via ZOOM, and in-person participation for those wishing to attend in person. **The meeting will be held in the Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario and will commence at 9:00 a.m.** More information about viewing and/or participating via ZOOM is included in this Notice and can be found on our website at [www.muskokalakes.ca](http://www.muskokalakes.ca). Members of the public may also observe the proceedings by accessing the live webcast at [www.muskokalakes.ca](http://www.muskokalakes.ca). If the live webcast fails, the meeting recording will be posted at <https://muskokalakes.civicweb.net/Portal/>.

**ADDITIONAL INFORMATION** relating to the proposed Zoning By-law Application is available from the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

**Please quote the file number noted above.**

**ANY PERSON** may make verbal representation by participating either in person or via the ZOOM meeting and/or may make written representation prior to the meeting. This representation can be in support of or in opposition to the proposed zoning by-law amendment. Comments can be submitted by emailing [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

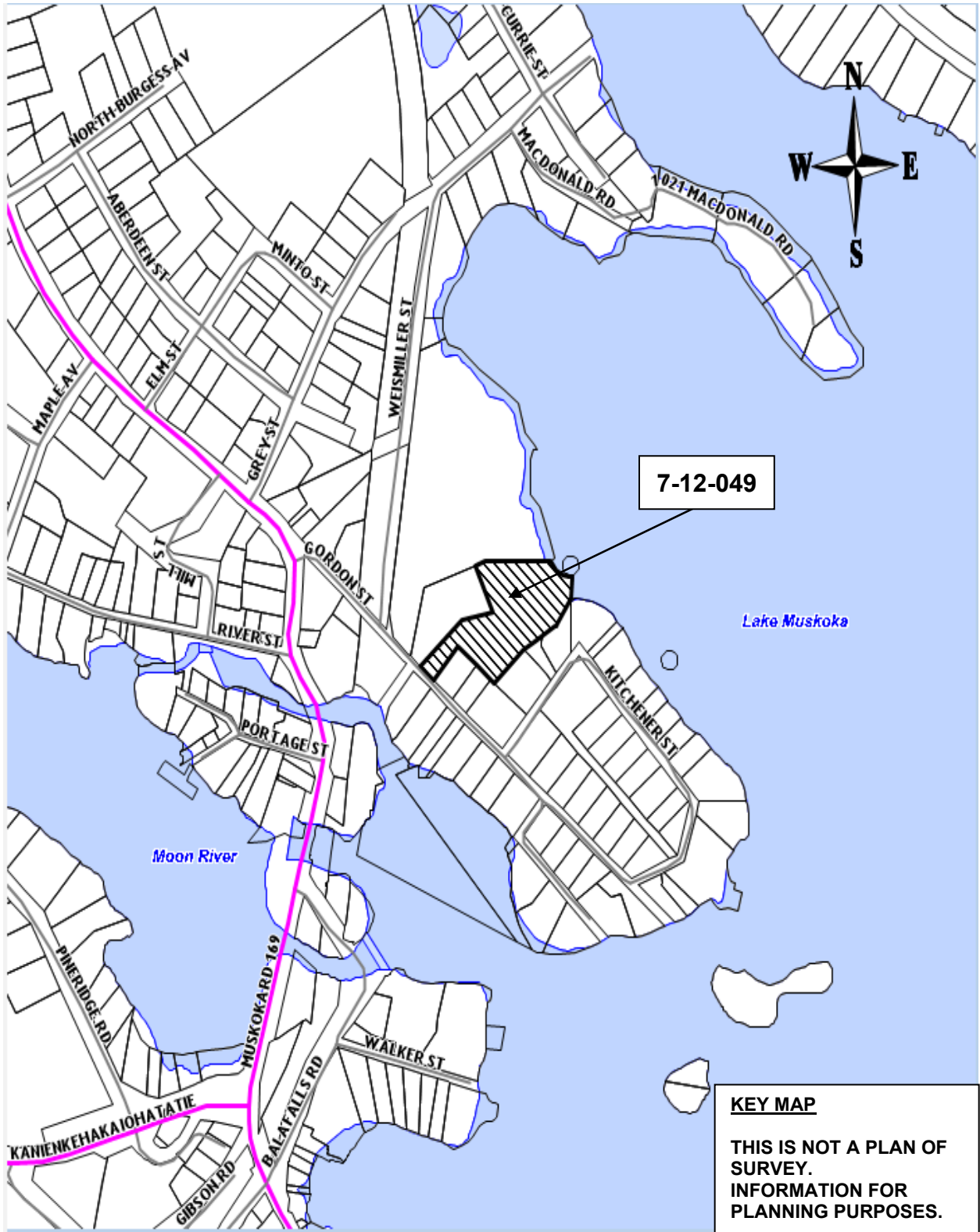
**IF A PERSON OR PUBLIC BODY** would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

**NOTICE OF PASSING:** If you wish to be notified of the decision of Council on the proposed zoning by-law amendment, you must make a written request to the Township of Muskoka Lakes.

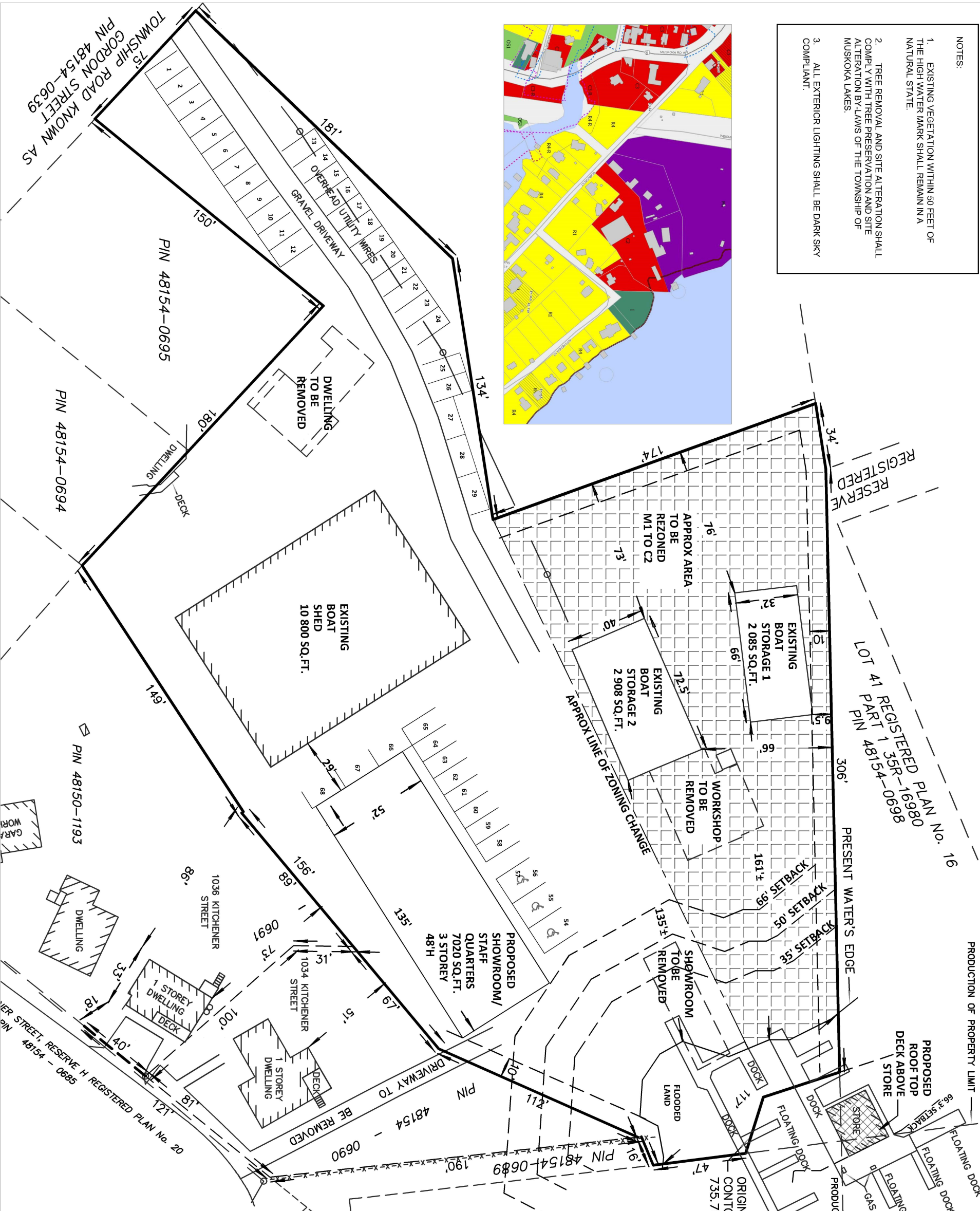
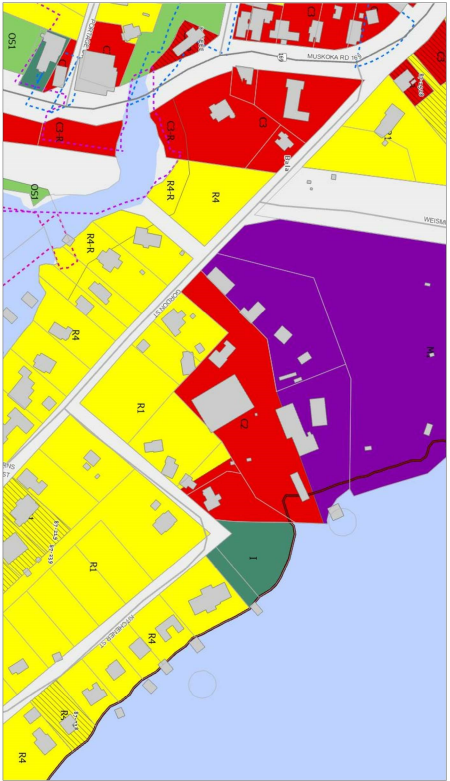
**DATED** at the Corporation of the Township of Muskoka Lakes this 24th day of November, 2023.

Crystal Paroschy, Clerk  
Corporation of the Township of Muskoka Lakes

**KEY MAP**



- NOTES:
- EXISTING VEGETATION WITHIN 50 FEET OF THE HIGH WATER MARK SHALL REMAIN IN A NATURAL STATE.
  - TREE REMOVAL AND SITE ALTERATION SHALL COMPLY WITH TREE PRESERVATION AND SITE ALTERATION BY-LAWS OF THE TOWNSHIP OF MUSKOKA LAKES.
  - ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT.



**1021 GORDON STREET  
PROPOSED SITE PLAN**

SCALE: 1"=50'-0"

**NOT TO SCALE**

**LOT 15 CON A MEDORA  
C2 & M1**

AREA CALCULATIONS	
<b>EXISTING:</b>	<b>PROPOSED:</b>
DWELLING	10,800 ft <sup>2</sup>
BOAT SHED	2,088 ft <sup>2</sup>
BOAT STORAGE 1	2,898 ft <sup>2</sup>
BOAT STORAGE 2	7,020 ft <sup>2</sup>
WORK SHOP	585 ft <sup>2</sup>
SHOWROOM	<b>TOTAL</b>
SHED	23,391 ft <sup>2</sup>
STORE	
<b>TOTAL</b>	
<b>TOTAL PROPOSED COVERAGE:</b>	<b>23,391 ft<sup>2</sup> (24.6%)</b>
<b>MAX PERMITTED COVERAGE:</b>	<b>33,165 ft<sup>2</sup> (35%)</b>
<b>TOTAL LOT AREA:</b>	<b>94,758 ft<sup>2</sup></b>
total landscaped AREA:	18,850 ft <sup>2</sup> (19.9%)
<b>TOTAL RETAIL AREA:</b>	<b>7,605 ft<sup>2</sup></b>
RESIDENTIAL (STAFF):	2-3 bed 8-1 bed
<b>FRONTAGE:</b>	<b>117 ft</b>

I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 21.17.4 OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

INDIVIDUAL BCN: 22334  
 FIRM BCN: 27439  
 TERRY LEDGER



**GENERAL NOTES**

- DO NOT SCALE DRAWINGS.
- SHOULD THERE APPEAR TO BE ANY DISCREPANCIES, PLEASE CONTACT DESIGNERS PRIOR TO PROCEEDING.
- ALL MATERIALS AND INSTALLATION METHODS SHALL ADHERE TO THE ONTARIO BUILDING CODE.
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**SHEET NOTES**

**CONSULTANTS**

MARK	DATE	DESCRIPTION
1	08AUG22	PRELIMINARY
2	28AUG22	85% DESIGN

PRELIMINARY DRAWINGS

**BALA COVE MARINA**

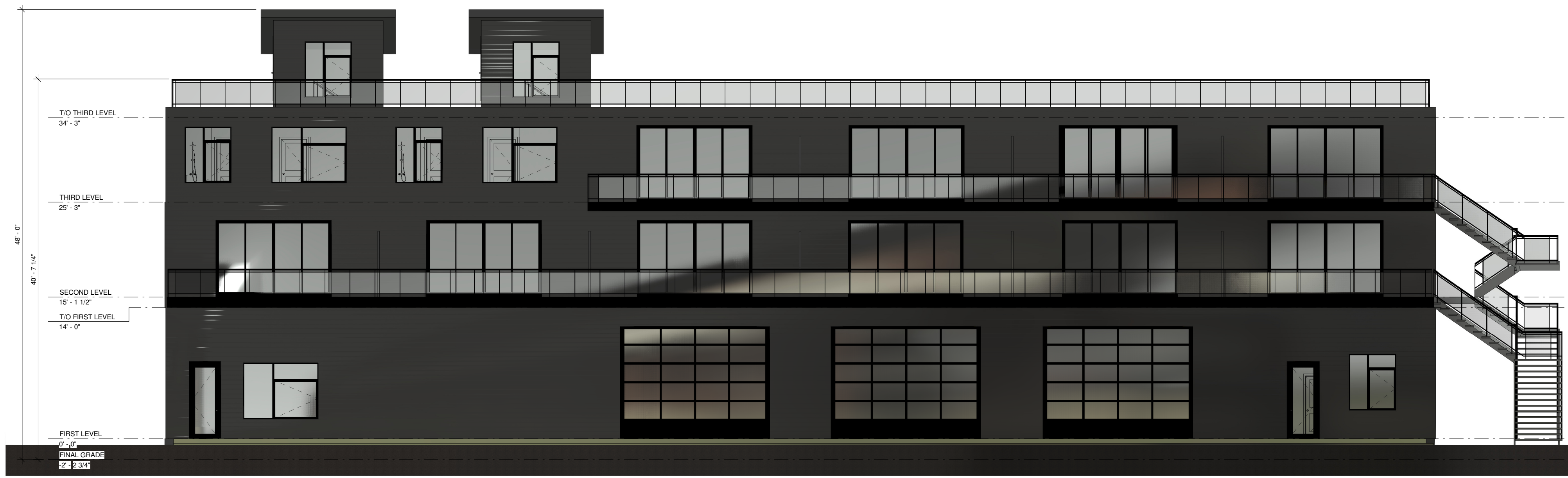
1021 GORDON ST.  
 TOWNSHIP OF MUSKOKA LAKES

SCALE:	1/8" = 1'-0"
PROJECT NO.:	TL-20-2558
DWG FILE:	BALA COVE - MARINA
DRAWN BY:	TL
CHECKED BY:	TERRY LEDGER

SHEET TITLE

**EXTERIOR ELEVATIONS**

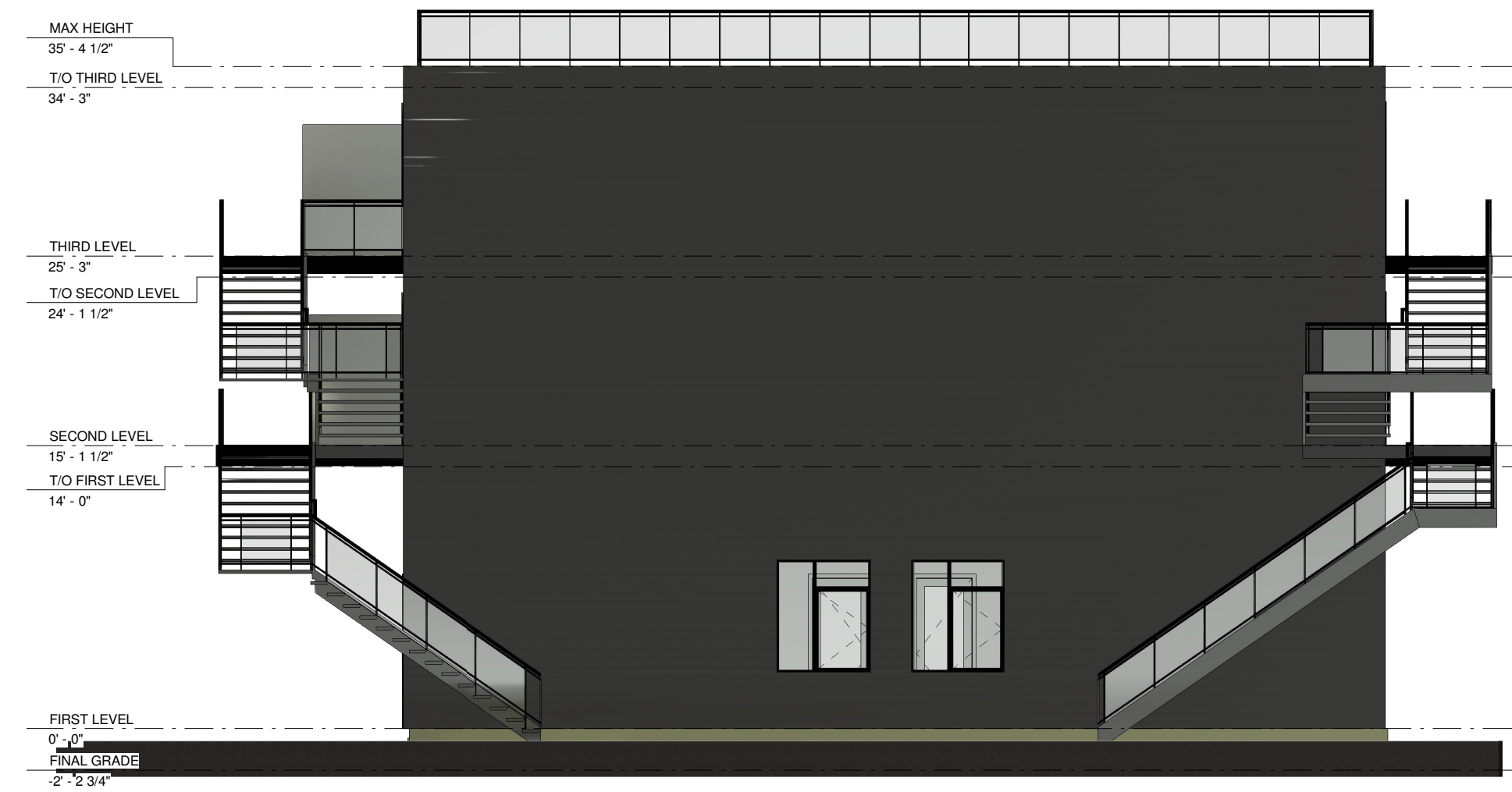
**A201**



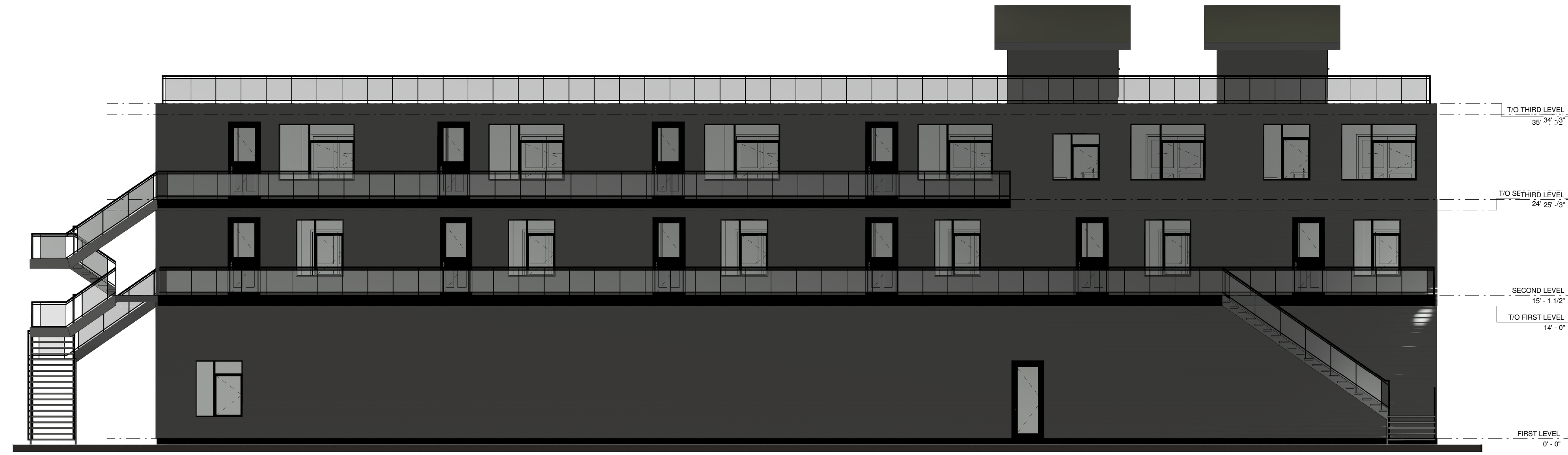
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 1/8" = 1'-0"



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**THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES**

**BY-LAW 2023-128**

Being a By-law to amend Comprehensive Zoning By-law 2014-14, as amended, in the Township of Muskoka Lakes

**WHEREAS** the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

**AND WHEREAS** By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

**AND WHEREAS** the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES ENACTS AS FOLLOWS:**

1. Schedule 58 of Zoning By-law 2014-14, as amended, is further amended by rezoning part of the land described as Part of Lot 15, Concession A, (in the former Village of Bala), now in the Township of Muskoka Lakes, more particularly described as Parts 1 to 4, Plan 35R-12683, and Parts 1, 3, and 5, Plan 35R-26858, as shown hatched on Schedule I to By-law 2023-128, from Community Industrial – Light Industry (M1) to Community Commercial - Marina (C2), as shown hatched and labelled on Schedule II to By-law 2023-128.
2. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:
  - 87-3005 i) The land affected by this amendment is described as Part of Lot 15, Concession A, (in the former Village of Bala), now in the Township of Muskoka Lakes, more particularly described as Parts 1 to 4, Plan 35R-12683, and Parts 1, 3, and 5, Plan 35R-26858, as shown hatched on Schedule I to By-law 2023-128.
  - ii) Despite the provisions of Section 5.2.7 b. i. of By-law 2014-14, as amended, for those lands described above, the maximum permitted length for a rooftop sundeck on a store shall be 66.5 feet, as shown in the location and extent on Schedule II to By-law 2023-128.
  - iii) Despite the provisions of Section 5.2.7 b. iv. of By-law 2014-14, as amended, for those lands described above, the minimum permitted side yard setback for a rooftop sundeck on a store shall be 0 feet from the northerly and southerly interior side lot line projections, as shown in the location and extent on Schedule II to By-law 2023-128.
  - iv) Despite the provisions of Section 5.2.3 of By-law 2014-14, as amended, for those lands described above, the maximum permitted height for an accessory building contains a retail store (showroom) and staff quarters shall be 48 feet, as shown in the location and extent of Schedules II and III to By-law 2023-128.
3. Schedules I, II and III attached hereto are hereby made part of this By-law.
4. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2023-128 and By-law 2014-14, as amended, the provisions of By-law 2023-128 shall apply.

Read a **first, second** and **third time** and **finally passed** this \_\_\_ day of \_\_\_\_\_, 2023.

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Peter Kelley, Mayor

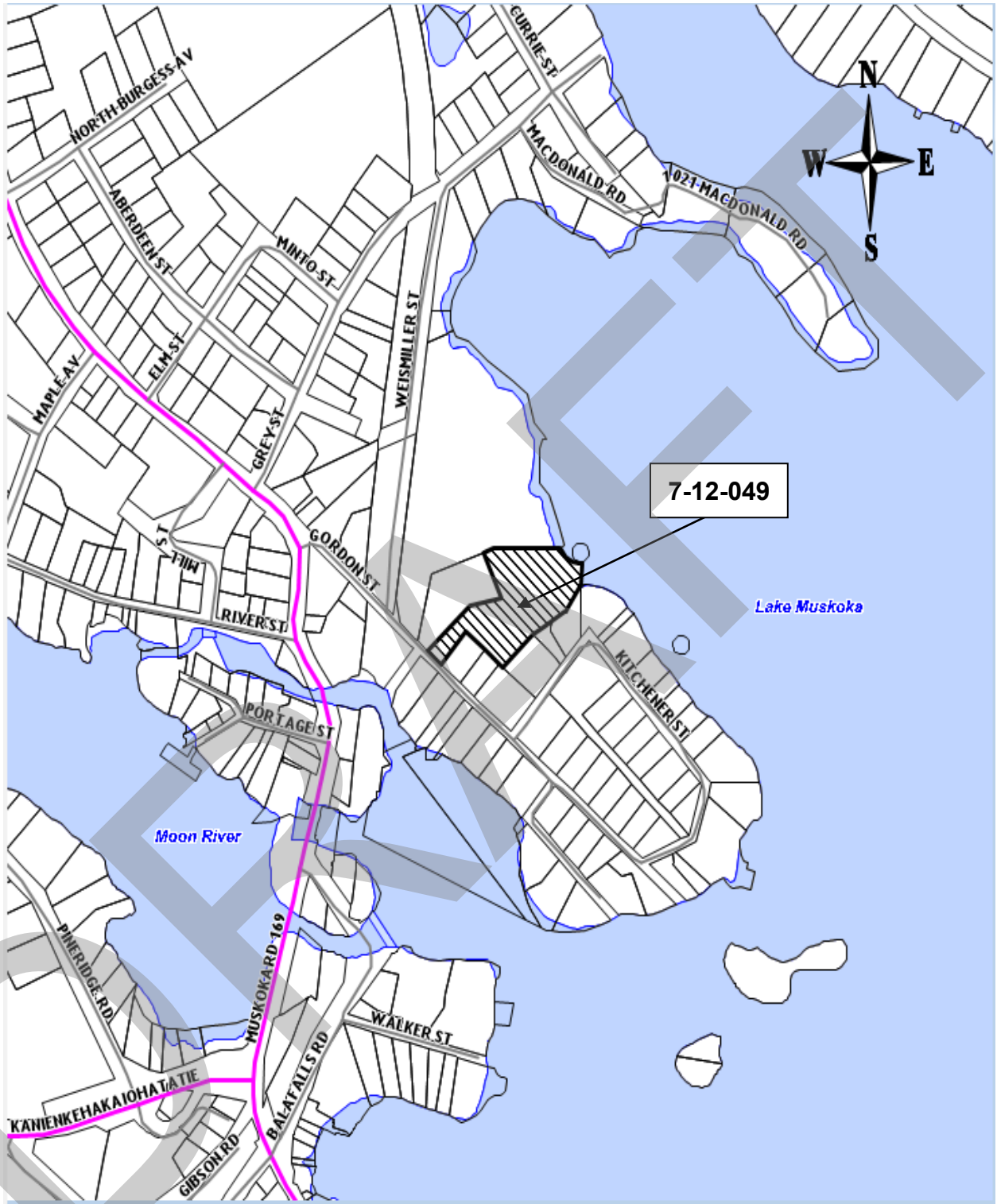
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Crystal Paroschy, Clerk

DRAFT

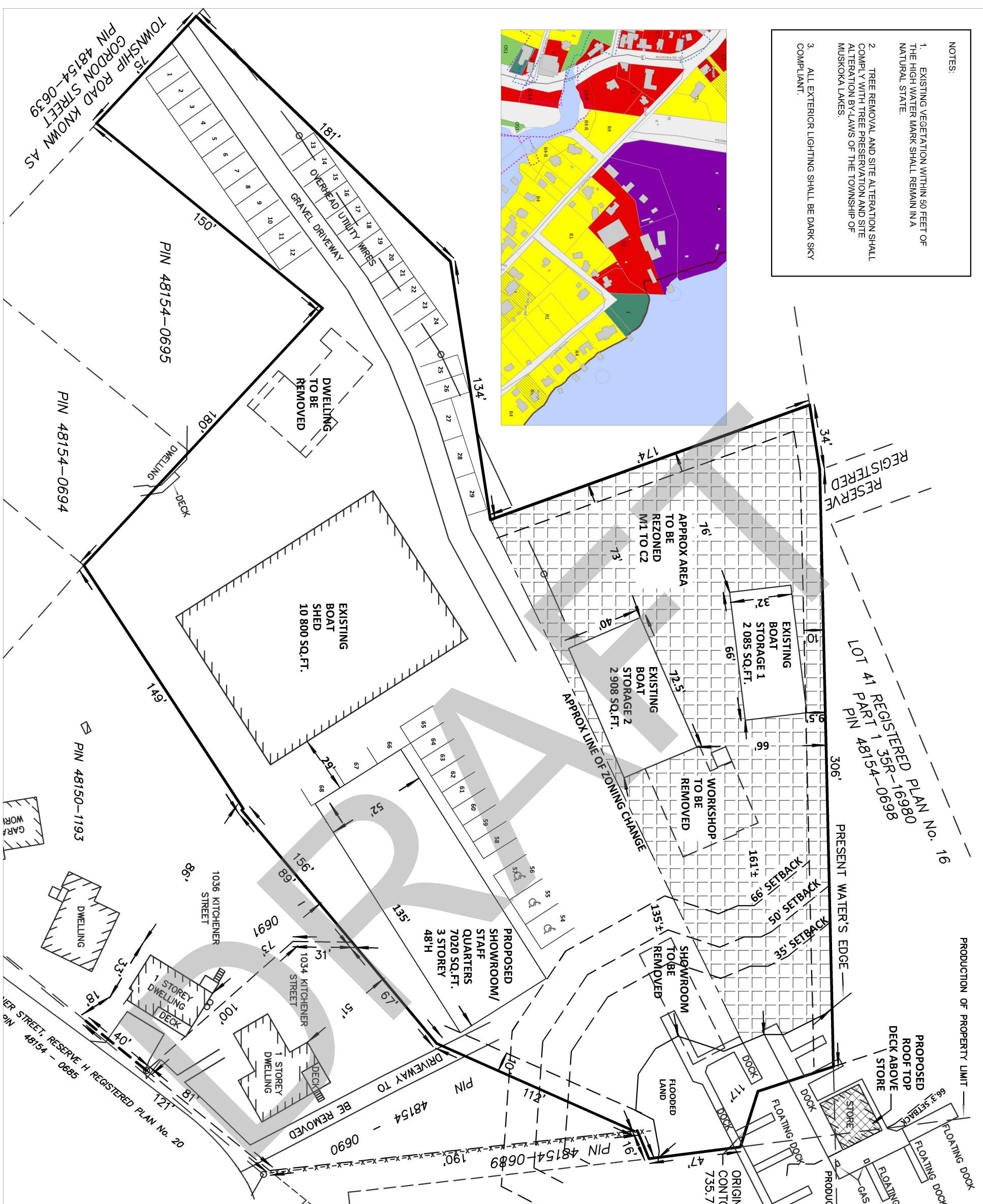
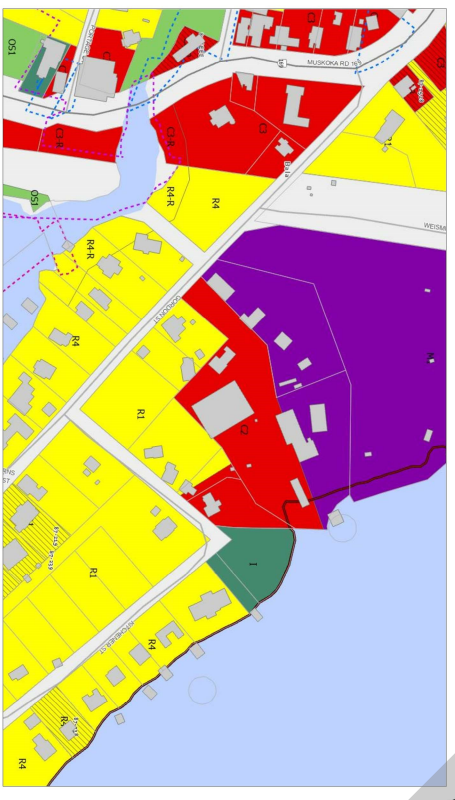


**SCHEDULE I TO BY-LAW 2023-128**



# SCHEDULE II TO BY-LAW 2023-128

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# SCHEDULE III TO BY-LAW 2023-128

**tsquared** design studio inc  
 P 705.765.5428 F 705.765.1334  
 187 Madara Street  
 Port Carling ON, POB 110  
 BCN # 27439

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INDIVIDUAL BCN: 22334  
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TERRY LEDGER



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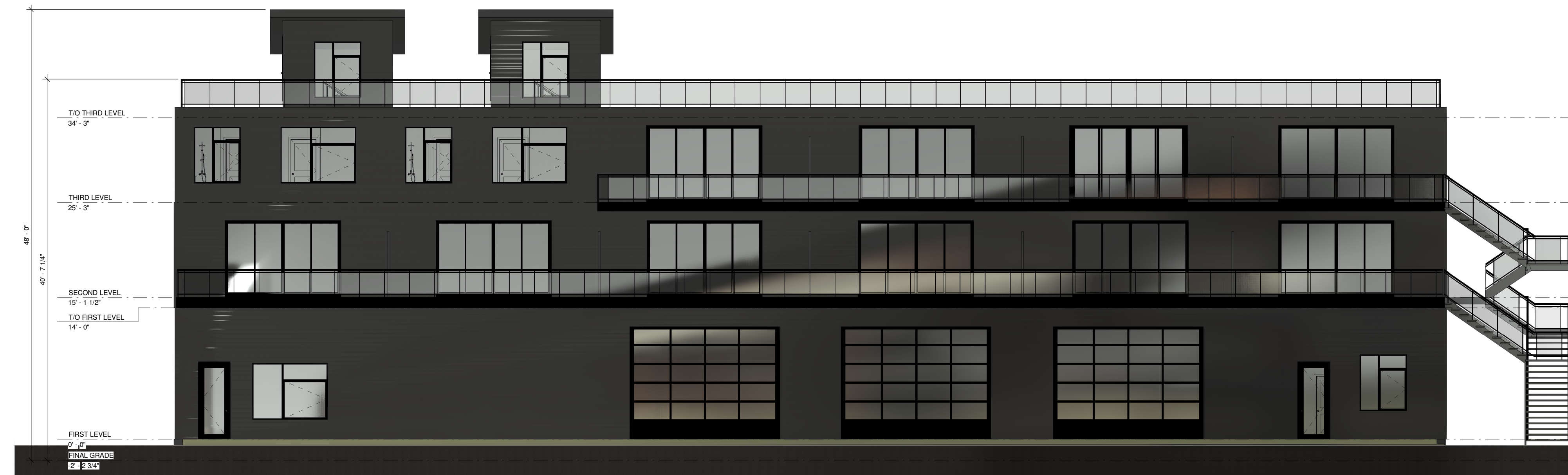
1021 GORDON ST.  
 TOWNSHIP OF MUSKOKA LAKES

SCALE: 1/8" = 1'-0"  
 PROJECT NO: TL-20-2558  
 DWG FILE: BALA COVE - MARINA  
 DRAWN BY: TL  
 CHECKED BY: TERRY LEDGER

SHEET TITLE

## EXTERIOR ELEVATIONS

A201



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