



Box 129, Port Carling, ON, POB 1J0
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, December 11th, 2023 at 9:00 a.m.

File #: A-14/23

Roll #: 4-10-035

Civic Address: 1191 Elgin House Road

Owner: Bruce Laing, 1191 Elgin House Road, Port Carling, ON, P0B 1J0

Legal Description: Part of Lot 20, Concession 5, Parts 1 to 3, Plan 35R-19157, (Medora)

Lake/River: Lake Joseph (Category 1 Lake)

Zoning: Waterfront Residential (WR4)

Zoning Schedule: 28

EXPLANATION OF THE PURPOSE AND EFFECT: The applicant proposes to demolish an existing dwelling, two sleeping cabins, a shed, single storey boathouse and an attached dock, and proposes to construct a new dwelling with an attached sundeck, single storey boathouse and an attached dock.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.3 and 4.1.3.6	Maximum Lot Coverage (Entire Lot)	10% (4,245 sq. ft.)	10.9% (4,613 sq. ft.)	0.9% (368 sq. ft.)

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wish to attend in person. The meeting will be held in the Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m. More information about viewing and/or participating in the ZOOM hearing is included in this Notice and can be found on our website at www.muskokalakes.ca.

ADDITIONAL INFORMATION relating to the proposed variance application is available from the Planning Department week days between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

Please quote the file number noted above.

YOU OR YOUR REPRESENTATIVE are entitled to participate in this public hearing and make verbal representation and/or make written representation prior to the meeting. Comments can be submitted by emailing planning@muskokalakes.ca or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

IF YOU WISH TO SPEAK to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

NO ONE OTHER THAN the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

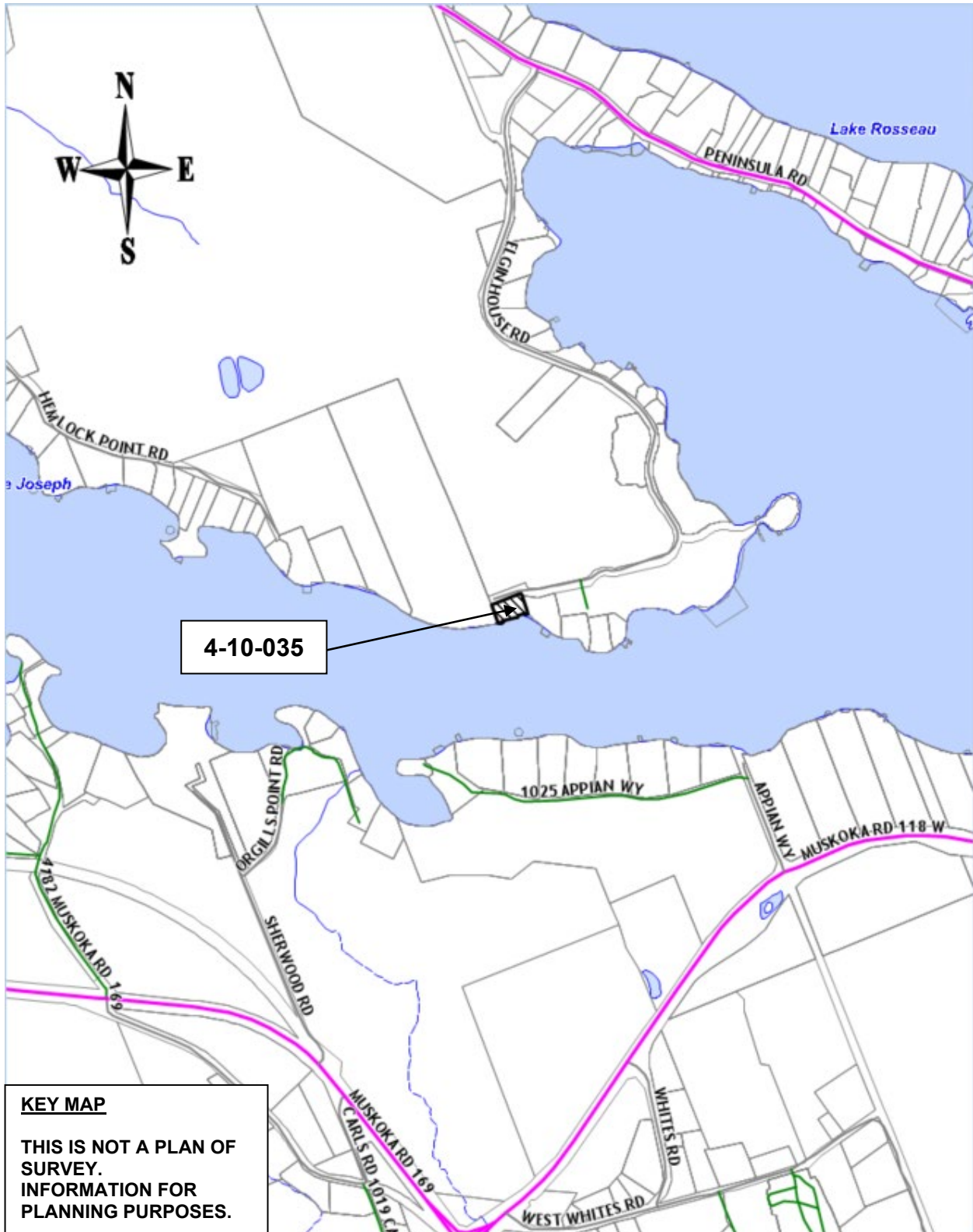
THE HEARING will be live-streamed on the Township's live webcast at: www.muskokalakes.ca If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

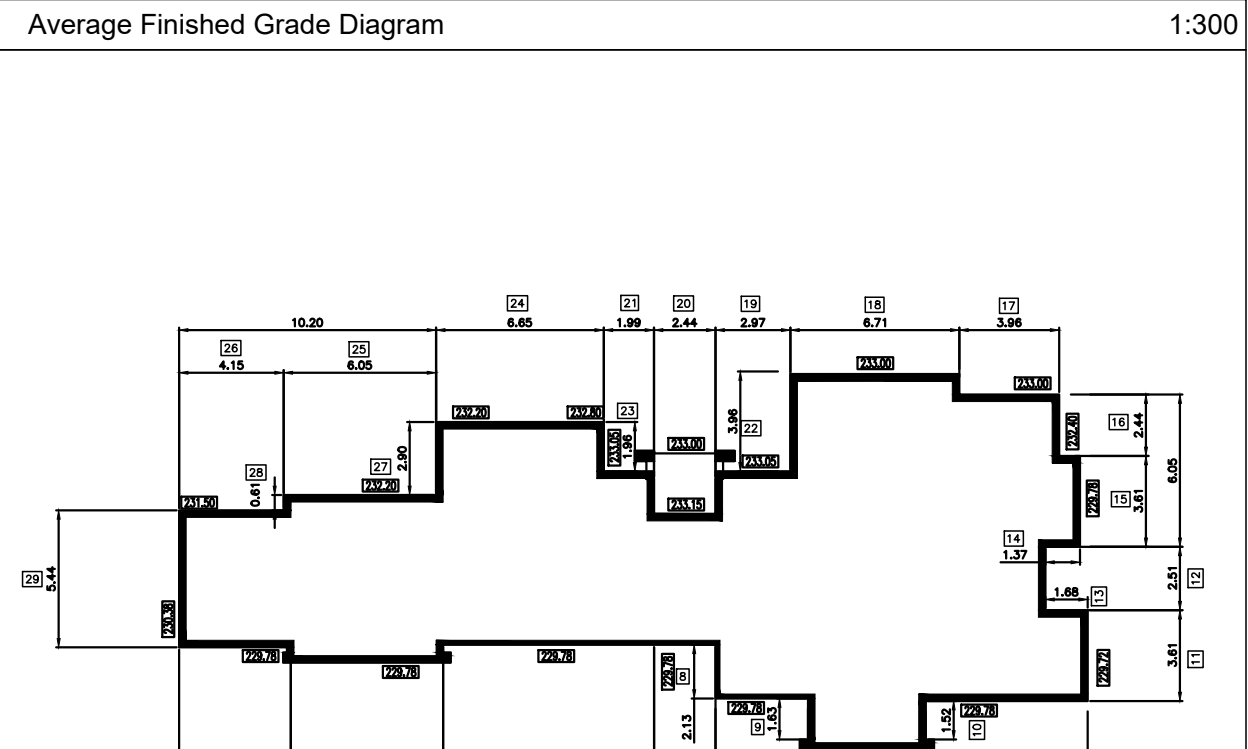
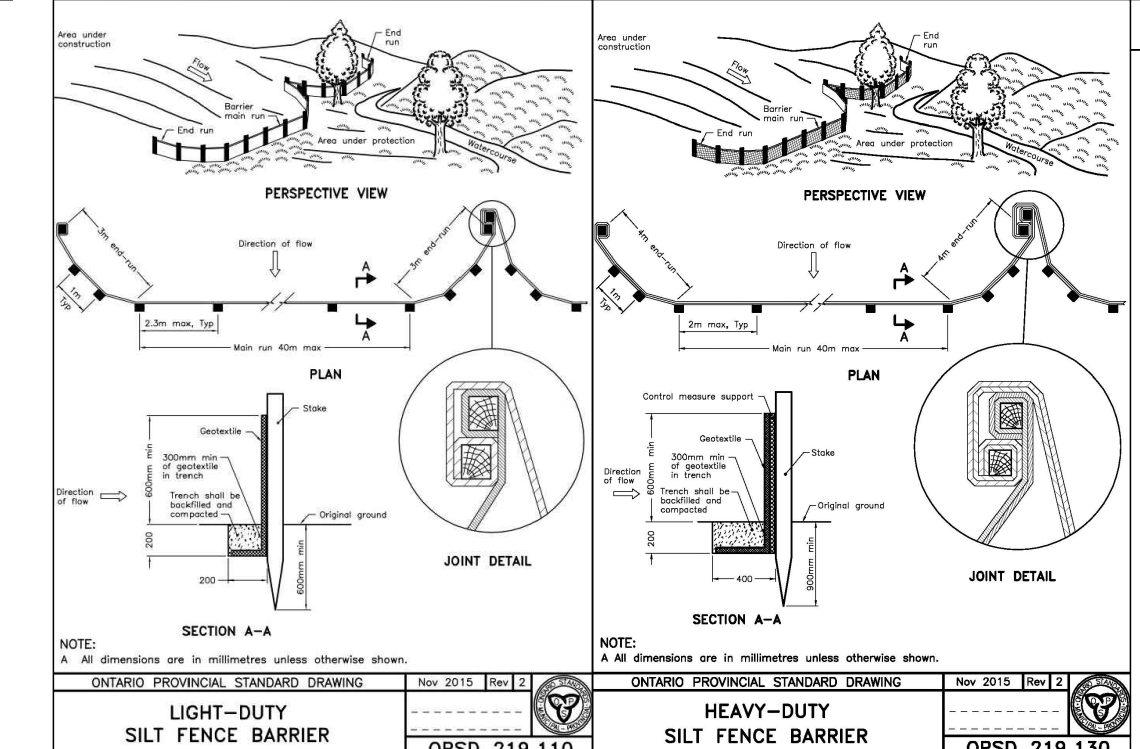
PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 29th day of November, 2023.

"Original Signed by C. Ward"
Chelsea Ward,
Secretary-Treasurer
Committee of Adjustment

KEY MAP

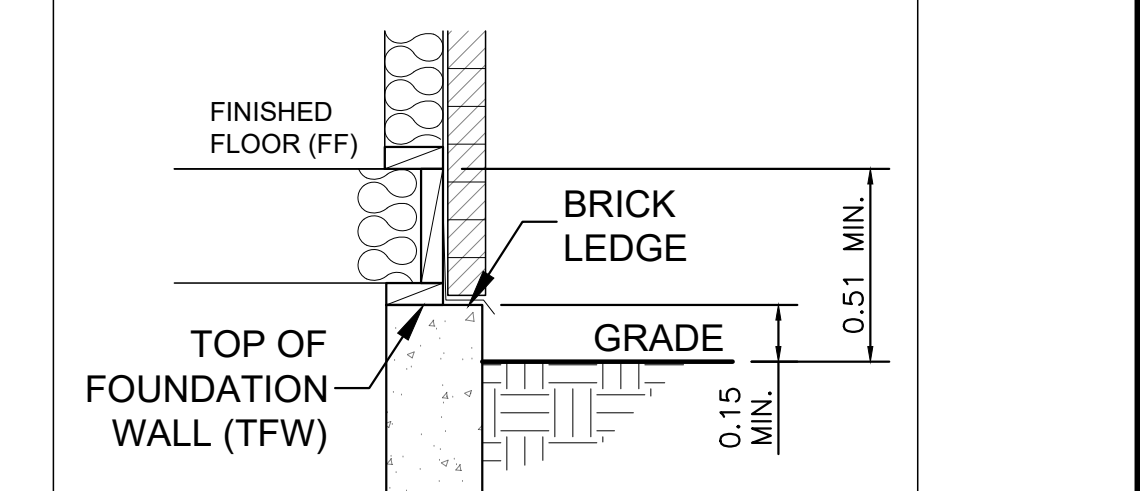




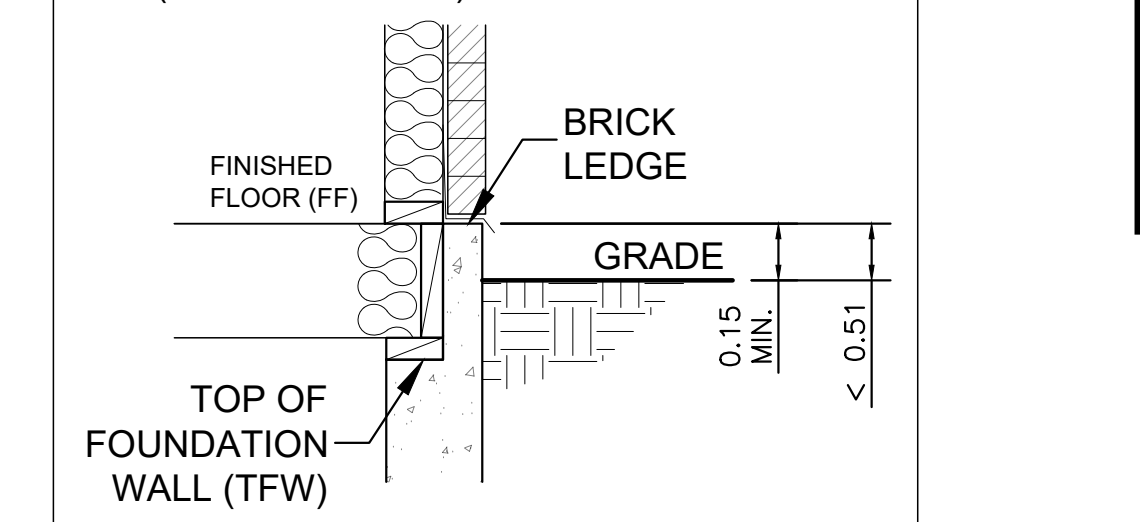
House Footprint	325.26 sqm
Front Porch	6.89 sqm
Proposed Bathhouse	96.39 sqm
Total Coverage	428.54 sqm
	10.86%

Wall No.	Wall Average Grade	Wall Length (m)	Product
1	229.78	4.43	1017.93
2	229.78	6.05	1390.17
3	229.78	8.37	1933.26
4	229.78	2.44	560.66
5	229.78	3.67	843.29
6	229.78	4.67	1073.07
7	229.78	6.43	1477.49
8	229.78	2.13	489.43
9	229.78	1.63	374.54
10	229.78	1.52	349.27
11	229.00	3.61	826.69
12	229.78	2.51	576.75
13	229.00	1.68	384.72
14	229.00	1.37	313.73
15	229.03	3.61	826.80
16	232.40	2.44	567.06
17	233.00	3.96	922.68
18	233.00	6.71	1563.43
19	233.05	2.97	692.16
20	233.00	2.44	566.52
21	233.05	1.99	463.77
22	233.05	3.96	922.88
23	233.05	1.96	456.78
24	232.50	6.65	1546.13
25	232.20	6.05	1404.81
26	231.50	4.15	960.73
27	232.20	2.90	673.38
28	231.50	0.61	141.22
29	230.38	5.44	1253.27
TOTAL	6697.49	106.35	24564.58
AVERAGE FINISHED GRADE =		TOTAL PRODUCT divided by TOTAL WALL LENGTH =	230.98

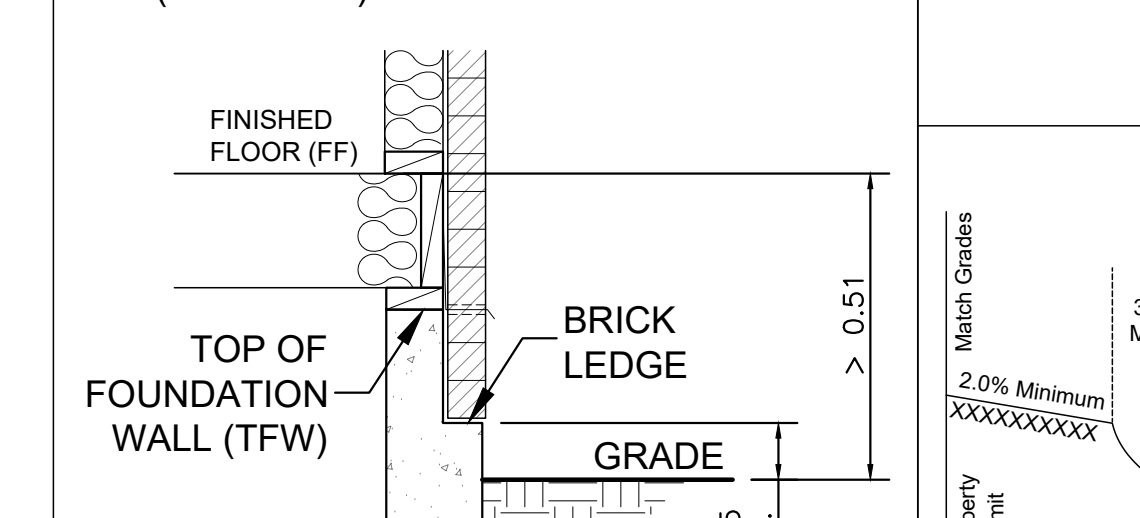
Top of Foundation Wall Conditions 1:20



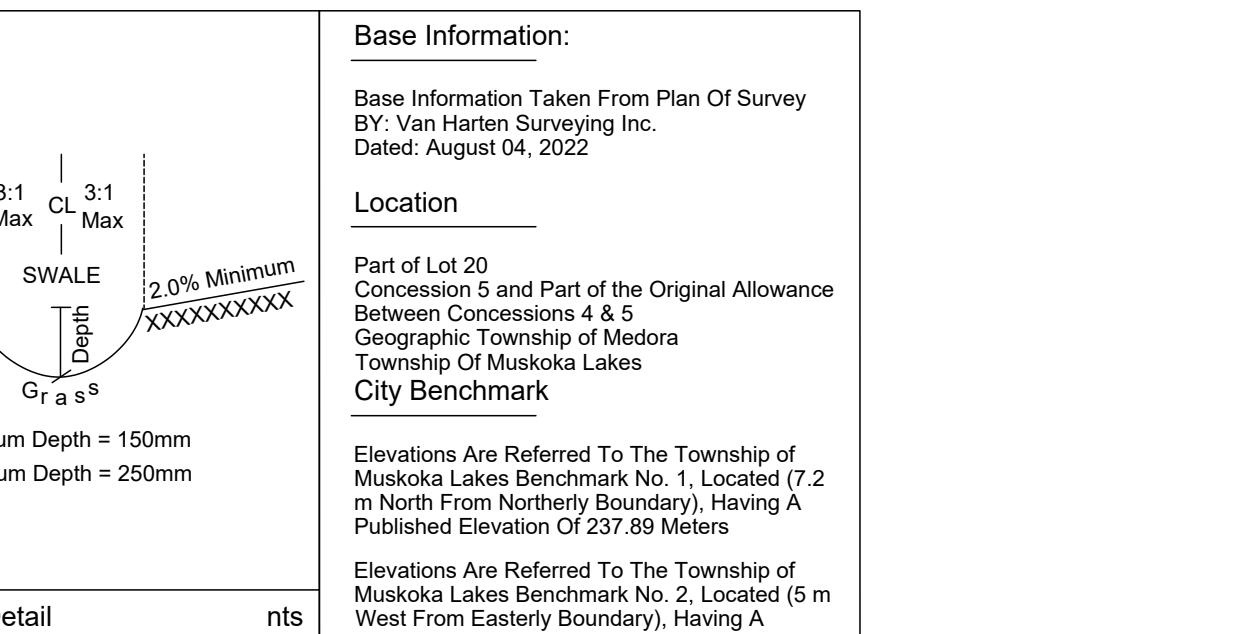
TFW - Typ. Condition (FLAT TOP WALL)



TFW - Reverse Veneer (UP-STAND)



TFW - Reduced Thickness (DROPPED VENEER)



Typical Swale Detail

Legend

- 3R Main Level Entrance/Exit
- Lower Level Entrance/Exit
- Property Line
- Existing To Be Removed
- Existing Spot Elevation
- Proposed Spot Elevation
- Rainwater Downspouts
- A/C
- Sqld Hoarding
- Framed Hoarding
- ESC Or Sit Fence Hoarding
- AD Air Drain
- 0.3000 Denotes Coniferous Tree (with trunk diameter) To Remain
- 0.3000 Denotes Deciduous Tree (with trunk diameter) To Remain
- 0.3000 Denotes Tree (with trunk diameter) To Be Removed
- RH Denotes Replacement Tree (with trunk diameter) To Be Removed
- 1.8m Height For Coniferous (SPECIES) Refer To Type of Replacement Tree As Per Arborist Report
- (RH) Refer To Replacement Tree Number Corresponding w Arborist Report
- # Denotes Tree Number Corresponding w Arborist Report

ESC Notes:

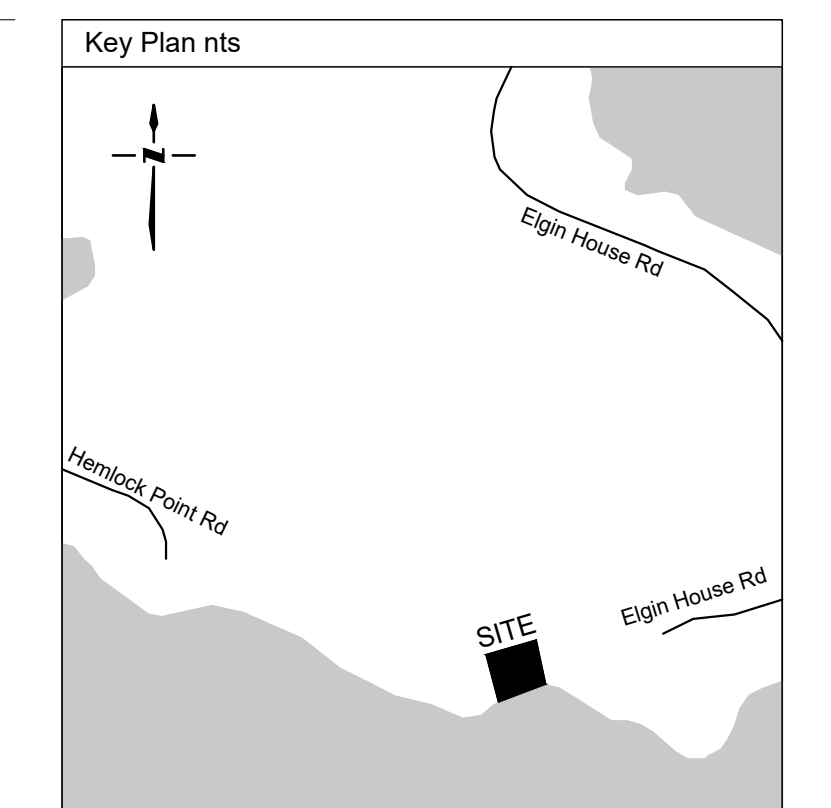
- The Contractor is Ultimately Responsible For Controlling Sediment & Erosion Within The Construction Site For The Total Period Of The Construction. The Site Retention Thickened Foundation Wall Detail & Reverse Veneer Detail For Foundation Wall Layge Condition On Outside Face Of Foundation Walls.
- Letter Of Each Type To Be Determined By Contractor On Site During Construction
- **U/F (Under Side of Footing)
- U/F Denotes Minimum Depth Of Under Side of Footing
- Under Side of Footing May Differ Depending On Basement Conditions. See Floor Plans And Elevation For Specific Under Side of Footing Conditions
- Footings To Be Min. 1.2m Below Grade

General Notes:

- Do Not Scale Drawings
- These Plans Are To Remain The Property Of The Designer And Must Be Returned Upon Request. These Plans Must Not Be Used In Any Other Location Without The Written Approval Of The Designer.
- All Works To Be In Accordance With The Ontario Building Code And All Code References Refer To O.B.C. 2012 Division 'B'

APPROX. SEPTIC SYSTEM LOCATION, ACTUAL SIZE & CONFIGURATION TO BE CONFIRMED BY SOIL TESTING & DETAILED SEPTIC DESIGN

SWALES WITH "TERRACING" TO BE DIG BY HAND (NO HEAVY MACHINERY)



Site Data

Lot Area	3944.36 sqm (0.394436 ha)
Zoning	WR4
Average Finished Grade	230.98
Floor Area	
Ground Floor	255.91 sqm
Basement	2754.74 sqm
(Includes 81.3 of Stairs)	
(Includes 81.4 of Stairs & 144.2 of Mechanical)	
Total Area	589.42 sqm
Finished Basement	275.84 sqm
Garage (Exterior Face Of Walls)	69.41 sqm
Garage (Interior Face Of Walls)	62.97 sqm
Lot Coverage	8.25%
Proposed Footprint	325.26 sqm
Proposed Covered Porch	0.17%
Proposed Bathhouse	2.44%
Total Proposed Coverage	10.86%
Max Allowed Coverage	10.00%
Max Cumulative Width	
Lot Frontage	79.41 m
Required Bathhouse Width	16.00%
Proposed Bathhouse Width	15.25%
Required Dock Width	25.00%
Proposed Dock Width	15.26%
Max Bathhouse Bathroom Size	100.00 sqf
Required Bathhouse Bathroom Size	39.40 sqf

The Undersigned Has Reviewed And Takes Responsibility For This Design. And Has The Qualifications And Meets The Requirements Set Out In The Ontario Building Code To Be A Designer. Qualification Information Pertaining To The Designer: Exempt Under Division C.3.2.5.1. OF THE 2012 ONTARIO BUILDING CODE.

Registration Information

Name	Peter Giordano	25061
Firm Name	SMALL DESIGNS INC.	19995

Revision Log

no.	date	revision / comment
10	Nov 24 2023	COA Comments
9	Nov 17 2023	Proposed Bathhouse Address
8	June 19 2023	Revised As Per Zoning Comments
7	June 14 2023	Revised As Per Zoning Comments
6	June 1 2023	Issued To Owner For Permit Application
5	June 1 2023	6' Setback Revised As Per City Comments
4	May 26 2023	Revised As Per City Comments
3	May 25 2023	Revised As Per City Comments
2	May 23 2023	Revised As Per City Comments
1	Nov 4 2022	Issued To Owner For Zoning Approval

Project: The Laing Cottage
1191 Elgin House Rd
Part Of Lot 20, Concession 5 and Part of Original Road Allowance Between Concessions 4 & 5
Township Of Muskoka Lakes
District Municipality Of Muskoka

Site Plan

Scale: 1:150

Date: NOV, 2022

Drawn by: SE

Proj. no.: 21-1964

SP

