



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, February 12, 2024 at 9:00 a.m.

File #: A-75/23

Roll #: 2-21-091

Civic Address: 1117 Bert Sims Road, Unit #3

Owners: Kevin & Danielle Zeran, 915 Eagle Drive, Burlington, ON, L7T 3A5

Legal Description: Part of Lot 15, Concession 12, Parts 1 & 2 & Parts 22 & 23, Plan 35R-9966, (Watt)

Lake/River: Skeleton Lake (Category 2 Lake)

Zoning: Waterfront Residential (WR1)

Zoning Schedule: 16

EXPLANATION OF THE PURPOSE AND EFFECT: The applicants propose to demolish an existing one storey dwelling and propose to construct a new two storey dwelling with an attached garage.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.3	Maximum Permitted Dwelling Height	35 ft.	36 ft.	1 ft.
B	3.2 a)	No Increase in Floor Area of a Dwelling Where More Than 1 Sleeping Cabin Exists	-	Increase the Floor Area of a Dwelling on a Lot Containing Two Sleeping Cabins	Permit an Increase in Floor Area of a Dwelling on a Lot Containing Two Sleeping Cabins

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.**

ZOOM Guide

More information about viewing and/or participating in the zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

Members of the public may also observe the proceedings by accessing the live webcast at www.muskokalakes.ca. If the live webcast fails, the meeting recording will be posted at <https://muskokalakes.civicweb.net/Portal/>.

ADDITIONAL INFORMATION relating to the proposed variance application is available from the Planning Department week days between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.
Please quote the file number noted above.

YOU OR YOUR REPRESENTATIVE are entitled to participate in this public hearing and make verbal representation and/or make written representation prior to the meeting. Comments can be submitted by emailing planning@muskokalakes.ca or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

IF YOU WISH TO SPEAK to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

NO ONE OTHER THAN the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

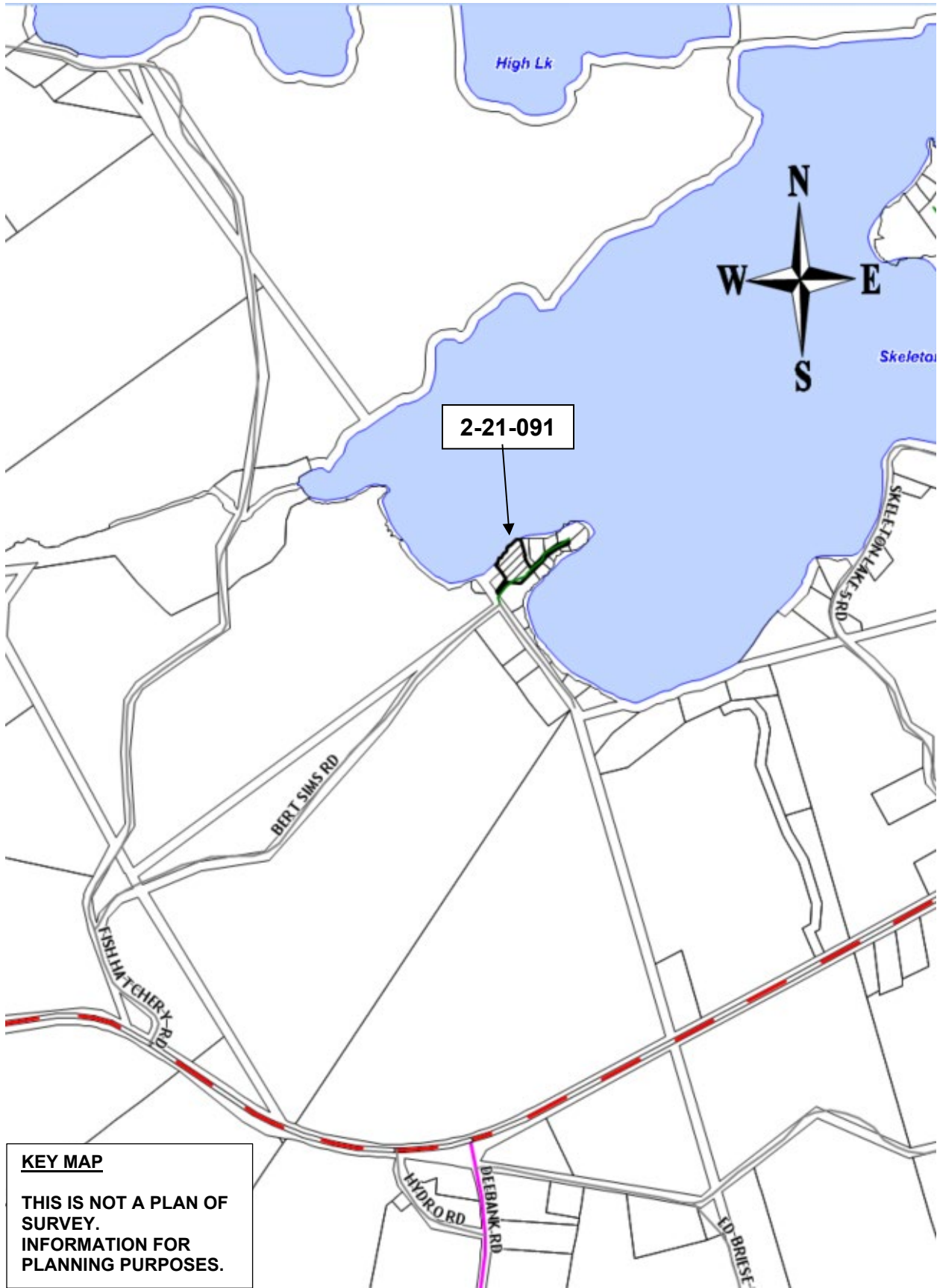
THE HEARING will be live-streamed on the Township's live webcast at: www.muskokalakes.ca If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 31th day of January, 2024

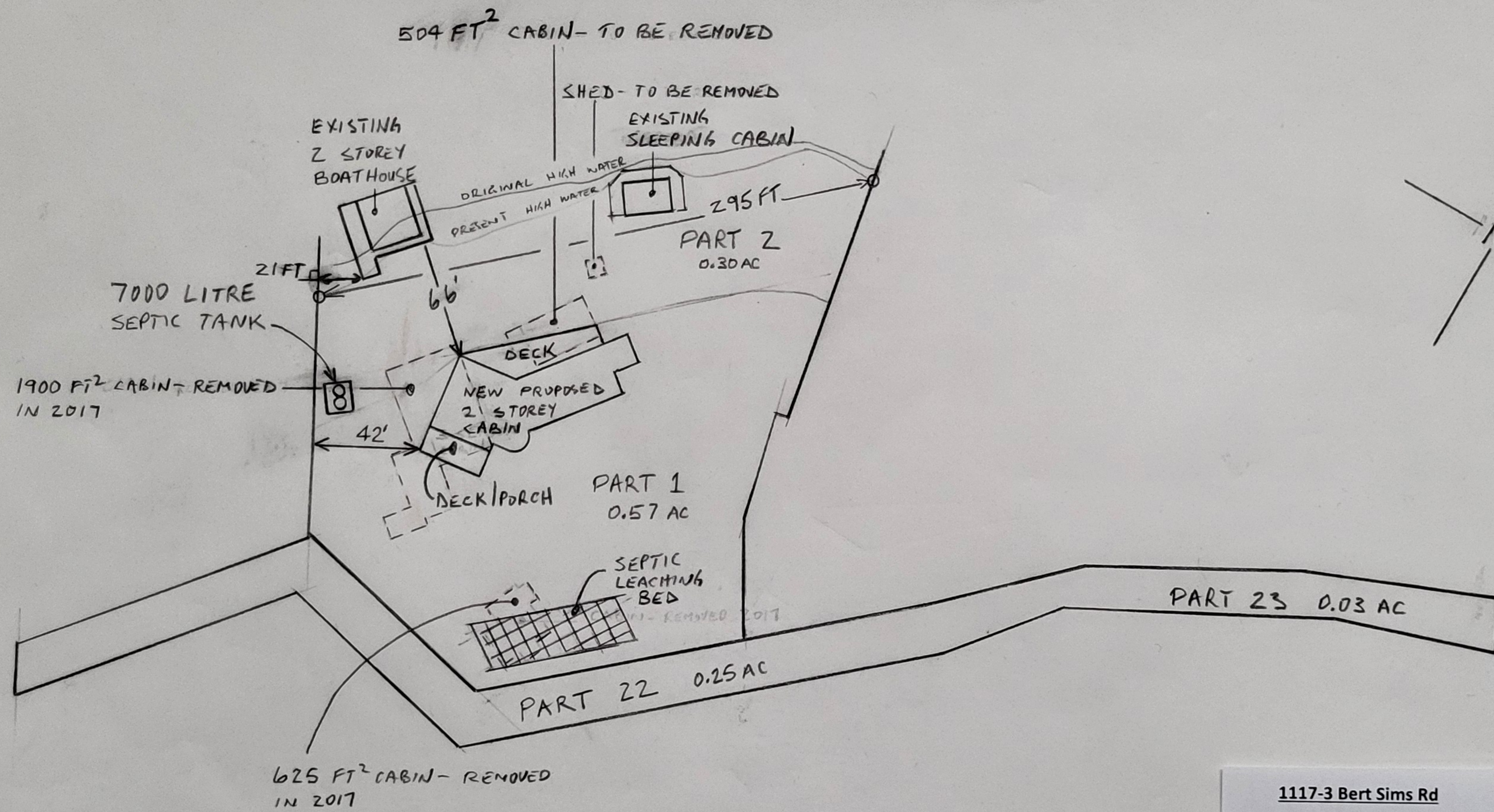
"Original Signed by C. Ward"
Chelsea Ward,
Secretary-Treasurer
Committee of Adjustment

KEY MAP



KEY MAP

**THIS IS NOT A PLAN OF
SURVEY.
INFORMATION FOR
PLANNING PURPOSES.**



1117-3 BERT SIMS RD, UTTERSON
 SITE PLAN
 OCT. 2023

NOT TO SCALE

1117-3 Bert Sims Rd

Total lot area = 1.15 acres(50,095 sq.ft)

Lot area within 200ft of high water mark=1.1 acres(48,000 sq.ft)

Structure	Floor area sq.ft	Deck area sq.ft
Existing Boat house	539	
Existing Sleeping Cabin	300	250
New Cottage	2144	
Cottage front deck/porch		262
Cottage back covered deck		169
Cottage back deck		457
Total	2983	888



147 Norpark Ave.
Mount Forest, ON N0G 2L0
Phone (519) 323-3336
Fax (519) 323-3382

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Client: **KEVIN & DANIELLE ZERAN**

Site Location:
1117-3 Bert Sims Rd, Skeleton Lake,
Muskoka Lakes, Ontario P0B 1M0 Canada

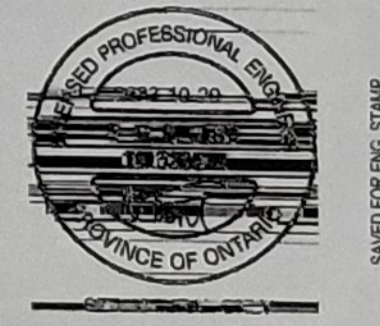
Issued for:
PERMIT

BEAM & COLUMN SCHEDULE

INCL. INCLUDED IN CONTRACT
NOT IN CONTRACT
FL. DENOTES FLUSH BEAM
SLP. DENOTES SLOPED BEAM
POST. DENOTES POST ARCH(SPLINE)

BEAMS			
ID	DESCRIPTION	W	H
B1	PINE	3"	10"
B2	PINE	6"	8"
B3	PINE	8"	8"
B4	PINE	8"	10"
B5	PINE	8"	1'-0"
B6	PINE	10"	10"
B7	D.FIR	9 1/2"	1'-3 1/2"
B8	3/2x10 P.T.	4 1/2"	9 1/4"
B9	5/2x10 P.T.	7 1/2"	9 1/4"
B10	2 PLY 11 7/8" LVL	3 1/2"	11 7/8"
B11	W10 x 60 STEEL	10 1/16"	10 1/4"
B12	W14 x 90 STEEL	1'-2 1/2"	1'-2"
B13	W12 x 58 STEEL	10"	1'-0 3/16"
B14	3 PLY 11 7/8" LVL (ON THE FLAT)	11 7/8"	5 1/4"
B15	W14 x 61 STEEL	10"	1'-1 7/8"

COLUMNS			
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P1	PINE	8"	8"
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P4	5/2x8 SPF	7 1/2"	7 1/4"
P5	3/2x8 SPF	4 1/2"	5 1/2"
P6	4/2x8 SPF	6"	5 1/2"
P7	5/2x8 SPF	7 1/2"	5 1/2"
P8	HSS5X5X1/4 STEEL w/ 8x8x1/2 TOP AND BOTTOM PLATE	5"	5"
P9	4/2x4 SPF	6"	3 1/2"

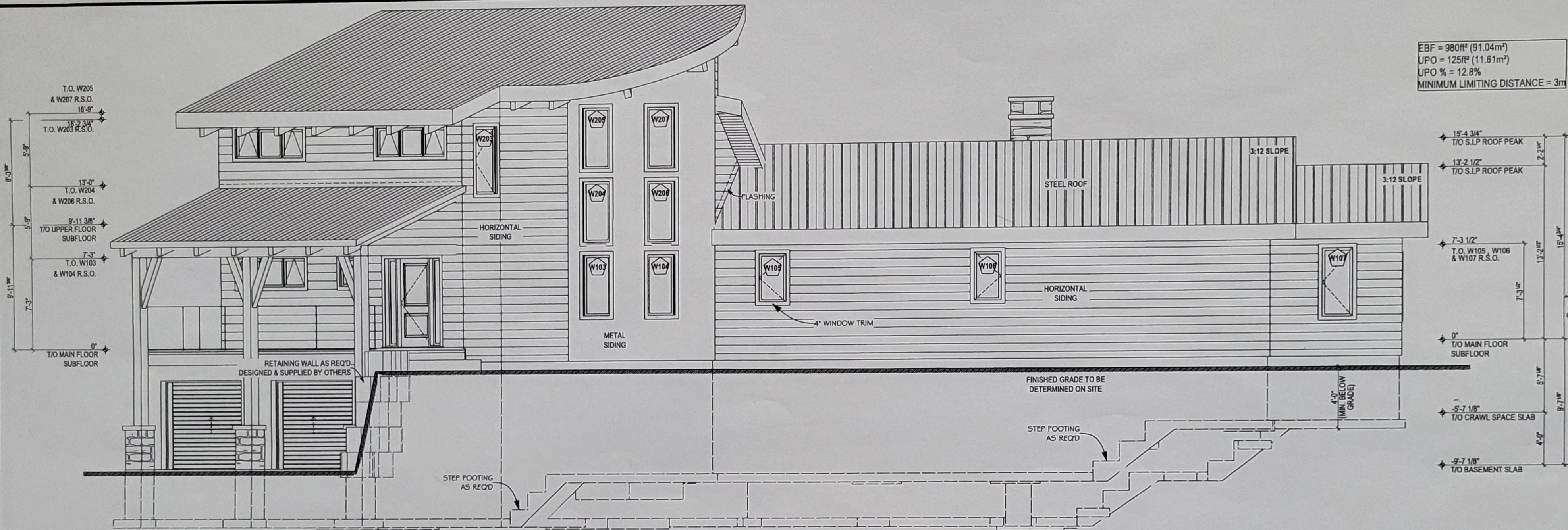


REVISIONS				
#	REVISION	DATE	BY	
1	PERMIT	10/20/2023	LM	NF
2	ENG. REVIEW	10/20/2023	LM	NF
3	ENG. REVIEW	10/17/2023	LM	NF
4	ENG. REVIEW	10/04/2023	LM	NF
5	ENG. REVIEW	08/21/2023	LM	NF
2	BCIN REVIEW	08/08/2023	LM	AM
1	INTERNAL REVIEW	05/02/2023	AM	JB
#	REVISION	MMDDYYYY	DRAWN	CHKD

Drawing Title: **EXTERIOR ELEVATIONS**

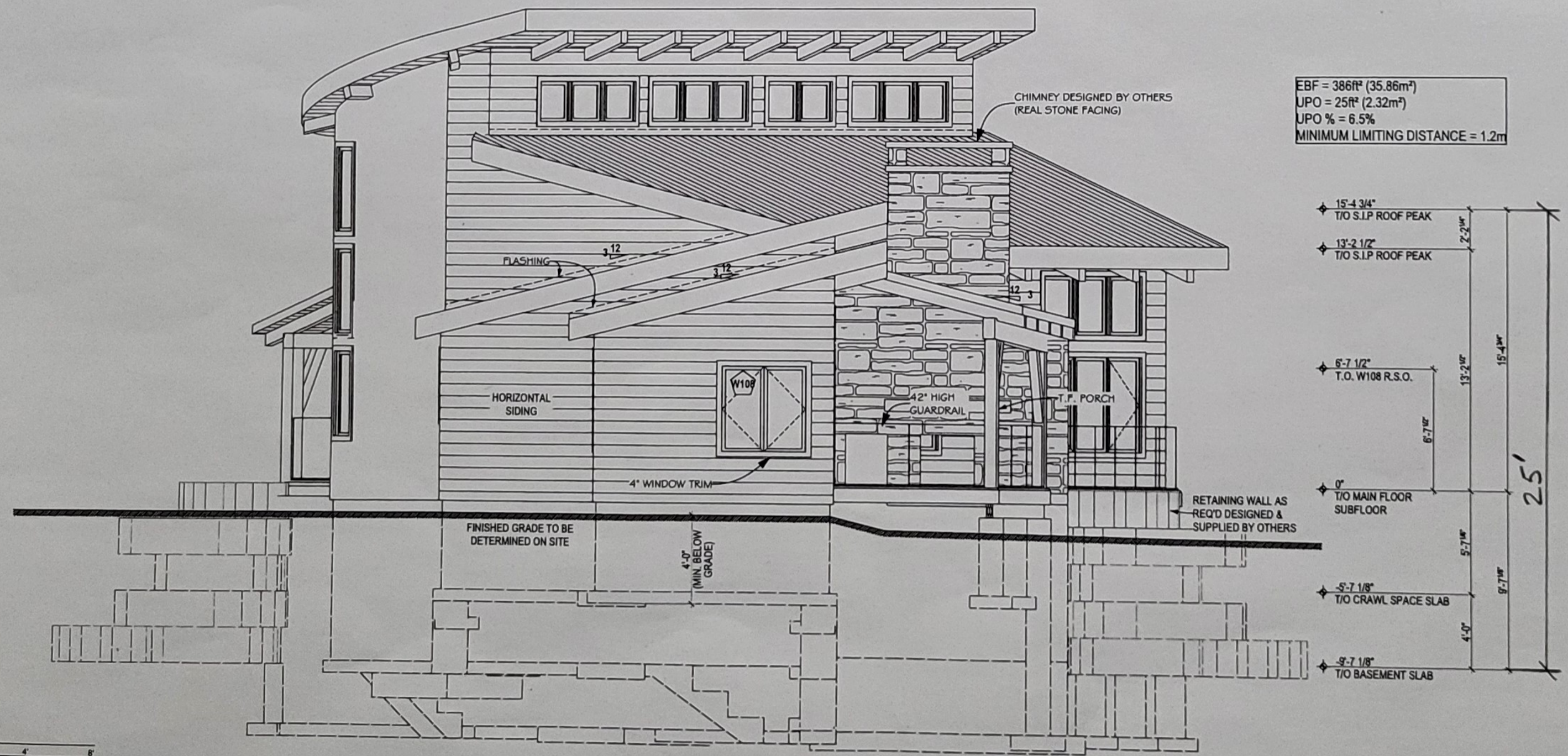
Drawn By: LM	Scale: AS NOTED
Project No: 23-015	Revision: BP
Page No: 23-015 BP	Page No: A-10 of A-16

EBF = 980ft² (91.04m²)
UPO = 125ft² (11.61m²)
UPO % = 12.8%
MINIMUM LIMITING DISTANCE = 3m



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EBF = 386ft² (35.86m²)
UPO = 25ft² (2.32m²)
UPO % = 6.5%
MINIMUM LIMITING DISTANCE = 1.2m



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

NOT TO SCALE

ELEVATION NOTES: ONTARIO

- ALL CHIMNEYS TO COMPLY w/ SECTION 9.21. OF THE O.B.C. (CHIMNEY FLUE SHALL EXTEND NOT LESS THAN 2'-11" ABOVE HIGHEST POINT AT WHICH CHIMNEY COMES IN CONTACT w/ ROOF & 1'-11" ABOVE HIGHEST ROOF SURFACE OR STRUCTURE WITHIN 9'-10" OF THE CHIMNEY)
- ALL EXTERIOR STAIRS TO COMPLY w/ SECTION 9.8. OF THE O.B.C.
- ALL EXTERIOR RAILINGS TO COMPLY w/ SECTION 9.8.8. OF THE O.B.C.
- FLASHING TO BE INSTALLED ABOVE ALL WINDOW & DOORS REFER TO WINDOW DETAILS

C:\Users\machal\Box01 - DESIGN\01 - Projects\2023 Projects\DDH Projects\23-015 PR-Zeran (PR# 22-194)\23-015 PR-Zeran (PR# 22-194) - Working\01 - Architectural\2 - Blueprints\01 - Architectural\23-015 PR-Zeran-BP.dwg

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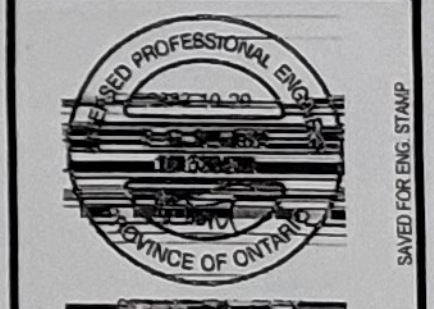
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INCL. INCLUDED IN CONTRACT
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FL. DENOTES FLUSH BEAM
SLOP. DENOTES SLOPED BEAM
POST DENOTES POST ABOVE(SPLINE)

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B9	5/2x10 P.T.	7 1/2"	9 1/4"
B10	2 PLY 11 7/8" LVL	3 1/2"	11 7/8"
B11	W10 x 80 STEEL	10 1/16"	10 1/4"
B12	W14 x 90 STEEL	1'-2 1/2"	1'-2"
B13	W12 x 58 STEEL	10"	1'-0 3/16"
B14	3 PLY 11 7/8" LVL (ON THE FLAT)	11 7/8"	5 1/4"
B15	W14 x 81 STEEL	10"	1'-1 7/8"

COLUMNS			
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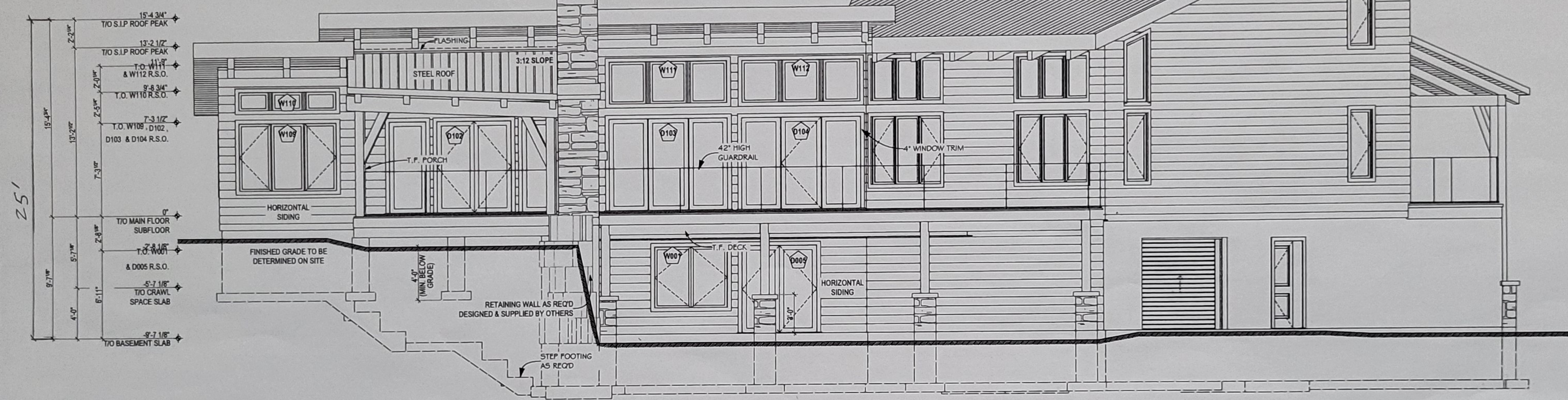


NO.	REVISION	DATE	BY	CHKD
7	PERMIT	10/20/2023	LM	NF
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3	ENG. REVIEW	08/21/2023	LM	NF
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1	INTERNAL REVIEW	05/02/2023	AM	JB
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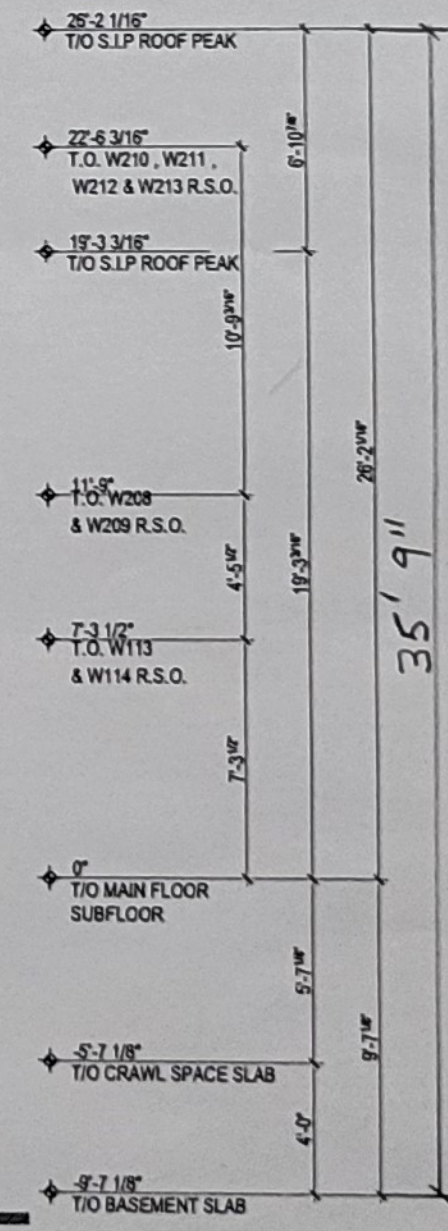
EXTERIOR ELEVATIONS

Drawn By: LM
Scale: AS NOTED
Project No: 23-015 BP
Revision: Rev. 1
Page No: A-11 of A-16

EBF = 963m² (89.47m²)
UPO = 347m² (32.24m²)
UPO % = 36.0%
MINIMUM LIMITING DISTANCE = 8m



1 REAR A ELEVATION
SCALE: 1/4" = 1'-0"



EBF = 564m² (52.40m²)
UPO = 239m² (22.20m²)
UPO % = 42.4%
MINIMUM LIMITING DISTANCE = 8m

2 REAR B ELEVATION
SCALE: 1/4" = 1'-0"

NOT TO SCALE

ELEVATION NOTES: ONTARIO

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C:\Users\machal\Box01 - Projects\2023 Projects\DDH Projects\23-015 PR-Zeran (PR# 22-194)\23-015 PR-Zeran (PR# 22-194) - Working\01 - Architectural\2 - Blueprints\01 - Architectural\23-015 PR-ZERAN-BP.pln

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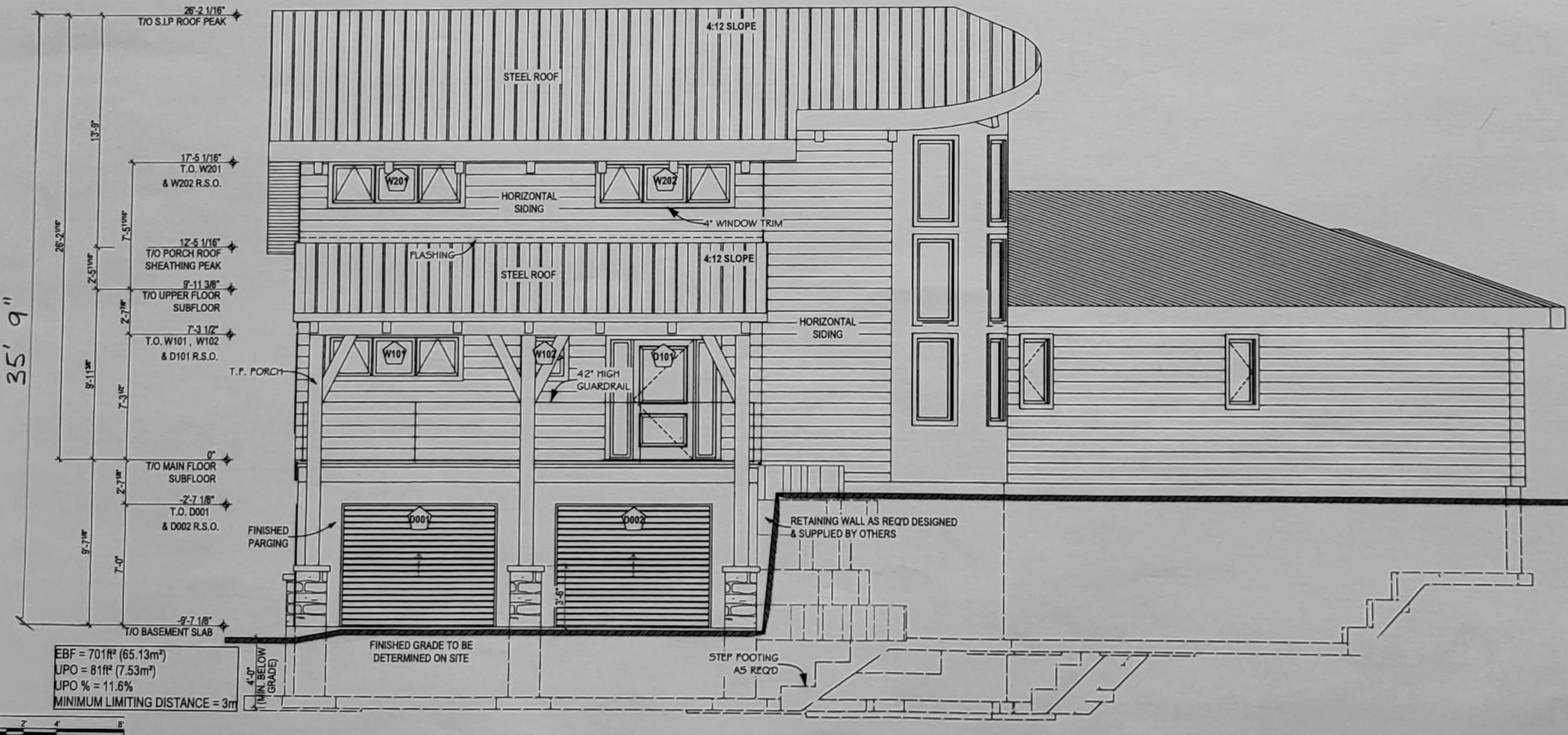
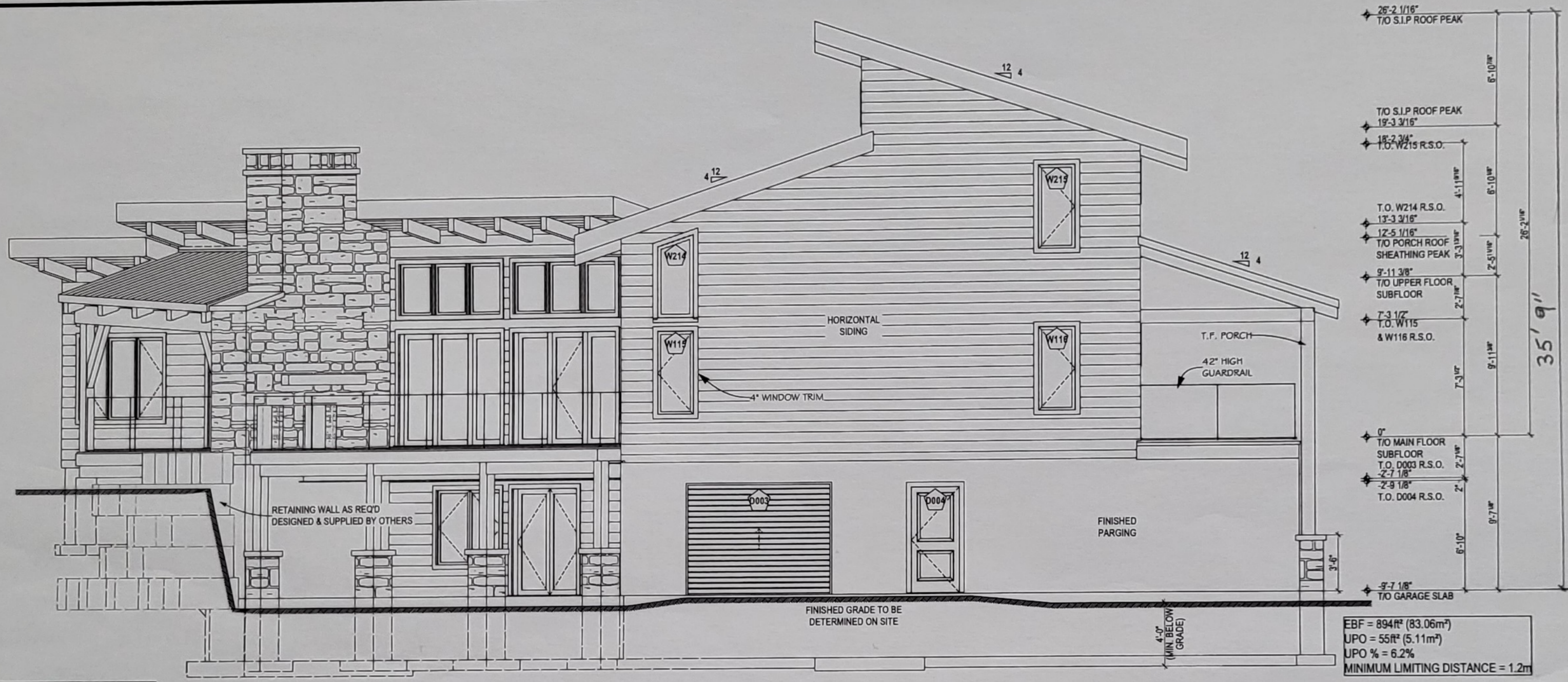
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2 BCIN REVIEW	08/08/2023	LM	AM
1 INTERNAL REVIEW	05/02/2023	AM	JB

Revision: MMDDYYYY DRAWN CHKD
Drawing Title: **EXTERIOR ELEVATIONS**

Drawn By: LM	Scale: AS NOTED
Project No: 23-015	Page No: A-12 of A-16
Revision: BP	



NOT TO SCALE

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