



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, February 12, 2024 at 9:00 a.m.

File #.: A-05/24

Roll #: 8-2-039

Civic Address: 1080 Woodwinds Road

Owner: Michelle Joliat, 214 Bedford Park Avenue, Toronto, ON, M5M 1J3

Legal Description: Lot 17, Concession 1, Lot 3, Plan 17, (Wood)

Lake/River: Lake Muskoka (Category 1 Lake)

Zoning: Waterfront Residential (WR6)

Zoning Schedule: 43

EXPLANATION OF THE PURPOSE AND EFFECT: The applicant proposes to construct a new sundeck, landing, and stairs attached to an existing dwelling.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.4 iv.	Minimum Front Yard Setback (Sundeck)	50 ft.	25 ft.	25 ft.

A key map of the subject property and the applicant’s site plan and any drawings are included in this notice.

TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.**

ZOOM Guide
More information about viewing and/or participating in the zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

Members of the public may also observe the proceedings by accessing the live webcast at www.muskokalakes.ca. If the live webcast fails, the meeting recording will be posted at <https://muskokalakes.civicweb.net/Portal/>.

ADDITIONAL INFORMATION relating to the proposed variance application is available from the Planning Department week days between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

Please quote the file number noted above.

YOU OR YOUR REPRESENTATIVE are entitled to participate in this public hearing and make verbal representation and/or make written representation prior to the meeting. Comments can be submitted by emailing planning@muskokalakes.ca or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

IF YOU WISH TO SPEAK to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

NO ONE OTHER THAN the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

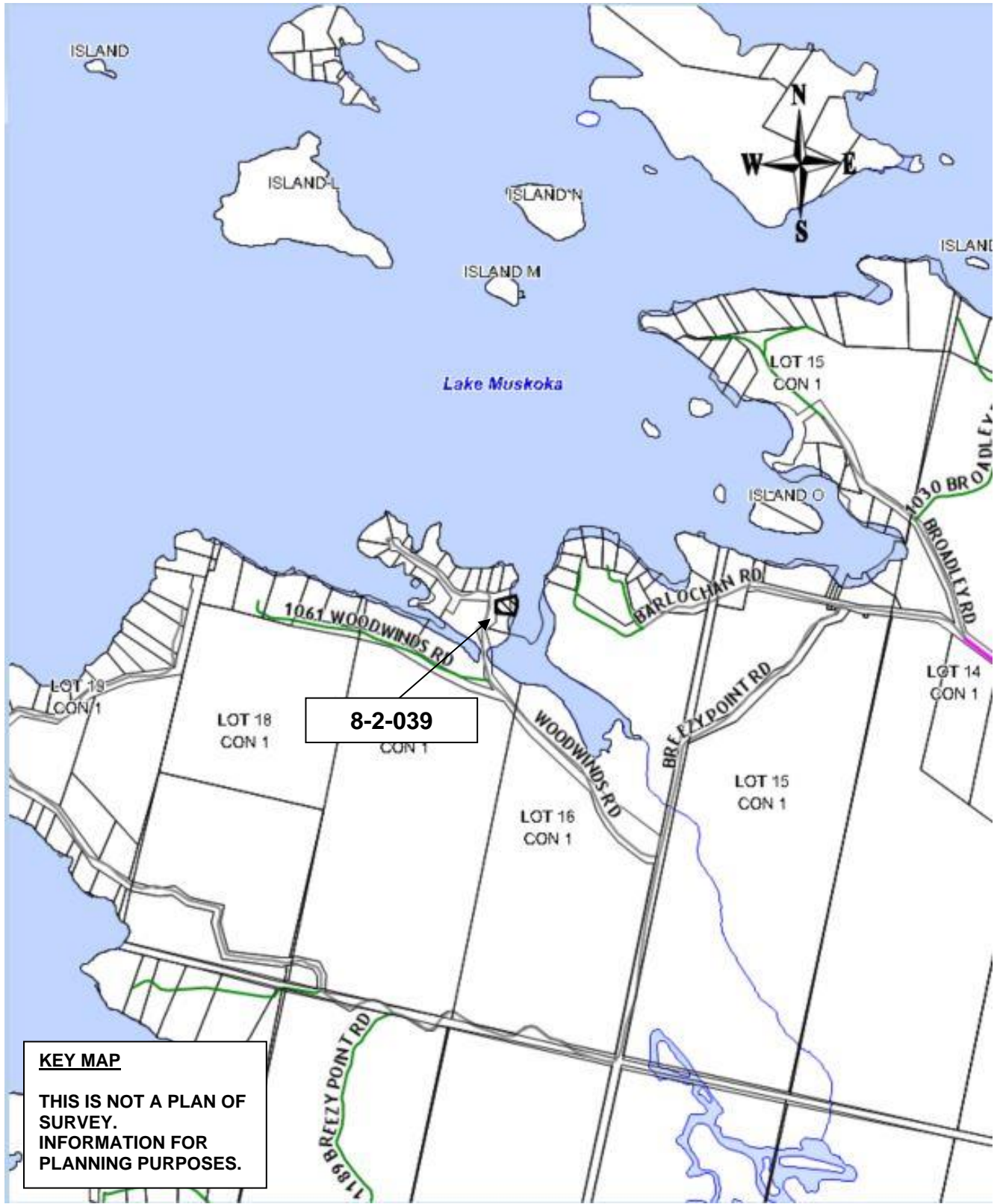
THE HEARING will be live-streamed on the Township's live webcast at: www.muskokalakes.ca If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 1st day of February, 2024.

"Original Signed by C. Ward"
Chelsea Ward,
Secretary-Treasurer
Committee of Adjustment

KEY MAP



Lot Coverage

Existing Dwelling	120.24m ²
Existing Screenroom	10.88m ²
Existing Covered Porch	4.96m ²
Existing Shed	9.27m ²
Total	145.35m²

Lot Coverage	Full Lot (1942.5m ²)	Required	Existing	Acceptable
	First 60m (1942.5m ²)	10%	7.5%	Yes

Straight Line Frontage - 48.5m



Design By Bobbi

CONTACT INFORMATION:

Name: Bobbi Leppington
 Phone: 705-321-8916
 Email: designbybobbi@gmail.com

Location: 379 Regent St
 Orillia, Ontario
 L3V 1V4

GENERAL NOTE:

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO THE DESIGNER.

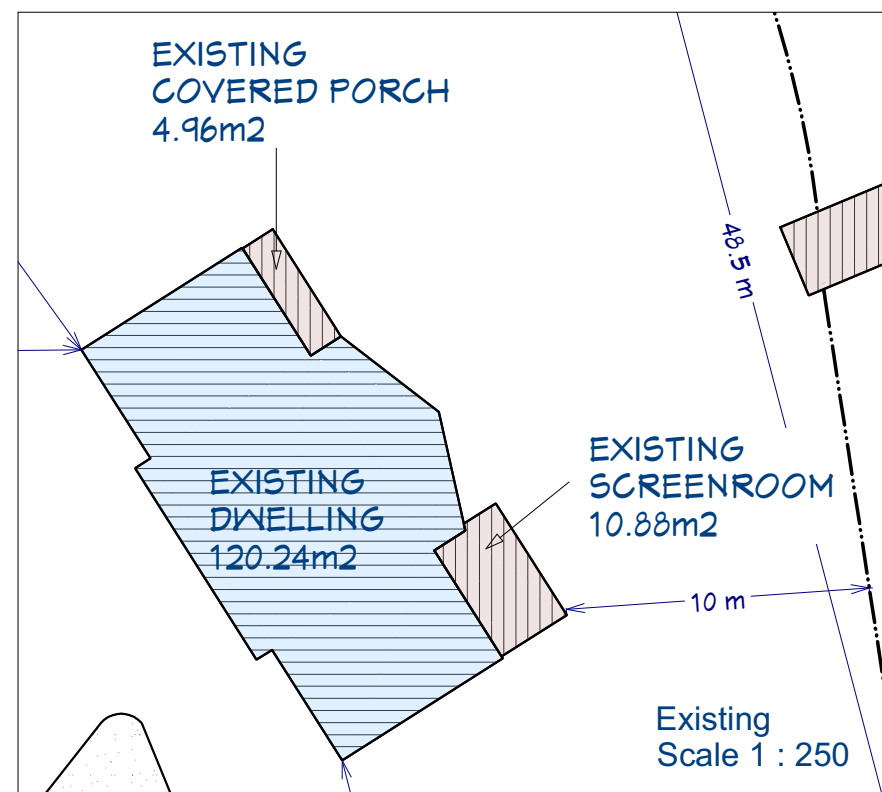
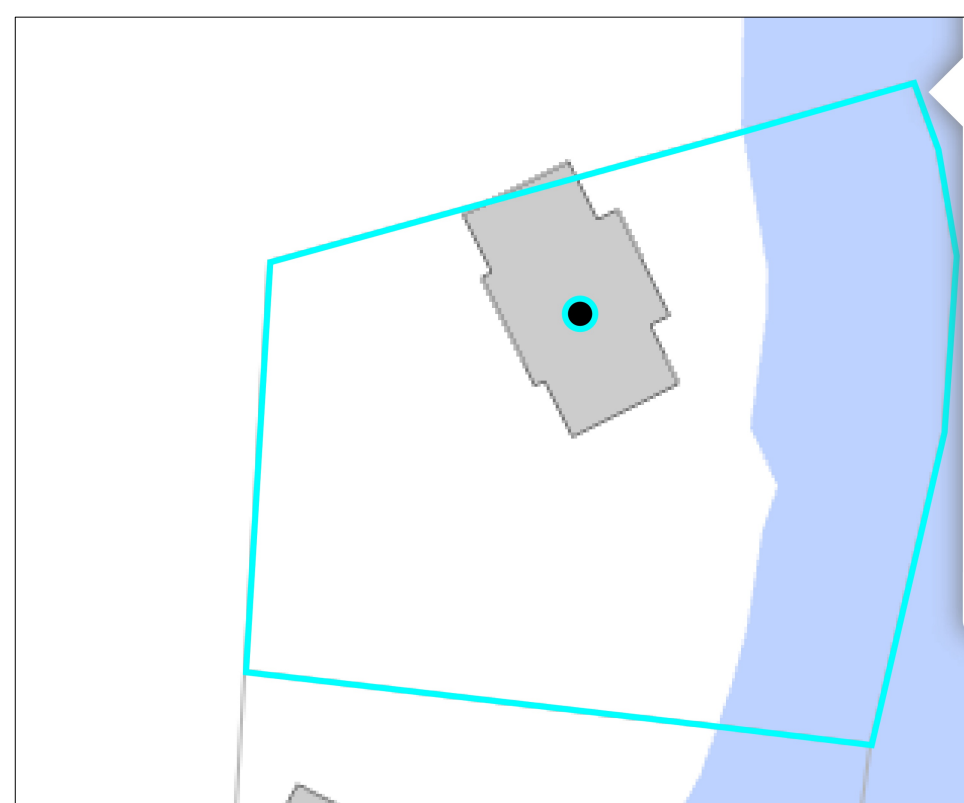
PROJECT INFORMATION:

Scott Robinson
 1080 Woodwinds Road
 Muskoka Lakes On.

MUSKOKA LAKES ZONING: WR/6

LOT SETBACKS

Proposed Deck	Required	Proposed	Acceptable
FY	20.1m	7.8m	No (Variance Required)
SY(N)	4.5m	12.3m	Yes (Existing)
SY(S)	4.5m	11.5m	Yes (Existing)
RY	4.5m	21.3m	Yes (Existing)



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

18465 **B. Leppington**
 BCIN SIGNATURE

REGISTRATION INFORMATION:

103806 **Design by Bobbi**
 BCIN FIRM NAME

REVISIONS

NUM	DATE	REVISED BY	DESCRIPTION
01	23.06.26	SLR	SITE PLAN
02	23.12.18	SLR	UPDATE
03	24.01.31	SLR	UPDATE
04			

DRAWN BY:

STEVE ROSSITER

SCALE:

As Noted

DRAWING:

SITE PLAN

PROJECT NUMBER: 2023-051

SHEET NUMBER: SP 1.0

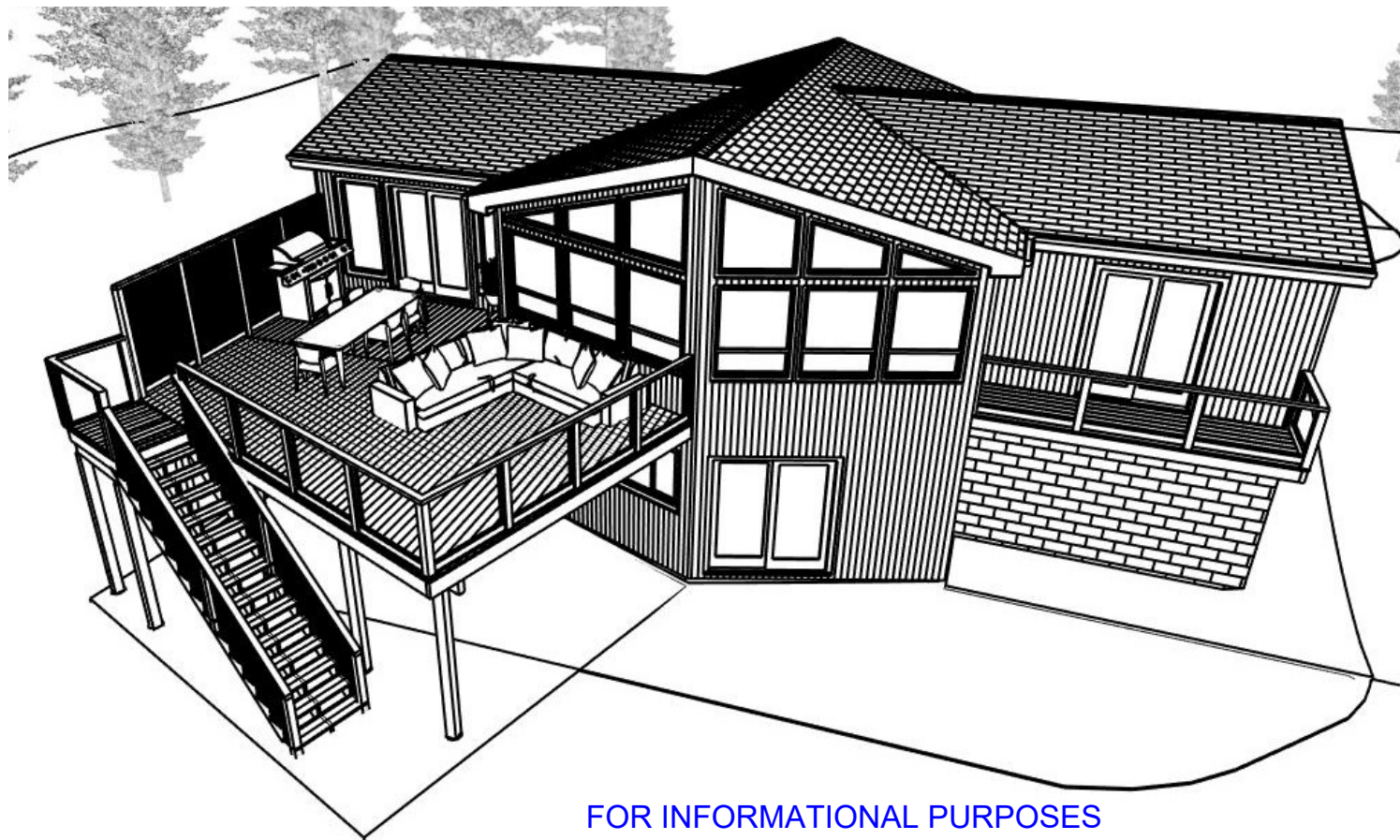


Site Plan for reference only.
 No Survey Data was available.

SUNDECK ELEVATIONS/DRAWINGS



THIS PROJECT INVOLVES THE CONSTRUCTION OF A DECK EXTENSION TO AN EXISTING BALCONY. THE PROPOSED DECK IS 26' X 16' DEEP & IS TO BE FLUSH WITH THE EXISTING BALCONY FLOOR.



FOR INFORMATIONAL PURPOSES
3D RENDERINGS NOT TO SCALE.

PROJECT INFORMATION:

NOT TO SCALE

Proposed Deck: 428 SQFT

List of Drawings:

- D - 0.0. COVER SHEET
CONSTRUCTION NOTES
- A - 1.0. ELEVATIONS: NORTH & EAST
- A - 1.1. ELEVATIONS: SOUTH & WEST
- S - 1.0. STRUCTURAL FOUNDATION PLAN
- S - 2.0. STRUCTURAL FLOOR PLAN
- A - 2.0. SECTIONS
- A - 3.0. DETAILS PAGE

DECK CONSTRUCTION NOTES:

- 1.0. GENERAL
 - 1.1. ALL MATERIALS TO BE PRESSURE TREATED SPF NO. 2 OR BETTER.
 - 1.2. ANY END CUTS TO BE TREATED.
 - 1.3. REFER TO STRUCTURAL PLAN FOR SIZES.
 - 1.4. DECKS EXCEEDING 6FT IN HEIGHT SHALL BE Y BRACED.
- 2.0. BEAMS
 - 2.1. ALL BEAMS DROPPED FOR THIS DECK.
 - 2.2. ALL BEAMS TO HAVE 3 1/2" END BEARINGS OVER PIERS.
 - 2.3. BEAMS SHALL BE CONTINUOUS BETWEEN PIERS.
 - 2.4. BEAMS SHALL BE NAILED TOGETHER WITH 3 - 3/12" GALVANIZED NAILS
 - 2.5. BEAMS TO TIE TO THE COLUMN
- 3.0. JOISTS
 - 3.1. ALL JOISTS SHALL BE CONTINUOUS
 - 3.2. ALL JOISTS TO HAVE 1 1/2" END BEARING OVER BEAM.
 - 3.3. TOE-NAIL JOIST TO BEAM WITH 2 - 3 1/2 NAILS
 - 3.4. DECK BOARDS - 2 SCREWS PER JOIST
- 4.0. COLUMNS
 - 4.1. COLUMNS TO BE MIN. 6 x 6 PT SPF 2 OR BETTER
 - 4.2. COLUMN TO SIT IN SADDLE ON PIER.
- 5.0. DECKING
 - 5.1. DECKING TO BE MIN. 5/4 PT - 2 SCREWS PER JOIST.
 - 5.2. LEAVE 1/4" SPACE BETWEEN DECKING.
- 6.0. STAIRS
 - 6.1. STAIRS SHALL BE SITE MEASURED AND RISERS DIVIDED EQUALLY.
 - 6.2. MAX. RISE OF 7 1/2".
 - 6.3. MIN. TREAD DEPTH OF 11" INCLUDING 1" NOSE.



Design By Bobbi

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 L3V 4E1

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PROJECT INFORMATION:

SCOTT ROBINSON
 DECK
 1080 WOODWINDS ROAD
 MUSKOKA LAKES, ONTARIO

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 BCIN FIRM NAME

REVISIONS

NUMBER	DATE	REVISED BY	DESCRIPTION
01			
02			
03			
04			
05			

DRAWN BY: K. MULHOLLAND

APPROVED BY: B. LEPPINGTON

SCALE:

N.T.S.

DRAWING:

COVER SHEET

PROJECT NUMBER:
2023 - 099

SHEET NUMBER:
D - 0.0.

SUNDECK ELEVATIONS/DRAWINGS

NOT TO SCALE



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DRAWN BY: K. MULHOLLAND

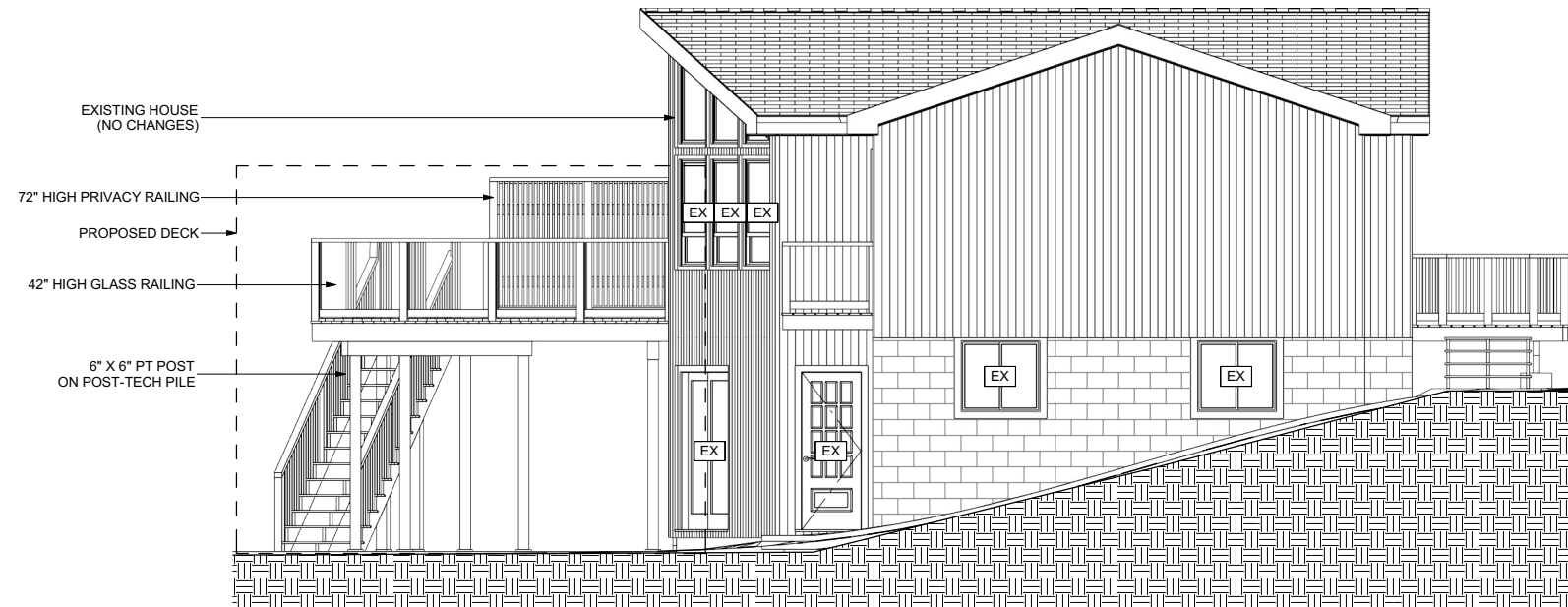
APPROVED BY: B. LEPPINGTON

SCALE:
 1/8" = 1' - 0"

DRAWING:
 ELEVATIONS: NORTH
 & EAST

PROJECT NUMBER:
 2023 - 099

SHEET NUMBER:
 A - 1.0.



E1
 A - 1.0.

ELEVATION: NORTH
 SCALE: 1/8" = 1' - 0"



E2
 A - 1.0.

ELEVATION: EAST (LAKE SIDE)
 SCALE: 1/8" = 1' - 0"

FOR INFORMATIONAL PURPOSES

SUNDECK ELEVATIONS/DRAWINGS

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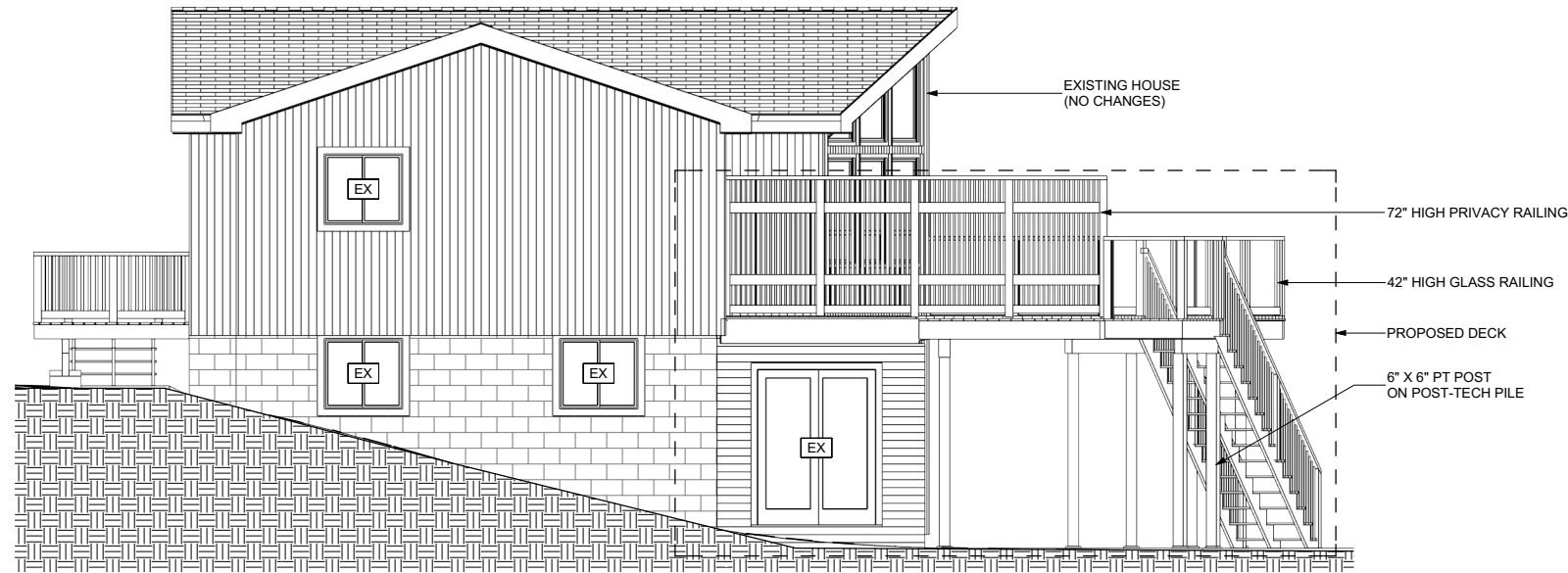
APPROVED BY: B. LEPPINGTON

SCALE:
 1/8" = 1' - 0"

DRAWING:
 ELEVATIONS: SOUTH & WEST

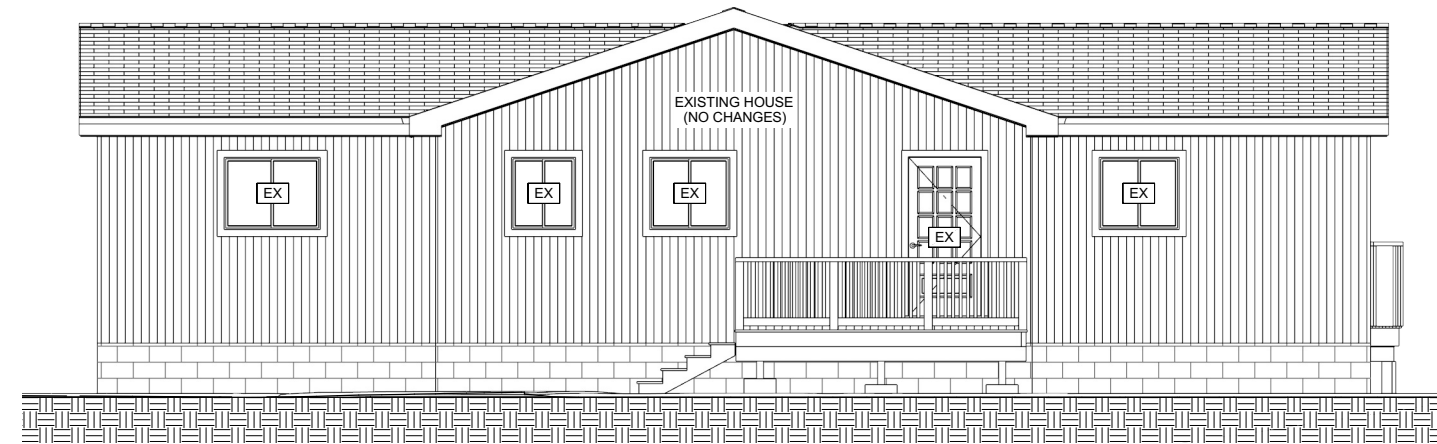
PROJECT NUMBER:
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SHEET NUMBER:
 A - 1.1.



E3
 A - 1.1.

ELEVATION: SOUTH
 SCALE: 1/8" = 1' - 0"



E4
 A - 1.1.

ELEVATION: WEST
 SCALE: 1/8" = 1' - 0"

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DRAWN BY: K. MULHOLLAND

APPROVED BY: B. LEPPINGTON

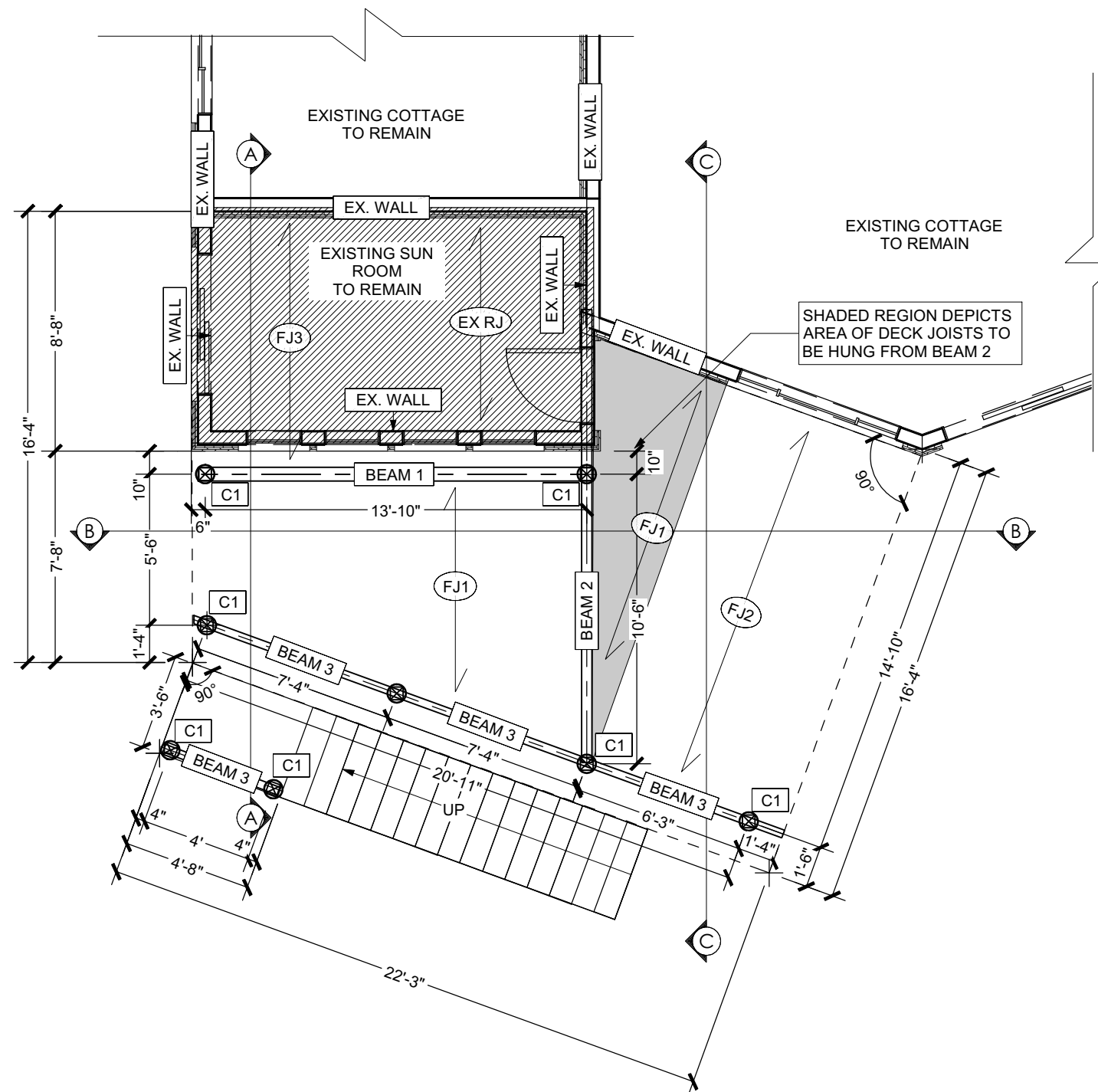
SCALE:
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DRAWING:
**STRUCTURAL
 FOUNDATION PLAN**

PROJECT NUMBER:
 2023 - 099

SHEET NUMBER:
S - 1.0.

DRAWING LEGEND:	
SYMBOL	DESCRIPTION
EX. WALL	EXISTING WALL TO REMAIN.
EX RJ	EXISTING ROOF JOISTS TO REMAIN
FJ1	DECK JOIST 2" X 10" DECKING AS PER OWNER PT 2" X 10" @ 16" O/C (SPF NO. 1 OR 2)
FJ2	DECK JOIST 2" X 10" DECKING AS PER OWNER PT 2" X 10" @ 12" O/C (SPF NO. 1 OR 2) W/ STRAPPING & BRIDGING
FJ3	DECK JOIST 2" X 8" DECKING AS PER OWNER PT 2" X 8" @ 16" O/C (SPF NO. 1 OR 2)
C1	6" X 6" POST (SPF NO. 1 OR 2) ON POST TECH PILE
BEAM 1	BUWB: 2 - 2" X 12" & 2 - 2" X 10" PT DROP BEAM (SPF NO. 1 OR 2)
BEAM 2	3 - 2" X 10" PT FLUSH (SPF NO. 1 OR 2)
BEAM 3	3 - 2" X 8" PT DROP BEAM (SPF NO. 1 OR 2)



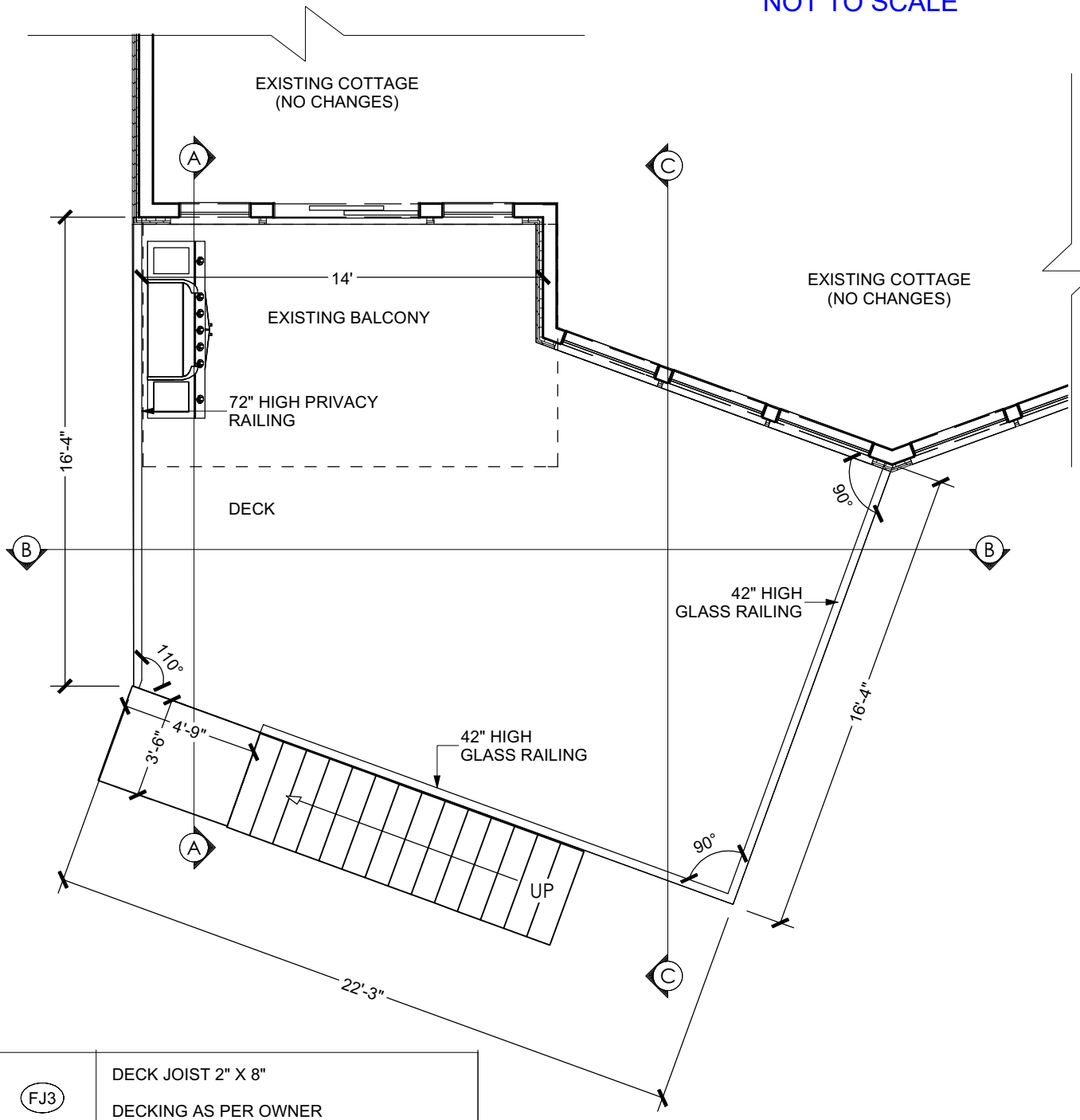
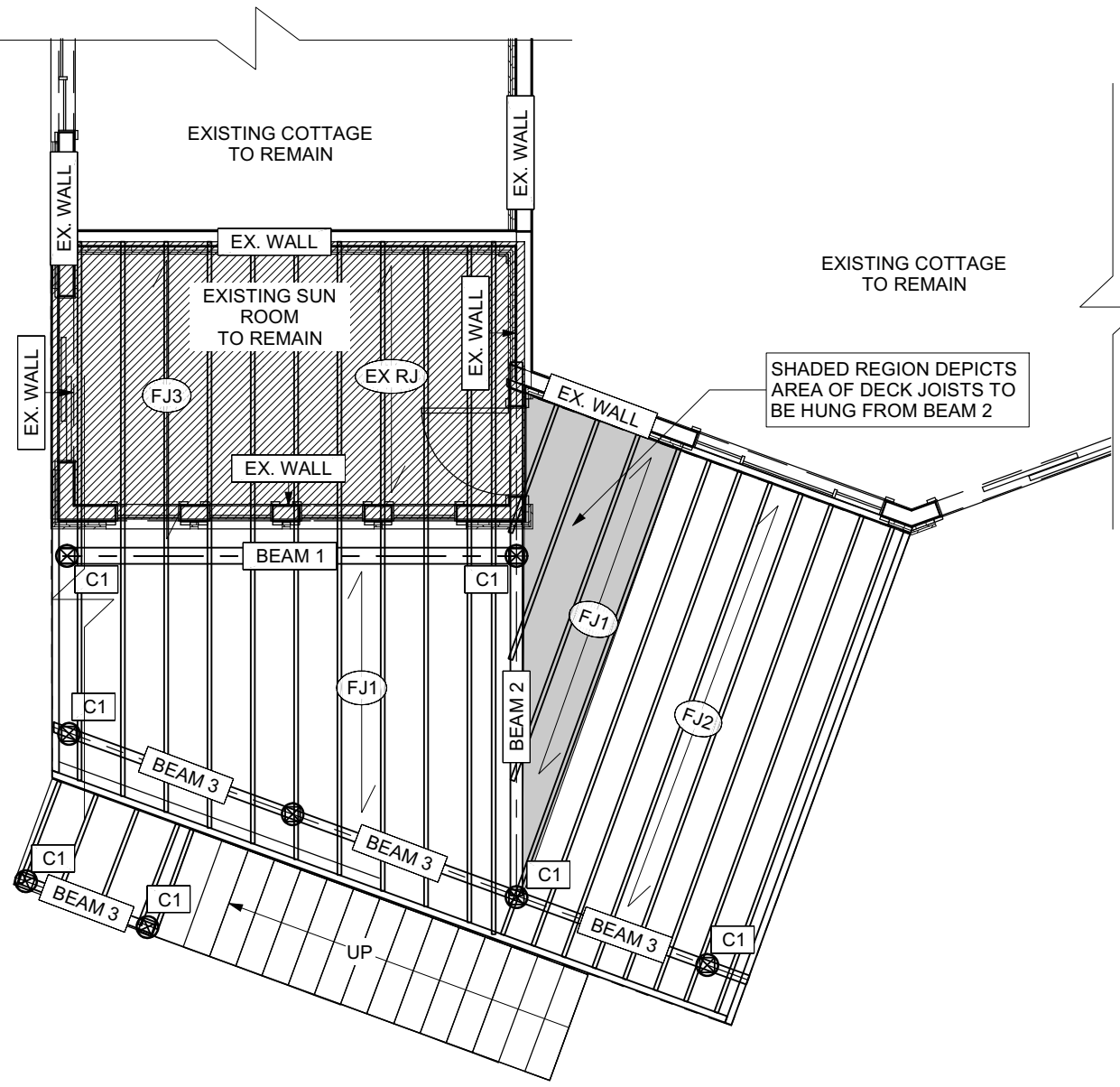
P1
 S - 1.0.

STRUCTURAL FOUNDATION PLAN
 SCALE: 3/16" = 1' - 0"

FOR INFORMATIONAL PURPOSES

SUNDECK ELEVATIONS/DRAWINGS

NOT TO SCALE



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 L3V 4E1

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PROJECT INFORMATION:
 SCOTT ROBINSON
 DECK
 1080 WOODWINDS ROAD
 MUSKOKA LAKES, ONTARIO

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 BCIN SIGNATURE
REGISTRATION INFORMATION:
 103806 **Design by Bobbi**
 BCIN FIRM NAME

REVISIONS

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01			
02			
03			
04			
05			

DRAWN BY: K. MULHOLLAND
APPROVED BY: B. LEPPINGTON

SCALE:
 3/16" = 1'-0"

DRAWING:
 STRUCTURAL FLOOR
 PLAN: DECK

PROJECT NUMBER: 2023 - 099
SHEET NUMBER: S - 2.0

P1
S - 2.0.

STRUCTURAL FLOOR PLAN: DECK
 SCALE: 3/16" = 1'-0"

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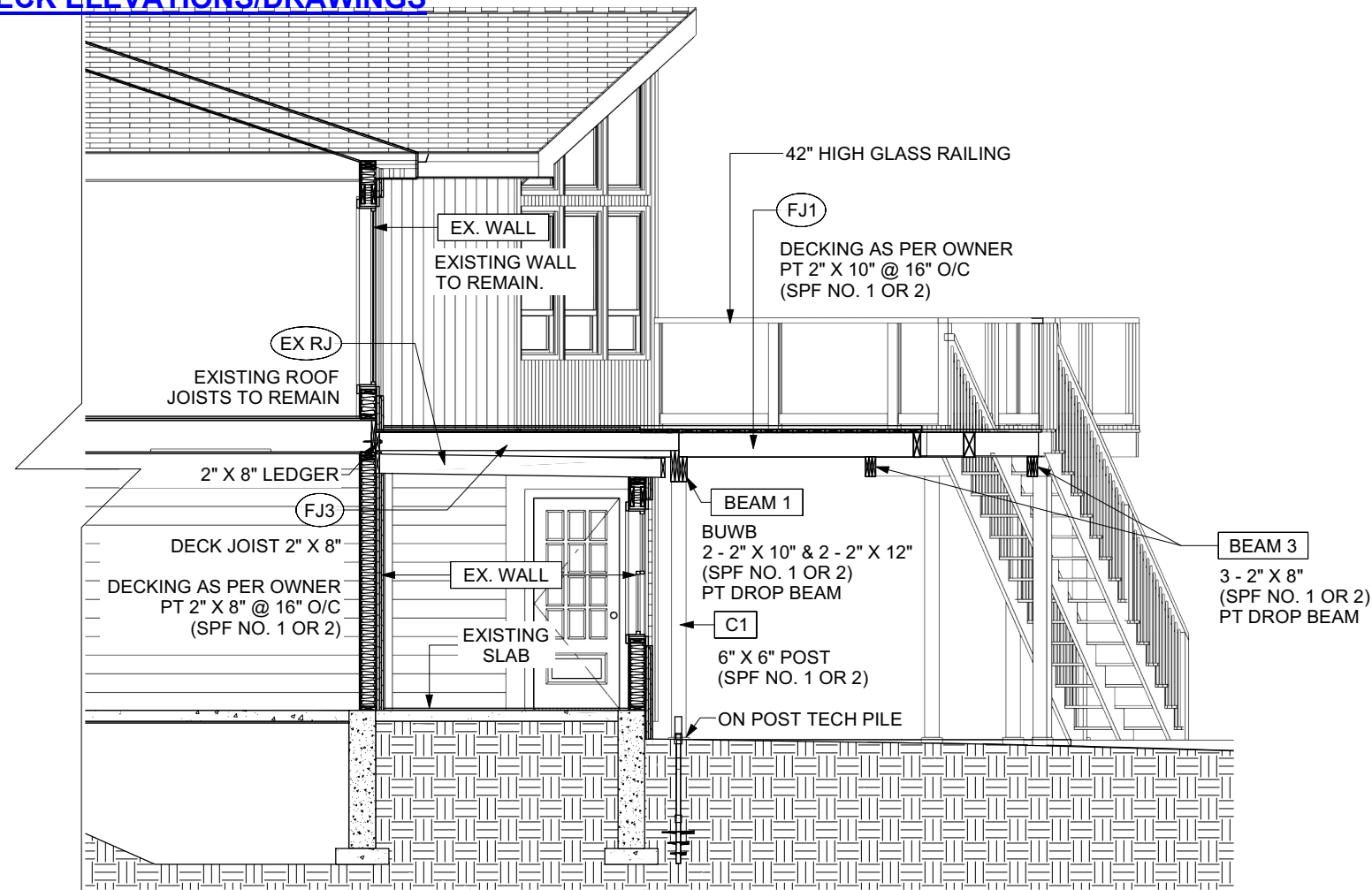
APPROVED BY: B. LEPPINGTON

SCALE:
 3/16" = 1'-0"

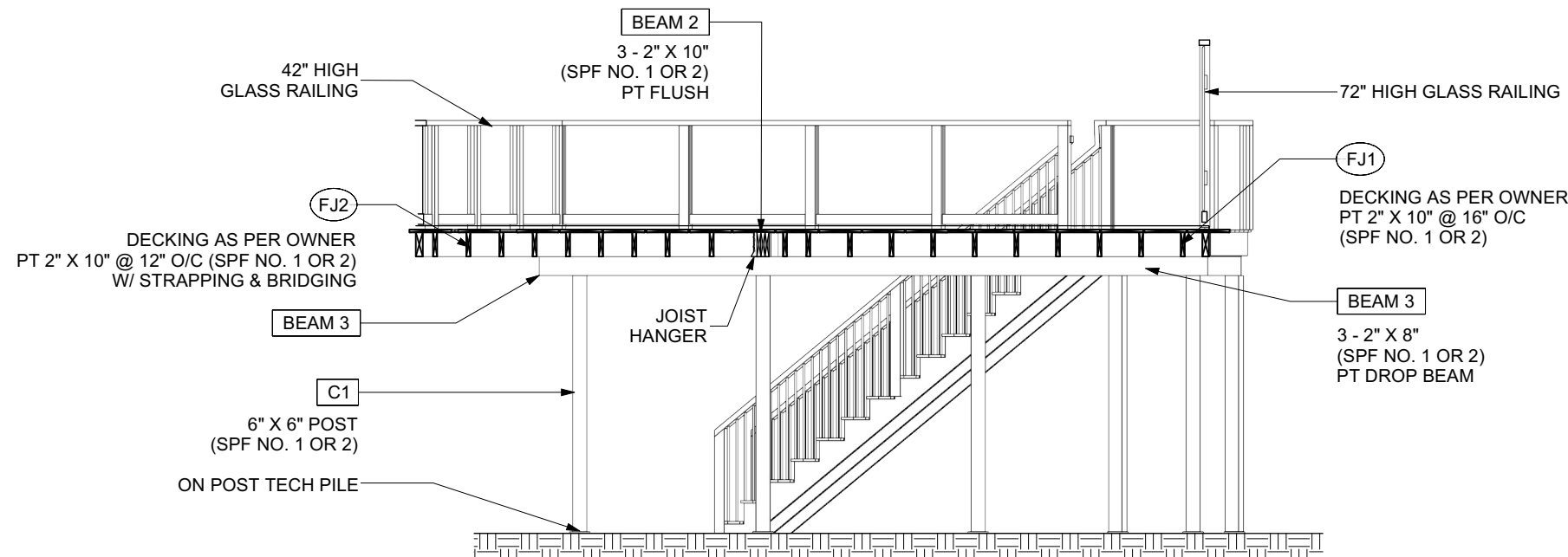
DRAWING:
 SECTION A & B

PROJECT NUMBER:
 2023 - 099

SHEET NUMBER:
 A - 2.0.



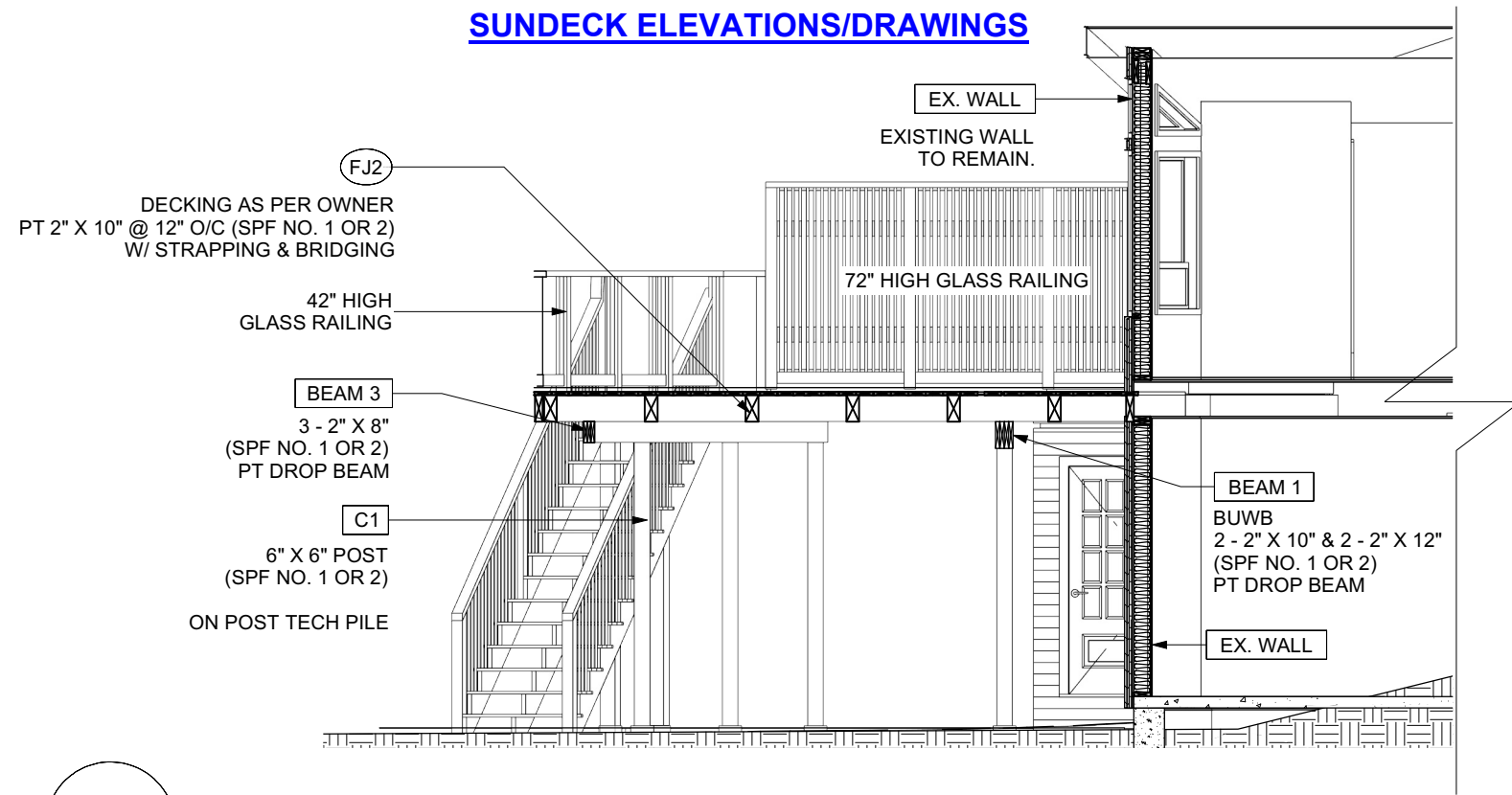
S1
 A - 2.0. SECTION A
 SCALE: 3/16" = 1'-0"



S1
 A - 2.0. SECTION B
 SCALE: 3/16" = 1'-0"

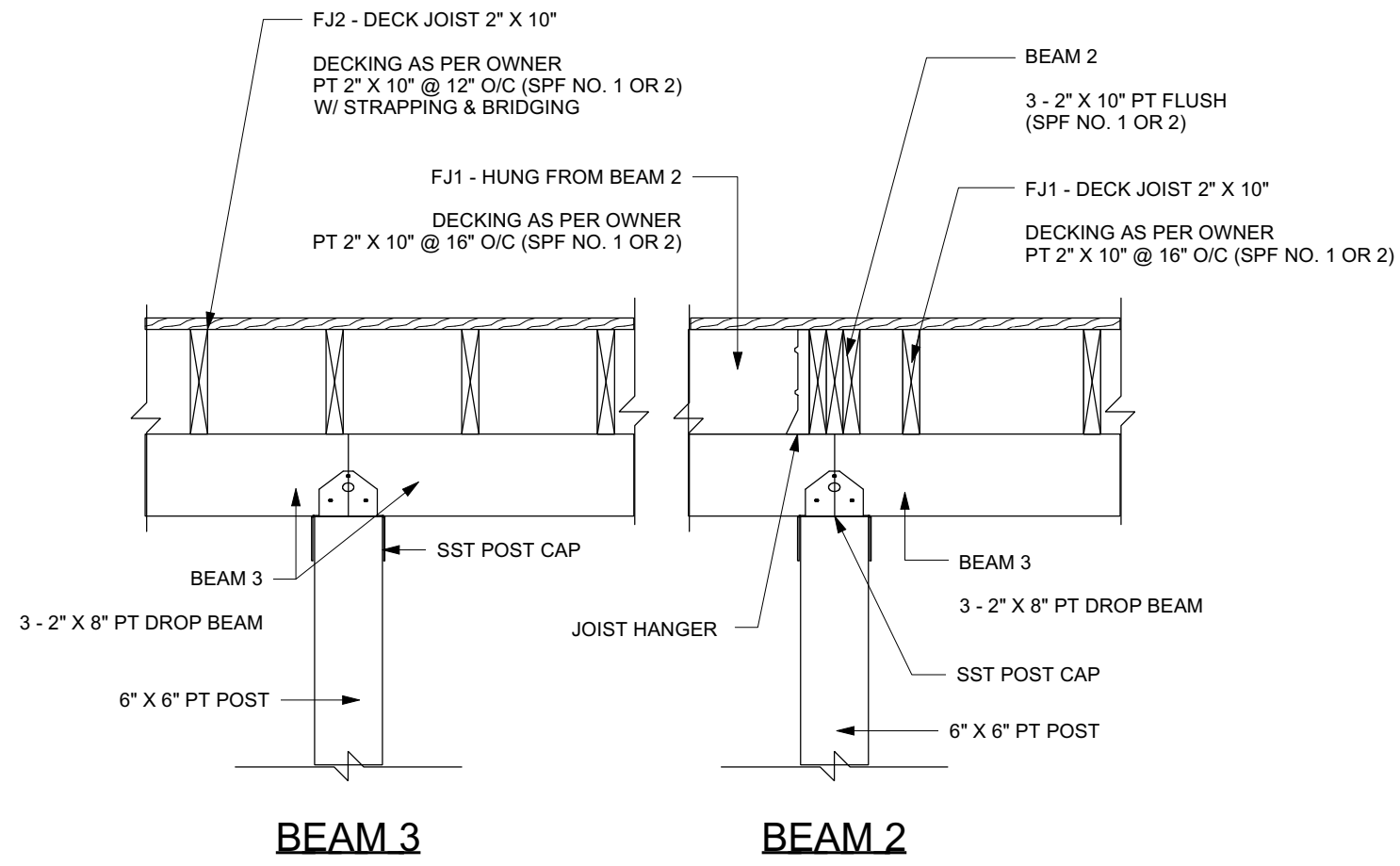
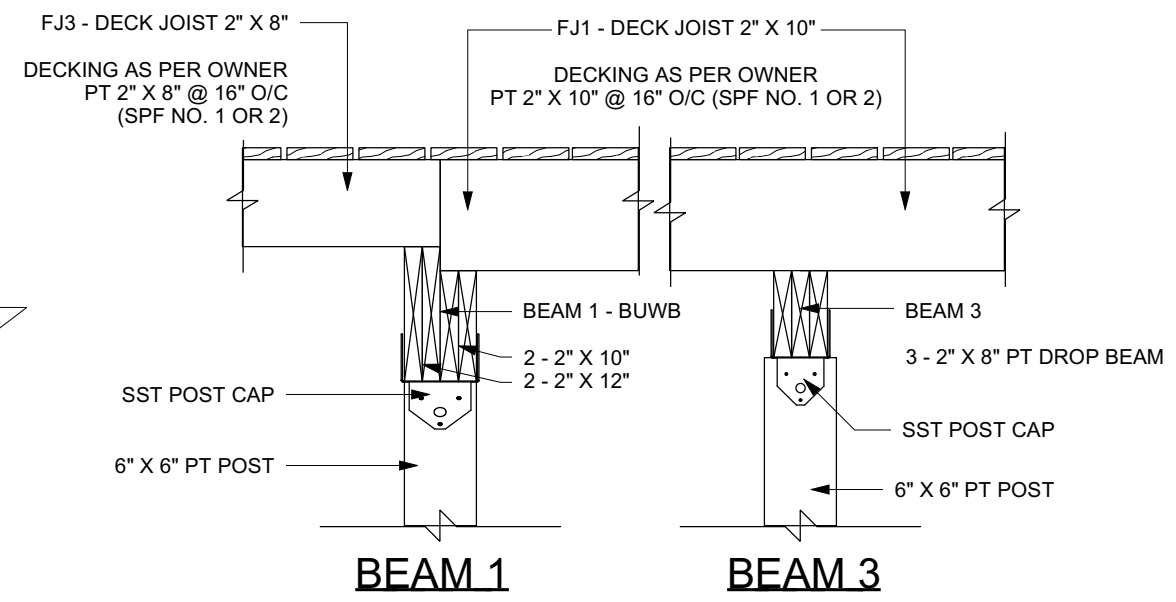
FOR INFORMATIONAL PURPOSES

SUNDECK ELEVATIONS/DRAWINGS

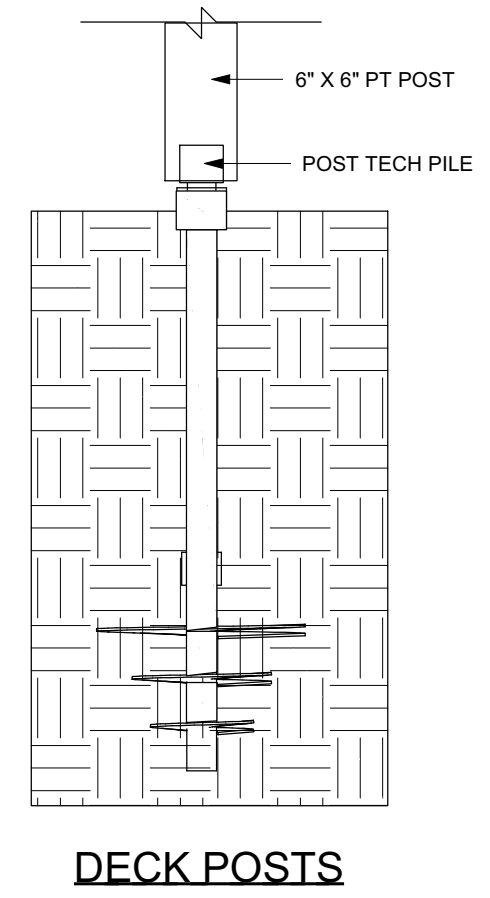


S3
A - 2.1. SECTION C
SCALE: 3/16" = 1'-0"

NOT TO SCALE



D1
A - 2.1. DETAILS PAGE
SCALE: 3/4" = 1'-0"



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1080 WOODWINDS ROAD
MUSKOKA LAKES, ONTARIO

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DRAWN BY: K. MULHOLLAND
APPROVED BY: B. LEPPINGTON

SCALE:
AS NOTED

DRAWING:
DETAILS PAGE

PROJECT NUMBER: 2023 - 099
SHEET NUMBER: A - 2.1.

SUNDECK ELEVATIONS/DRAWINGS



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18465 **B. Leppington**
 BCIN SIGNATURE

REGISTRATION INFORMATION:

103806 **Design by Bobbi**
 BCIN FIRM NAME

REVISIONS

NUMBER	DATE	REVISED BY	DESCRIPTION
01			
02			
03			
04			
05			

DRAWN BY: K. MULHOLLAND

APPROVED BY: B. LEPPINGTON

SCALE:
 N.T.S.

DRAWING:
 EXTERIOR RENDERS

PROJECT NUMBER:
 2023 - 099

SHEET NUMBER:
 A - 3.0.



LAKE SIDE ELEVATION



DECK AERIAL VIEW

NOT TO SCALE



LAKE SIDE ELEVATION



LAKE SIDE ELEVATION

FOR INFORMATIONAL PURPOSES



Design By Bobbi

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GENERAL NOTE:

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO THE DESIGNER.

PROJECT INFORMATION:

SCOTT ROBINSON
 DECK
 1080 WOODWINDS ROAD
 MUSKOKA LAKES, ONTARIO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

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DRAWN BY: K. MULHOLLAND

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SCALE:
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DRAWING:
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LAKE SIDE ELEVATION