



Box 129, Port Carling, ON, P0B 1J0
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
PLANNING COMMITTEE

**NOTICE OF COMPLETE APPLICATION
AND
NOTICE OF PUBLIC MEETING**

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Council for The Corporation of the Township of Muskoka Lakes will be considering the following proposed Amendment to Zoning By-Law 2014-14 pursuant to Section 34 of the Planning Act, R.S.O. 1990, c. P.13.

Public Meeting Date: February 15, 2024 at 9:00 a.m.

File #: ZBA-06/24

Roll #: 2-9-051

Civic Addresses: 1019 Ransbury Road

Owner: Lilly R Holdings Inc., 1019 Ransbury Road, Port Carling, ON P0B 1J0

Legal Description: Lot 28, Concession 5, Lot 29, Plan M-362 (Watt)

Lake/River: Lake Rosseau (Category 1 Lake)

Zoning: Waterfront Residential (WR5-7)

Zoning Schedule: 30

EXPLANATION OF THE PURPOSE AND EFFECT: A Zoning By-law Amendment Application has been submitted to construct a new dwelling following the demolition of a former dwelling, to construct a new single-storey boathouse and attached dock, and to construct a pergola atop a dock.

Exemption	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Relief
A	4.1.3 and 4.1.3.6	Maximum Lot Coverage (Entire Lot)	10% (3,750 sq. ft.)	10.4% (3,893 sq. ft.)	143 sq. ft.
B	4.1.3.6 and 4.1.3.7	Maximum Lot Coverage (Within 200 Feet of the High Water Mark)	10% (3,539 sq. ft.)	11% (3,893 sq. ft.)	354 sq. ft.
C	4.1.7 and 9.1.2	Permitted Structures Within a Waterbody Open	Docks, Boathouses, Boatports, Sun Shelters	Pergola Atop a Dock	Permit a Pergola Atop a Dock

		Space (WOS) Zone			
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A key map of the property, the applicant's zoning sketch and any drawings, and a draft of By-law 2024-XXX are included in this notice.

TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.**

ZOOM Guide

More information about viewing and/or participating in the Zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

Members of the public may also observe the proceedings by accessing the live webcast at www.muskokalakes.ca. If the live webcast fails, the meeting recording will be posted at <https://muskokalakes.civicweb.net/Portal/>.

ADDITIONAL INFORMATION relating to the proposed Zoning By-law Application is available from the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

Please quote the file number noted above.

ANY PERSON may make verbal representation by participating either in person or via the ZOOM meeting and/or may make written representation prior to the meeting. This representation can be in support of or in opposition to the proposed zoning by-law amendment. Comments can be submitted by emailing planning@muskokalakes.ca or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

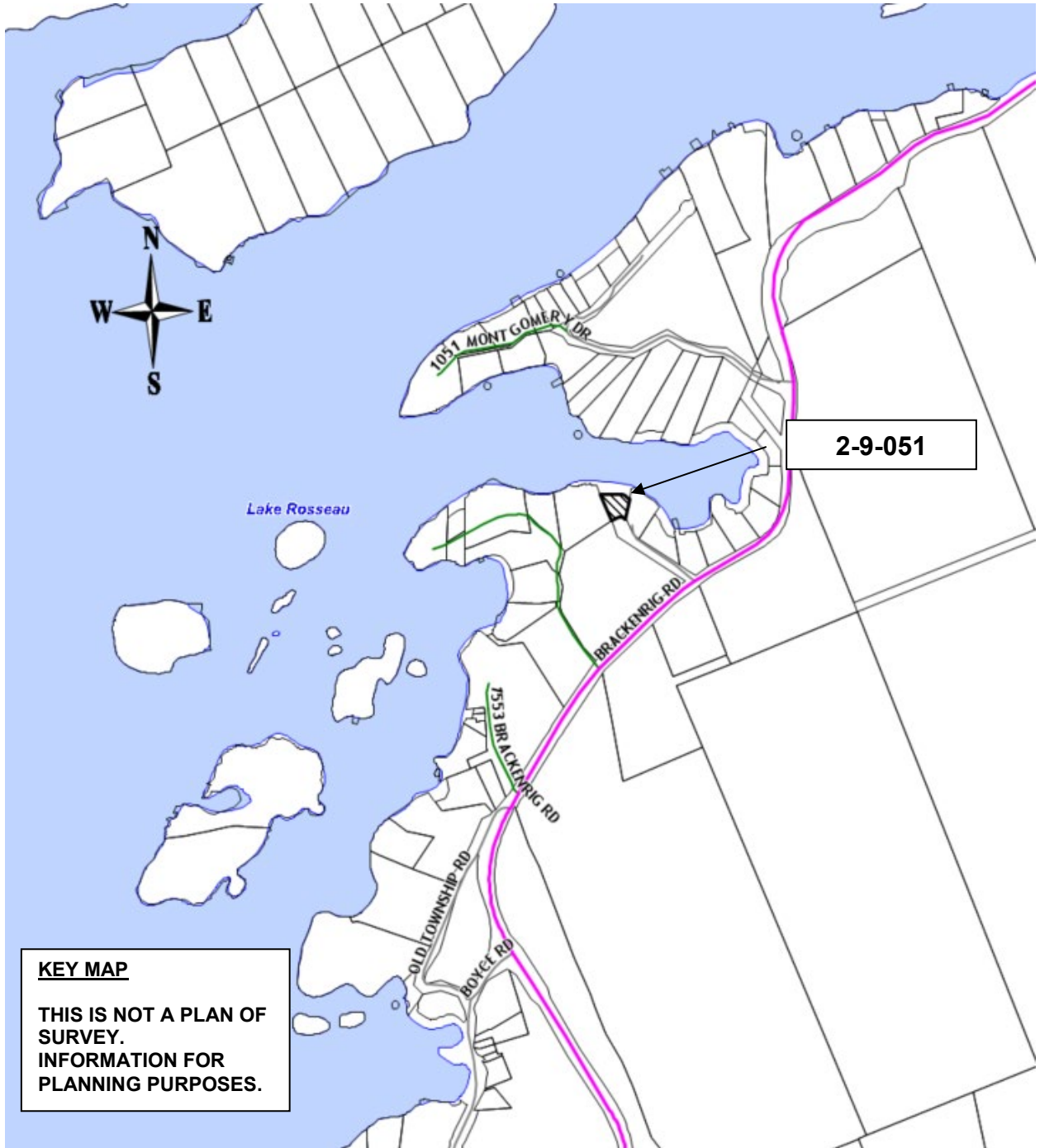
IF A PERSON OR PUBLIC BODY would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

NOTICE OF PASSING: If you wish to be notified of the decision of Council on the proposed zoning by-law amendment, you must make a written request to the Township of Muskoka Lakes.

DATED at the Corporation of the Township of Muskoka Lakes this 26th day of January, 2024.

Crystal Paroschy, Clerk
Corporation of the Township of Muskoka Lakes

KEY MAP

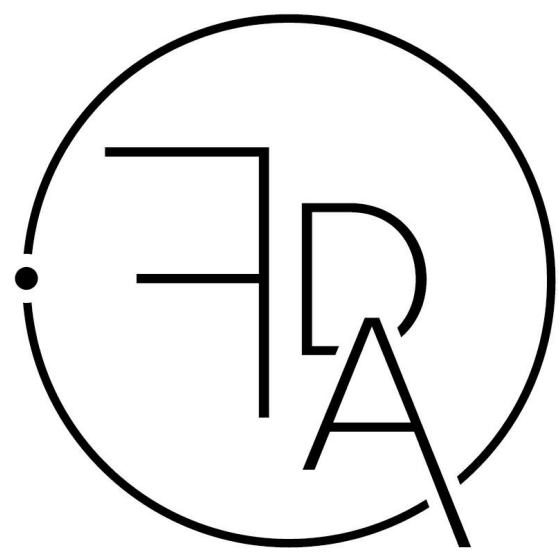


KEY MAP

**THIS IS NOT A PLAN OF
SURVEY.
INFORMATION FOR
PLANNING PURPOSES.**

SITE PLAN - EXISTING

NOT TO SCALE



**FORESHAW
DESIGN
ASSOCIATES**

3 Lee Valley Drive, Unit 2
Port Carling, Ontario, Canada
POB 1J0

705-641-1762
design@foreshewda.com

www.foreshewda.com

PROFESSIONAL ENGINEER

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- PROPERTY BOUNDARY (SECONDARY)
- PROPERTY BOUNDARY (SETBACK)
- EASEMENT
- CONTOURS (MAJOR)
- CONTOURS (MINOR)
- CONTOURS (PROPOSED)
- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- WATER BODY
- PROPOSED STRUCTURE ROOF OVERHANG
- PROPOSED ACCESSORY STRUCTURE
- GASLINE
- WATER/SANITARY
- PROPOSED DRIVEWAY
- ROAD
- TREELINE
- OBJECT REMOVAL
- TREE TRUNK PROTECTION
- PATIO COVERAGE
- LANDSCAPED AREA
- SILT FENCING
- EROSION CONTROL
- PRINCIPAL ENTRANCE

PART 1

CURRENT BY-LAW

TOWNSHIP = MUSKOKA LAKES
 ZONING = WR5-7
 LAKE CLASS = CATEGORY 1
 STRAIGHT LINE FRONTAGE (S.L.F.) = 232'-2" (70.77 m.)

DOCK
 DOCK MAX. LENGTH = 20.1 m. (66'-0")
 DOCK MAX. WIDTH = 25% OF S.L.F. (MAX. 66'-0")
 DOCK SIDE YARD SETBACK = 9.1 m. (30'-0")

BOATHOUSE
 BOATHOUSE MAX. LENGTH = 15.2 m. (50'-0")
 BOATHOUSE MAX. WIDTH = 16% OF S.L.F. (MAX. 75'-0")
 BOATHOUSE SIDE YARD SETBACK = 9.1 m. (30'-0")
 UPPER LEVEL ALLOWED = NO
 HEIGHT LIMIT = 4.9 m. (16'-0")

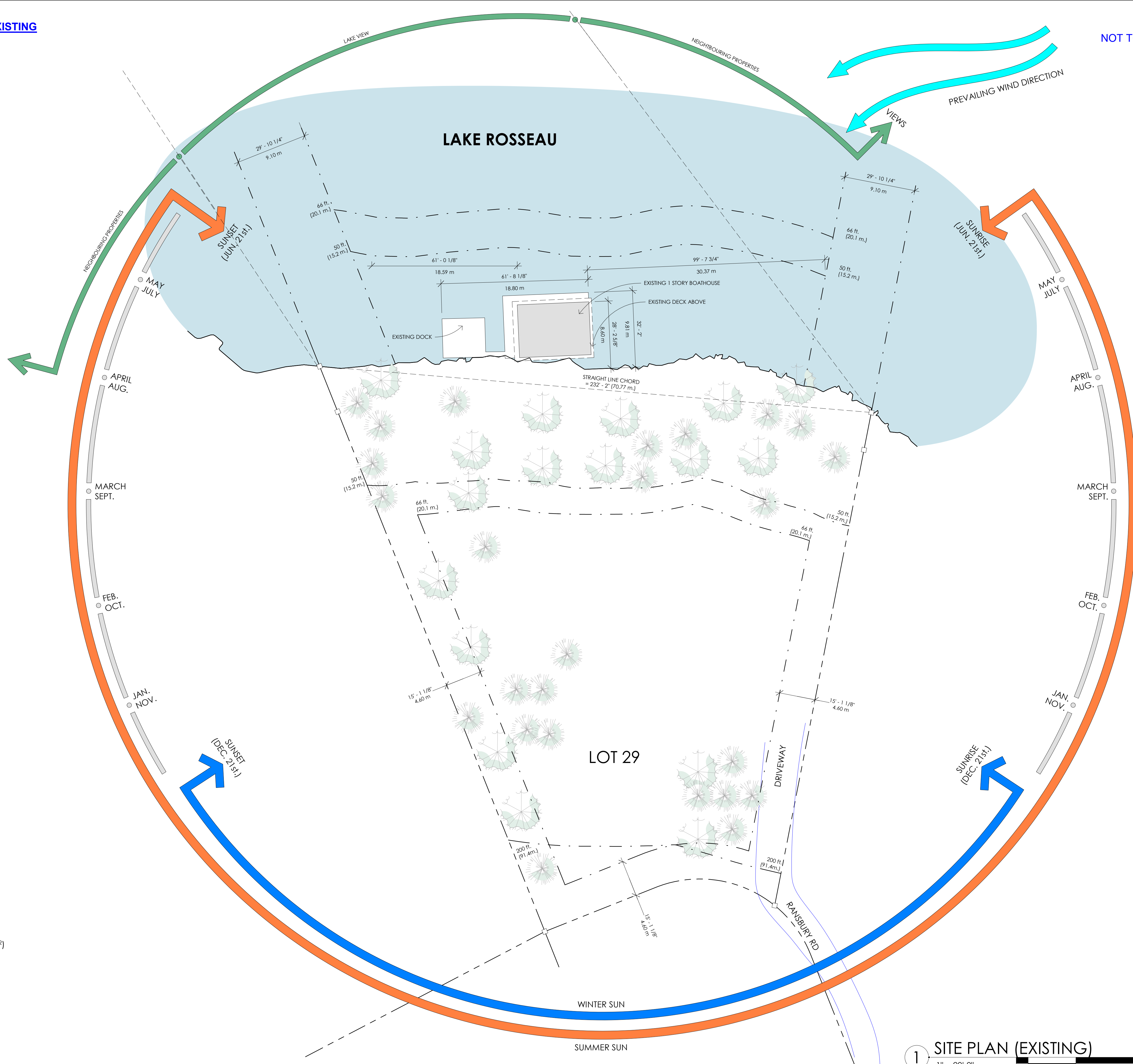
COTTAGE
 MAX. LOT COVERAGE = 10%
 FRONT YARD SETBACK = 20.1 m. (66'-0")
 INTERIOR YARD SETBACK = 4.6 m. (15'-0")
 REAR YARD SETBACK = 4.6 m. (15'-0")
 HEIGHT LIMIT = 10.7 m. (35'-0")
 MIN. GROSS FLOOR AREA = 69.7 m² (750 SQ. FT.)
 MAX. HABITABLE FLOOR AREA = 696.8 m² (7,500 SQ. FT.)
 ACCESSORY BUILDING HEIGHT LIMIT = 6.1 m. (20'-0")

SITE INFORMATION (EXISTING)

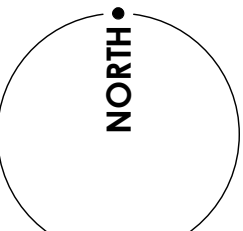
LOT AREA = 37,506.78 SQ. FT. (3,484.49 m²)
 (TOTAL) (0.86 AC.)
 MAX. LOT COVERAGE = 3,750.678 SQ.FT. (348.449 m²)

LOT AREA = 35,373.32 SQ.FT. (3286.28 m²)
 (WITHIN 200 FT OF SHORELINE)
 MAX. LOT COVERAGE = 3,537.33 SQ.FT. (328.628 m²)
 (WITHIN 200 FT OF SHORELINE)

EXISTING STRUCTURE COVERAGE
 WITHIN 200 FEET:
 EXISTING BOATHOUSE = 666.70 SQ.FT.
 (1 STORY)



1 SITE PLAN (EXISTING)
 1" = 20'-0"



FOR INFORMATIONAL PURPOSES

ROGERS COTTAGE & BOATHOUSE
 1019 RANSBURY RD
 PORT CARLING, ON

REV. DESCRIPTION DATE

DRAWN BY
 GSC

PROJECT NUMBER 23010

SHEET NAME
 SITE PLAN (EXISTING)

SHEET NUMBER

A1-1

PLANNING SET : 04/19/2023

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- PROPERTY BOUNDARY (SECONDARY)
- PROPERTY BOUNDARY (SETBACK)
- EASEMENT
- CONTOURS (MAJOR)
- CONTOURS (MINOR)
- CONTOURS (PROPOSED)
- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- WATER BODY
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- EROSION CONTROL
- PRINCIPAL ENTRANCE

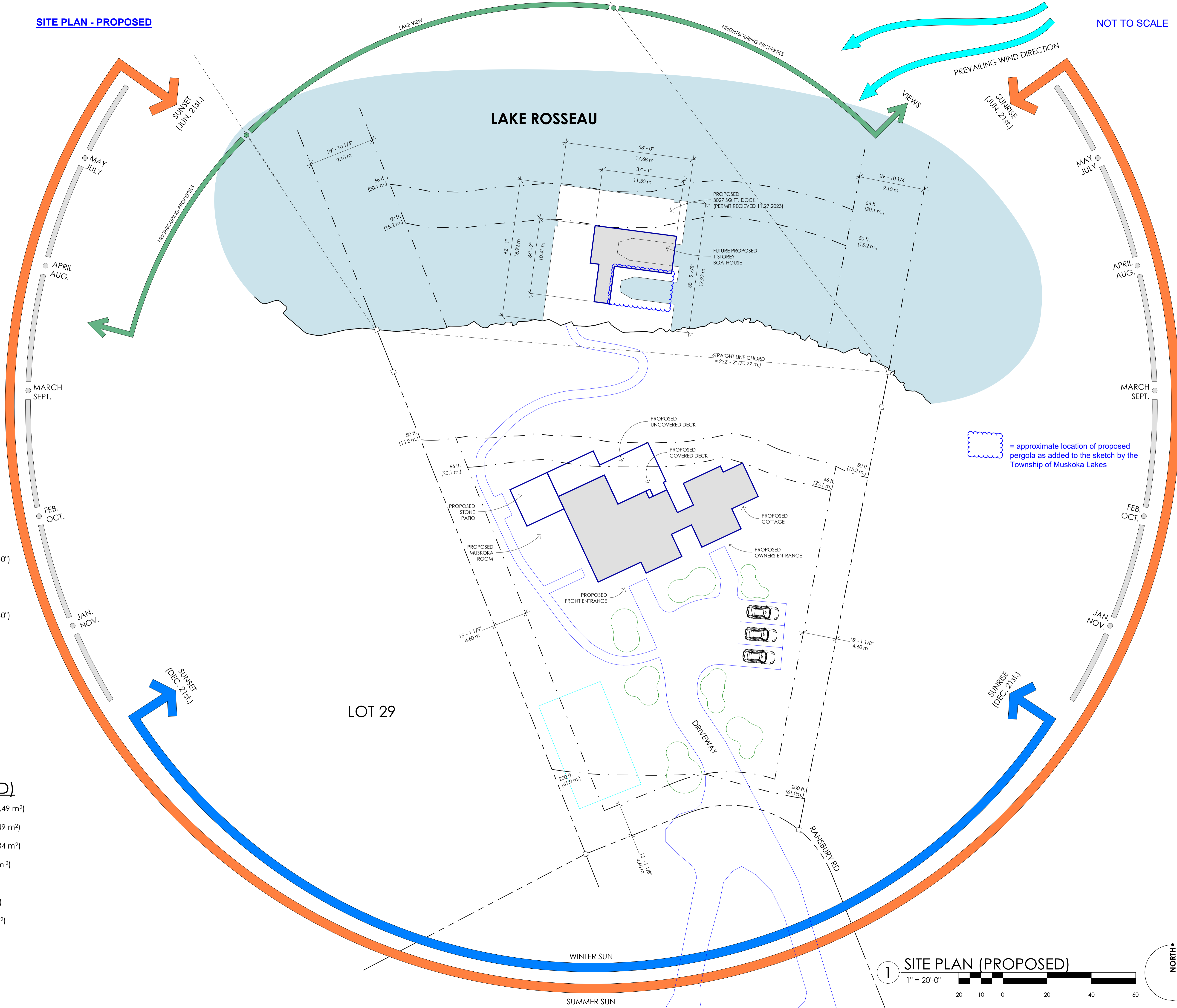
CURRENT BY-LAW

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- ZONING = WR5-7
- LAKE CLASS = CATEGORY 1
- STRAIGHT LINE FRONTAGE (S.L.F.) = 232'-2" (70.77 m.)
- DOCK**
- DOCK MAX. LENGTH = 20.1 m. (66'-0")
- DOCK MAX. WIDTH = 25% OF S.L.F. (MAX. 66'-0")
- = 58'-1 1/2"
- DOCK SIDE YARD SETBACK = 9.1 m. (30'-0")
- BOATHOUSE**
- BOATHOUSE MAX. LENGTH = 15.2 m. (50'-0")
- BOATHOUSE MAX. WIDTH = 16% OF S.L.F. (MAX. 75'-0")
- = 37'-1 3/4"
- BOATHOUSE SIDE YARD SETBACK = 9.1 m. (30'-0")
- UPPER LEVEL ALLOWED = NO
- HEIGHT LIMIT = 4.9 m. (16'-0")
- COTTAGE**
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- MIN. GROSS FLOOR AREA = 69.7 m² (750 SQ. FT.)
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SITE INFORMATION (PROPOSED)

- LOT AREA = 37,506.78 SQ. FT. (3,484.49 m²)
- (TOTAL) (0.86 AC.)
- MAX. LOT COVERAGE = 3,750.678 SQ.FT. (348.449 m²)
- LOT AREA = 35,390.09 SQ.FT. (3287.84 m²)
- (WITHIN 200 FT OF SHORELINE)
- MAX. LOT COVERAGE = 3,539.00 SQ.FT. (328.78 m²)
- (WITHIN 200 FT OF SHORELINE)
- MINOR VARIANCE OF 11% LOT COVERAGE = +353.9 SQ.FT. (32.88 m²)
- TOTAL MAX. LOT COVERAGE (WITHIN 200 FT OF SHORELINE) = 3,892.9 SQ.FT. (361.66m²)
- PROPOSED STRUCTURE COVERAGE**
- WITHIN 200 FEET:
- PROPOSED SINGLE STOREY BOATHOUSE = 752.9 SQFT
- PROPOSED DWELLING = 2,440 SQFT
- PROPOSED FRONT ENTRANCE = 79 SQFT
- PROPOSED MUSKOKA ROOM = 467 SQFT
- PROPOSED COVERED DECK = 154 SQFT
- TOTAL PROPOSED STRUCTURE COVERAGE = 3,892.9 SQFT

SITE PLAN - PROPOSED



NOT TO SCALE



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PROFESSIONAL ENGINEER

ROGERS ON ROSSEAU
BOATHOUSE
 1019 RANSBURY RD
 PORT CARLING, ONTARIO

REV.	DESCRIPTION	DATE
1	ISSUED FOR DOCK PERMIT	11/17/23

DRAWN BY
 ACF

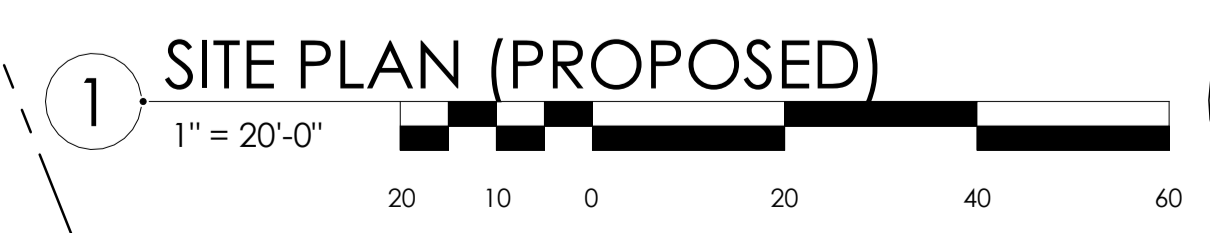
PROJECT NUMBER FDA23011

SHEET NAME
 SITE PLAN

SHEET NUMBER

A1-1

REFERENCE SET : 01/12/2024



1 SITE PLAN (PROPOSED)

FOR INFORMATIONAL PURPOSES



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PROFESSIONAL ENGINEER



Max. Height
22' - 3 7/8"

U/S Ceiling - Main
10' - 0"

T/O Subfloor - Main
0' - 0"

T/O Foundation
-0' - 3 3/4"

U/S Ceiling - Lower Level
-2' - 8 1/8"

T/O Slab - Basement
-12' - 8 1/8"

1 FRONT EXTERIOR ELEVATION
1/4" = 1'-0"
0 1 5 10



Max. Height
22' - 3 7/8"

U/S Ceiling - Main
10' - 0"

T/O Subfloor - Main
0' - 0"

T/O Foundation
-0' - 3 3/4"

U/S Ceiling - Lower Level
-2' - 8 1/8"

T/O Slab - Basement
-12' - 8 1/8"

2 LEFT EXTERIOR ELEVATION
1/4" = 1'-0"
0 1 5 10

FOR INFORMATIONAL PURPOSES

ROGERS ON ROSSEAU COTTAGE
1019 RANSBURY RD
PORT CARLING, ON

REV. DESCRIPTION DATE

DRAWN BY
GSC

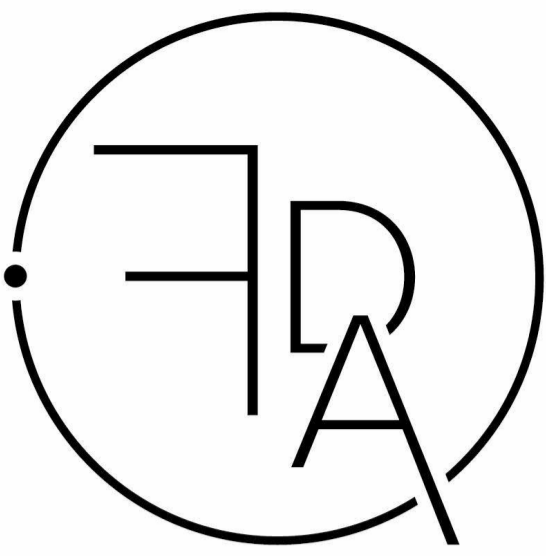
PROJECT NUMBER 23010

SHEET NAME
FRONT & LEFT EXTERIOR
ELEVATIONS

SHEET NUMBER

A3-1

CONCEPT SET : 10/09/2023



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1 REAR EXTERIOR ELEVATION
1/4" = 1'-0"



2 LEFT EXTERIOR ELEVATION
1/4" = 1'-0"



ROGERS ON ROSSEAU COTTAGE
1019 RANSBURY RD
PORT CARLING, ON

REV. DESCRIPTION DATE

DRAWN BY
GSC

PROJECT NUMBER 23010

SHEET NAME
REAR & RIGHT EXTERIOR
ELEVATIONS

SHEET NUMBER

A3-2

FOR INFORMATIONAL PURPOSES

CONCEPT SET : 10/09/2023



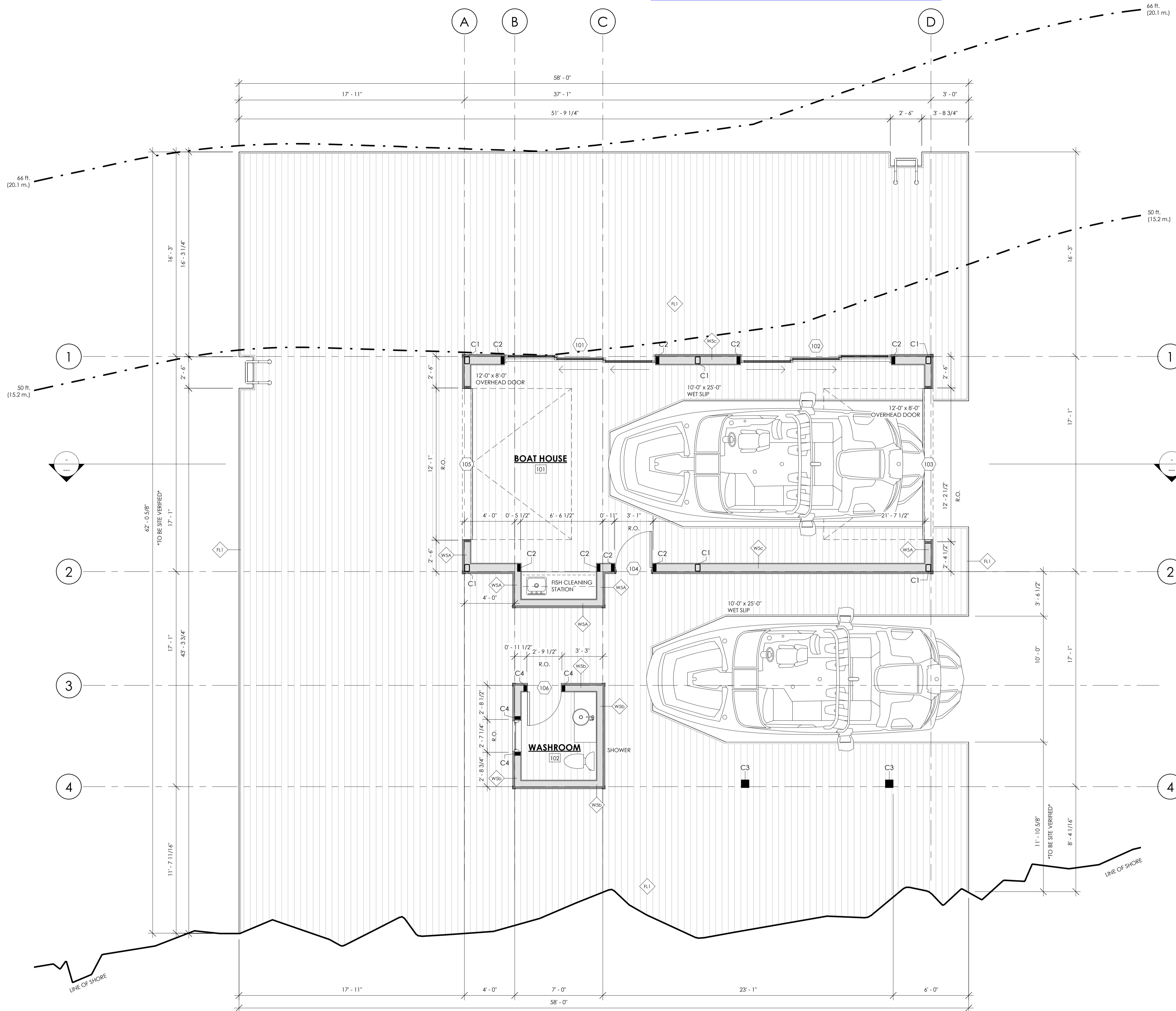
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PROFESSIONAL ENGINEER



ROGERS ON ROSSEAU
BOATHOUSE
1019 RANSBURY RD
PORT CARLING, ONTARIO

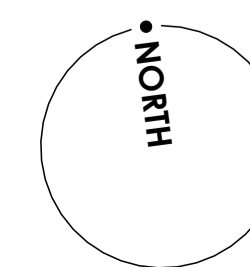
REV.	DESCRIPTION	DATE
1	ISSUED FOR DOCK PERMIT	11/17/23

DRAWN BY
ACF
PROJECT NUMBER FDA23011
SHEET NAME
DOCK LEVEL PLAN

SHEET NUMBER
A2-1

FOR INFORMATIONAL PURPOSES

1 DOCK LEVEL PLAN
1/4" = 1'-0"



REFERENCE SET : 01/12/2024



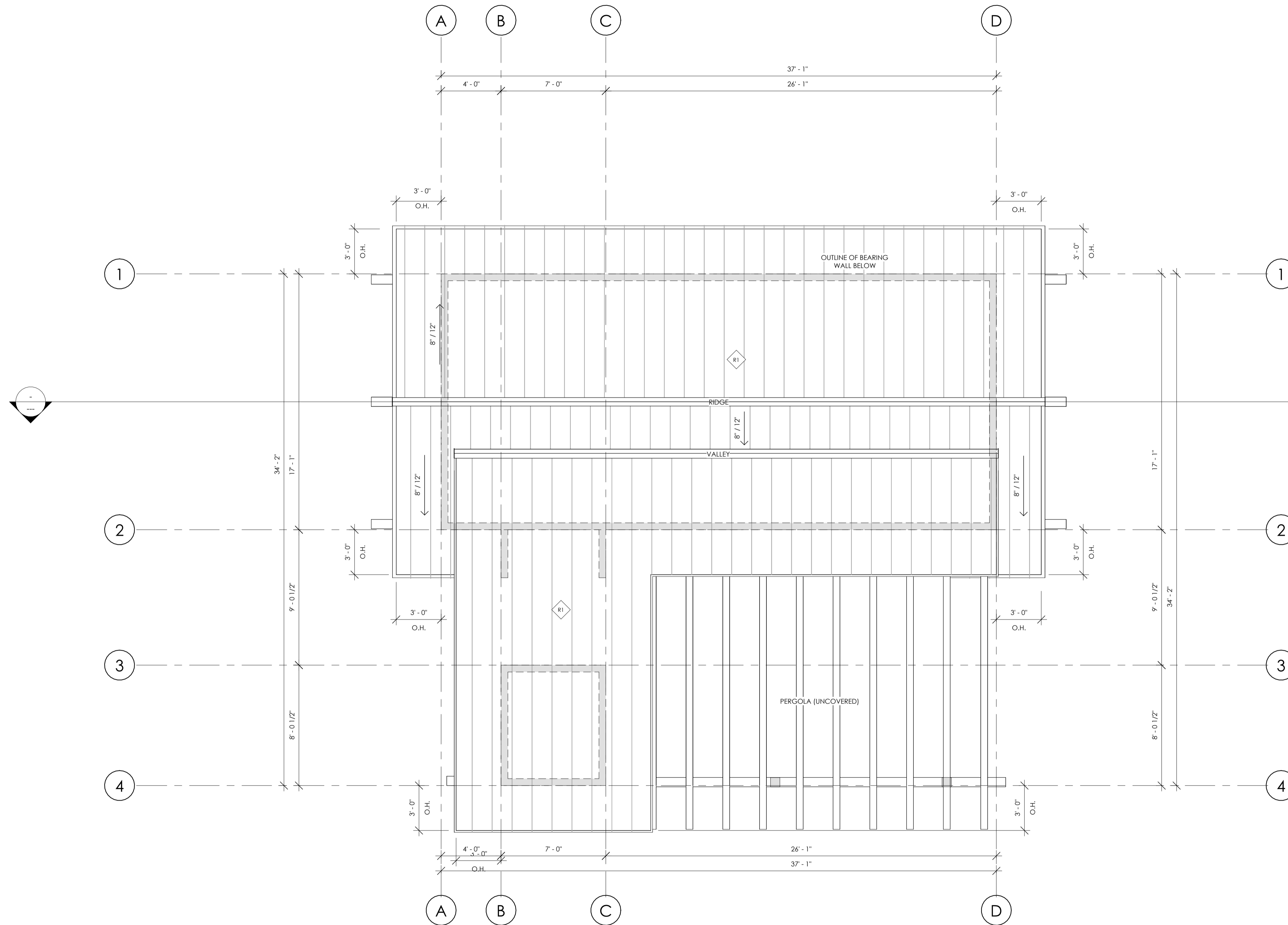
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ROOF SCHEDULE

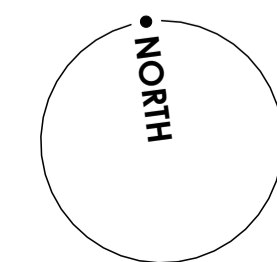
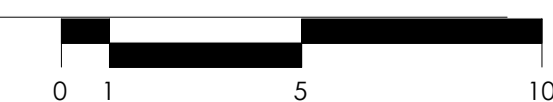
WOOD FRAMED METAL ROOF	
2	LAYER MODIFIED BITUMEN ROOFING
	MEMBRANE COLOUR/FINISH T.B.D
	TAPERED ROOF INSULATION SYSTEM - MIN 1/4"
	PER 1'
	ICE & WATER SHIELD APPLIED TO ENTIRE ROOF
	SURFACE
5/8"	EXTERIOR GRADE PLYWOOD SHEATHING
2 1/4"	STRAPPING VENTILATION CAVITY
1/4"	EXTERIOR GRADE PLYWOOD SHEATHING
10"	(R60 min.) 2lb CLOSED CELL SPRAY FOAM
	INSULATION
	ROOF STRUCTURE
	(REFER TO STRUCTURAL DRAWINGS FOR SIZE
	AND SPACING)
	CILING FINISH - REFER TO INTERIOR DESIGN
	SCHEDULE

ROGERS ON ROSSEAU
BOATHOUSE
1019 RANSBURY RD
PORT CARLING, ONTARIO

REV.	DESCRIPTION	DATE

FOR INFORMATIONAL PURPOSES

1 ROOF PLAN
1/4" = 1'-0"

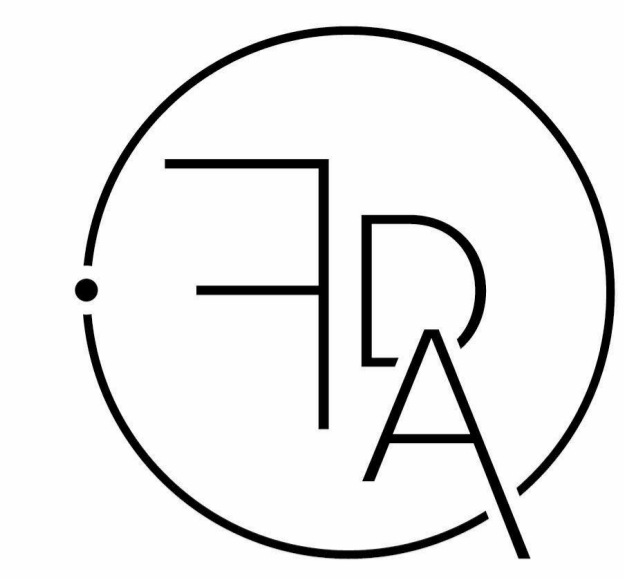


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ACF
PROJECT NUMBER FDA23011
SHEET NAME
ROOF PLAN

SHEET NUMBER

A2-2

REFERENCE SET : 01/12/2024



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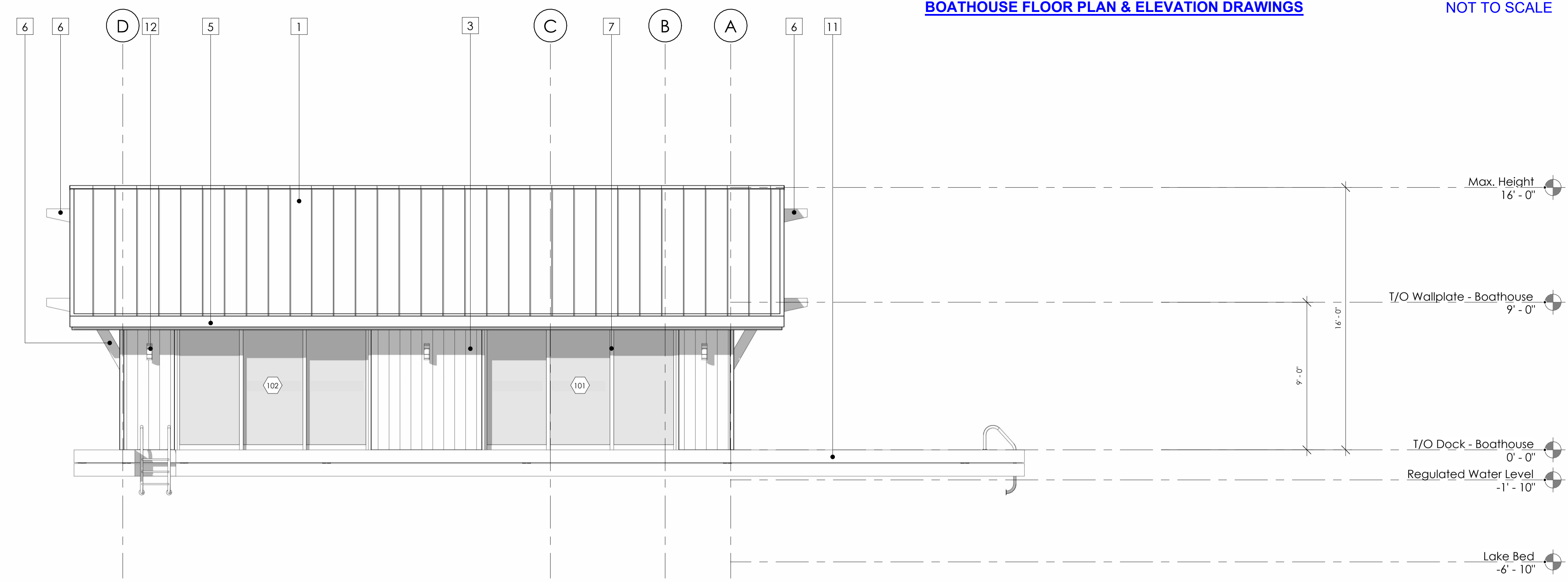
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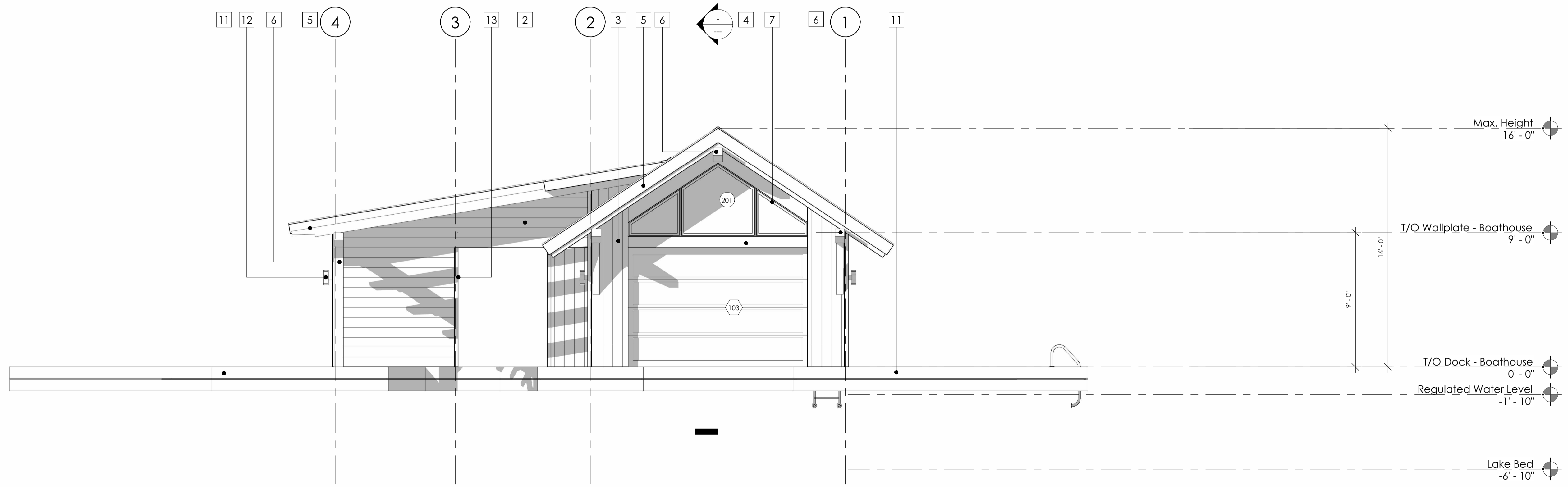
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MATERIAL KEYNOTE LEGEND

KEY VALUE	KEYNOTE DESCRIPTION
1	STANDING SEAM STEEL ROOFING 1 1/2" SEAM, 16" PAN & 24 GAUGE STEEL COLOUR/FINISH TBD
2	1x6 HORIZONTAL WOOD SIDING (SPEC: TBD)
3	1x6 VERTICAL WOOD SIDING (SPEC: TBD)
4	ACM PANEL - COLOUR: BLACK - SPEC (TBD)
5	2 LAYER BUILT-UP FASCIA BOARD (SEE DETAILS)
6	DECORATIVE & STRUCTURAL HEAVY TIMBER COMPONENTS (AS PER APPROVED CONTROL SAMPLE)
7	PRE-FINISHED ALUMINUM DOORS & WINDOWS (FRAME COLOUR: TBD; INTERIORS TBD)
8	ALUMINUM & GLASS OVERHEAD DOOR (COLOUR: TBD); FINAL SPEC TBD
9	1 x 6 T&G VENTED SOFFIT (COLOUR/STAIN:TBD)
10	STRUCTURAL STEEL DOCKWORK FRAMING
11	DOUBLE 2 x 10 P.T. DOCK FASCIA (SPEC:TBA) (SEE DETAILS)
12	LIGHT FIXTURE (FINAL SPEC TBD)
13	EXT. WOOD CORNER TRIM (SPEC:TBA) (COLOUR:TBD)



1 FRONT EXTERIOR ELEVATION
1/4" = 1'-0"



2 LEFT EXTERIOR ELEVATION
1/4" = 1'-0"



FOR INFORMATIONAL PURPOSES

**ROGERS ON ROSSEAU
BOATHOUSE
1019 RANSBURY RD
PORT CARLING, ONTARIO**

REV.	DESCRIPTION	DATE

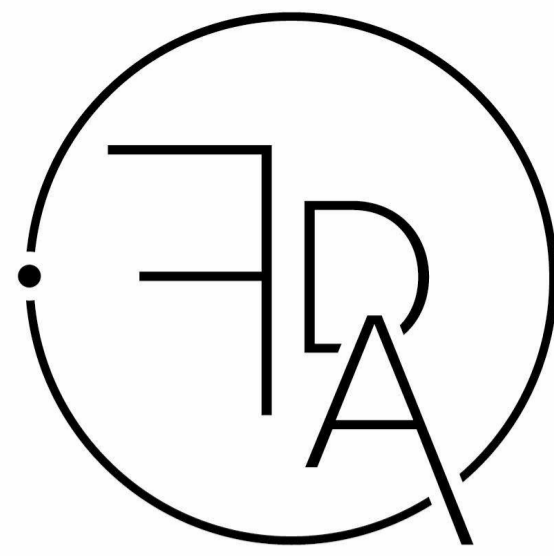
DRAWN BY
ACF

PROJECT NUMBER FDA23011

SHEET NAME
FRONT & LEFT EXTERIOR ELEVATIONS

SHEET NUMBER
A3-1

REFERENCE SET : 01/12/2024



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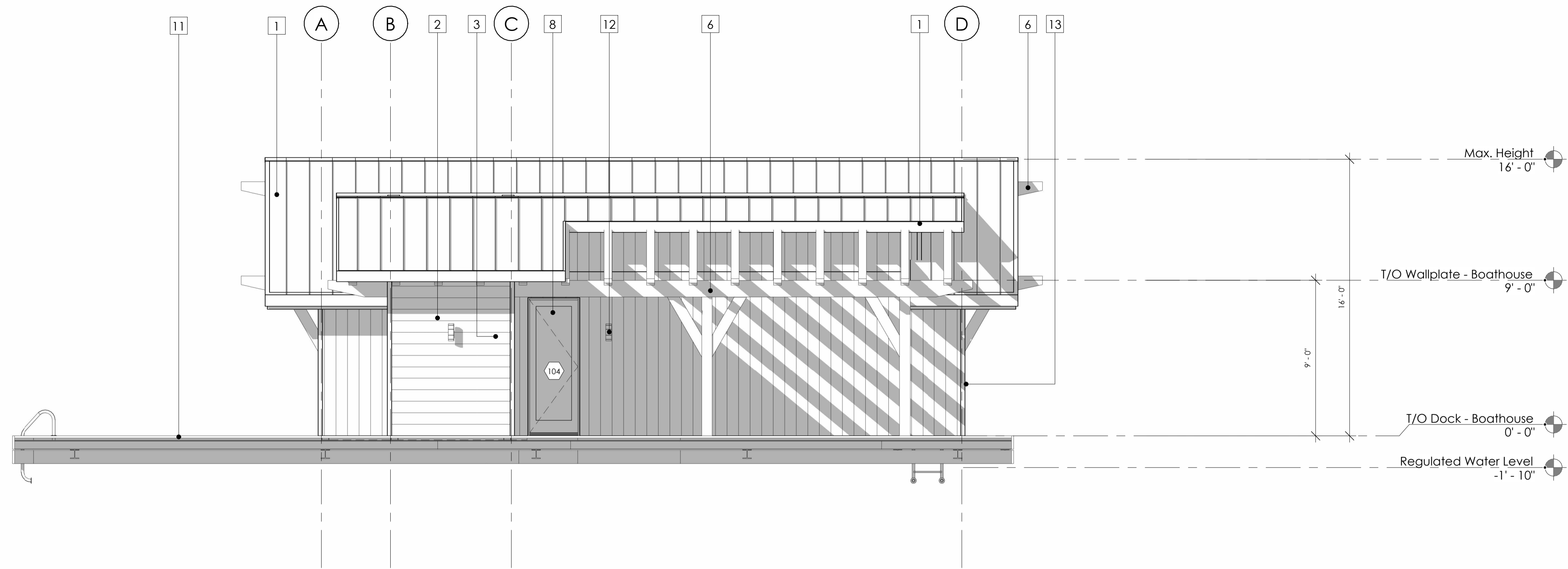
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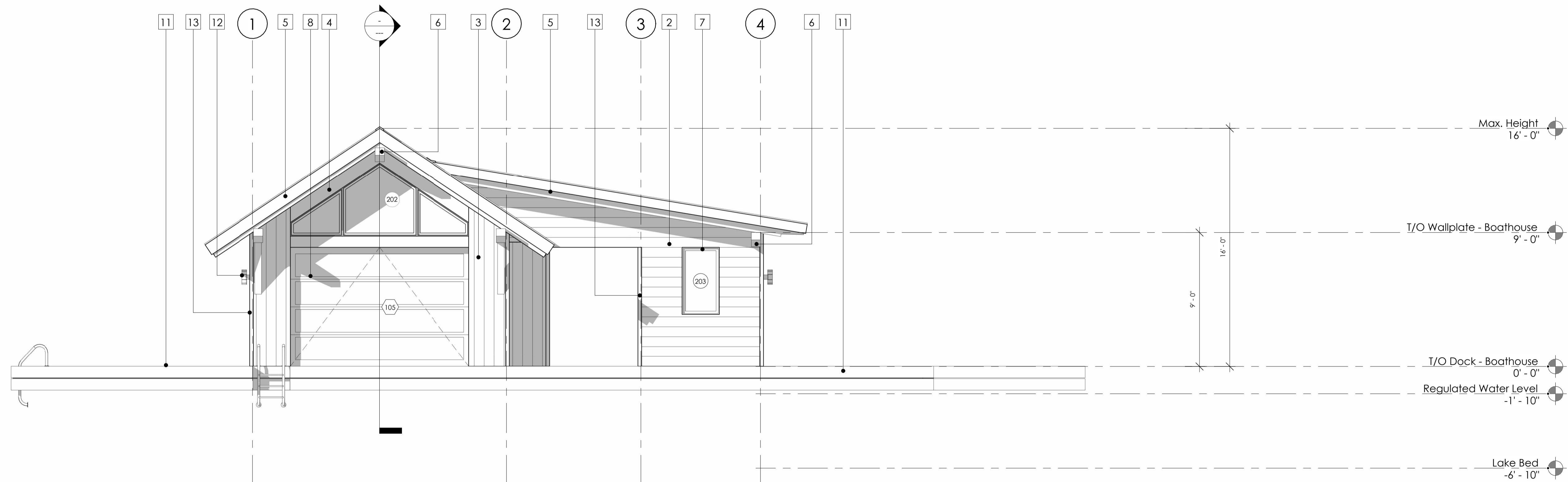
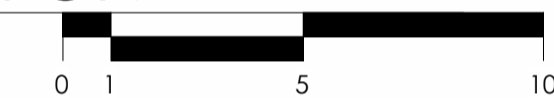
PROFESSIONAL ENGINEER

MATERIAL KEYNOTE LEGEND

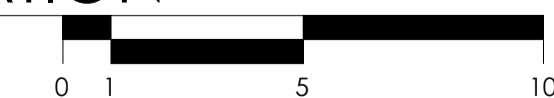
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1 REAR EXTERIOR ELEVATION
1/4" = 1'-0"



2 RIGHT EXTERIOR ELEVATION
1/4" = 1'-0"



FOR INFORMATIONAL PURPOSES

ROGERS ON ROSSEAU
BOATHOUSE
1019 RANSBURY RD
PORT CARLING, ONTARIO

REV. DESCRIPTION DATE

DRAWN BY
ACF
PROJECT NUMBER FDA23011
SHEET NAME
REAR & RIGHT EXTERIOR
ELEVATIONS

SHEET NUMBER

A3-2

REFERENCE SET : 01/12/2024

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

BY-LAW 2024-XXX

Being a By-law to amend Comprehensive Zoning By-law 2014-14, as amended, in the Township of Muskoka Lakes

WHEREAS the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

AND WHEREAS By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

AND WHEREAS the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES ENACTS AS FOLLOWS:

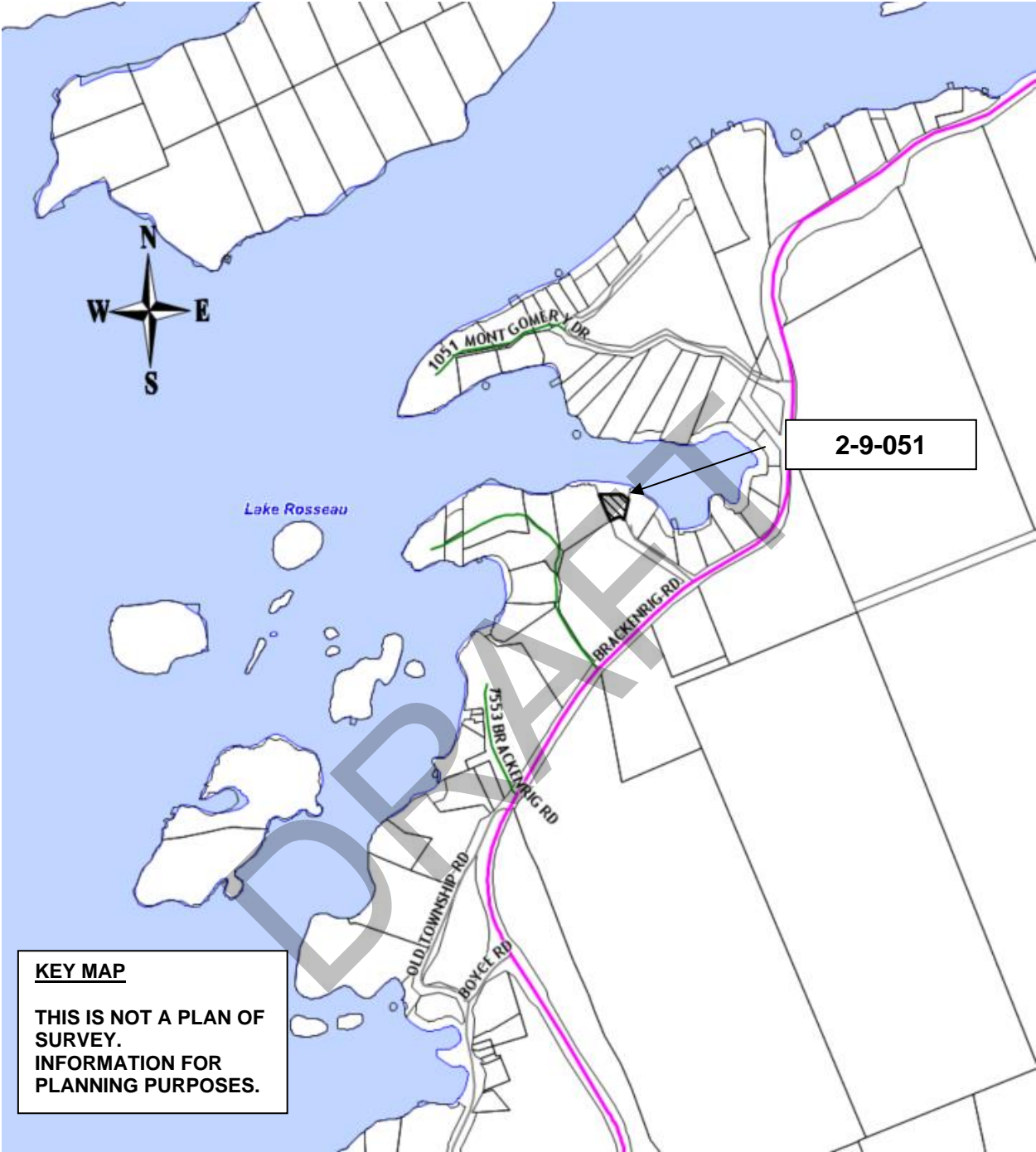
1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:
 - 87-XXXX i) The land affected by this amendment is described as Lot 28, Concession 5, (in the former Township of Watt), now in the Township of Muskoka Lakes, more particularly described as Lot 29, Plan M-362, as shown hatched on Schedule I to By-law 2024-XXX.
 - ii) Despite the provisions of Sections 4.1.3 and 4.1.3.6 of By-law 2014-14, as amended, for those lands described above, the maximum permitted lot coverage over the area of the entire lot shall be 3,893 square feet (10.4%), as shown in the location and extent on Schedule II to By-law 2024-XXX.
 - iii) Despite the provisions of Sections 4.1.3.6 and 4.1.3.7 of By-law 2014-14, as amended, for those lands described above, the maximum permitted lot coverage within 200 feet of the high water mark shall be 3,893 square feet (11%), as shown in the location and extent on Schedule II to By-law 2024-XXX.
 - iv) Despite the provisions of Sections 4.1.7 and 9.1.2 of By-law 2014-14, as amended, for those lands described above, a pergola shall be permitted atop a dock in a Waterbody Open Space (WOS) Zone, as shown in the location and extent on Schedules II and III to By-law 2024-XXX.
2. Schedules I, II, and III attached hereto are hereby made part of this By-law.
3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2024-XXX and By-law 2014-14, as amended, the provisions of By-law 2024-XXX shall apply.

Read a **first, second and third time and finally passed** this **__ day of _____, 2024.**

Peter Kelley, Mayor

Crystal Paroschy, Clerk

SCHEDULE I TO BY-LAW 2024-XXX



KEY MAP
THIS IS NOT A PLAN OF SURVEY. INFORMATION FOR PLANNING PURPOSES.

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- PROPERTY BOUNDARY (SECONDARY)
- PROPERTY BOUNDARY (SETBACK)
- EASEMENT
- CONTOURS (MAJOR)
- CONTOURS (MINOR)
- CONTOURS (PROPOSED)
- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- WATER BODY
- PROPOSED STRUCTURE ROOF OVERHANG
- PROPOSED ACCESSORY STRUCTURE
- GASLINE
- WATER/SANITARY
- PROPOSED DRIVEWAY
- ROAD
- TREELINE
- OBJECT REMOVAL
- TREE TRUNK PROTECTION
- PATIO COVERAGE
- LANDSCAPED AREA
- SILT FENCING
- EROSION CONTROL
- PRINCIPAL ENTRANCE

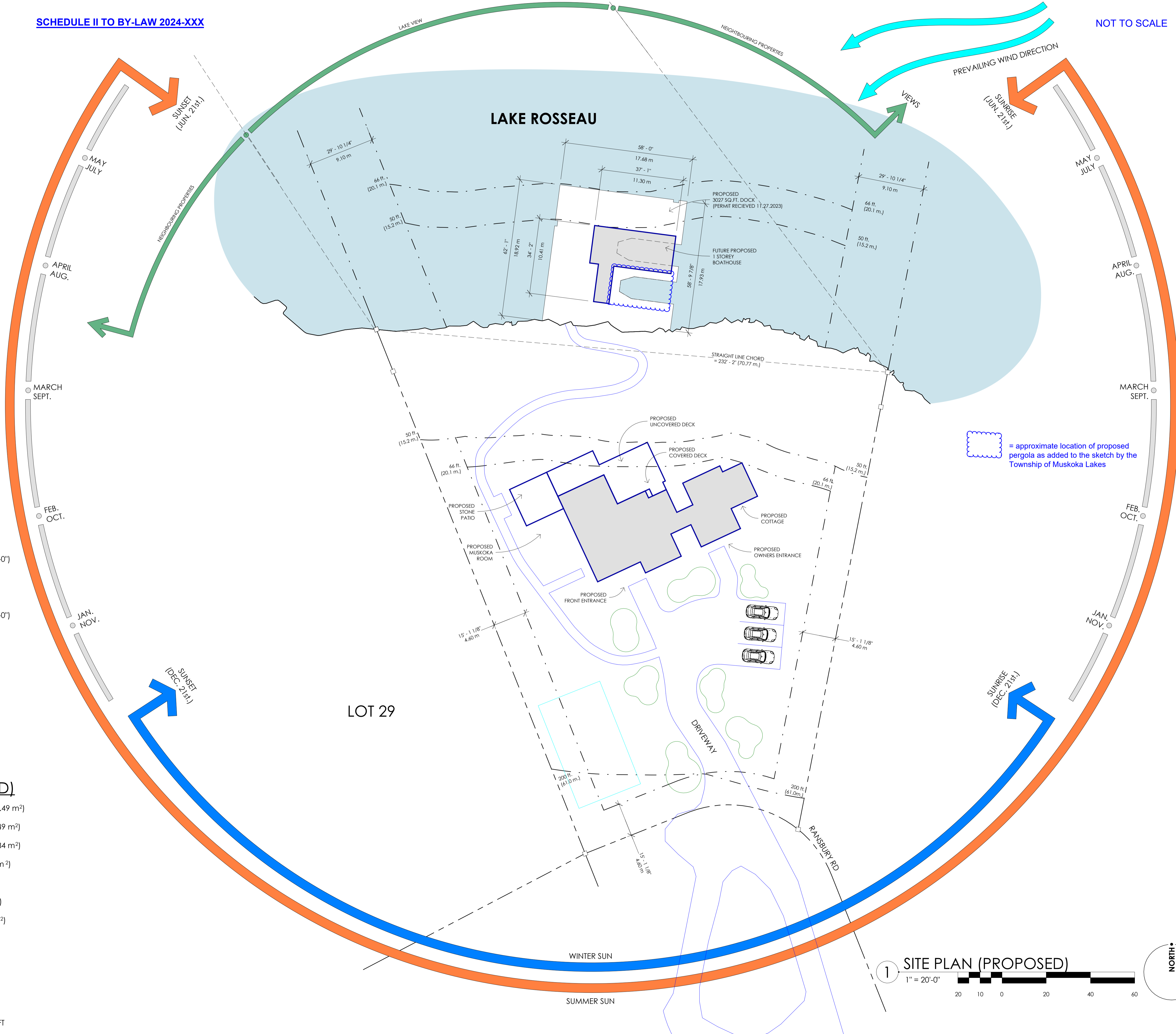
SCHEDULE II TO BY-LAW 2024-XXX

CURRENT BY-LAW

- TOWNSHIP = MUSKOKA LAKES
- ZONING = WR5-7
- LAKE CLASS = CATEGORY 1
- STRAIGHT LINE FRONTAGE (S.L.F.) = 232'-2" (70.77 m.)
- DOCK MAX. LENGTH = 20.1 m. (66'-0")
- DOCK MAX. WIDTH = 25% OF S.L.F. (MAX. 66'-0")
- DOCK SIDE YARD SETBACK = 9.1 m. (30'-0")
- BOATHOUSE MAX. LENGTH = 15.2 m. (50'-0")
- BOATHOUSE MAX. WIDTH = 16% OF S.L.F. (MAX. 75'-0")
- BOATHOUSE SIDE YARD SETBACK = 9.1 m. (30'-0")
- UPPER LEVEL ALLOWED = NO
- HEIGHT LIMIT = 4.9 m. (16'-0")
- COTTAGE MAX. LOT COVERAGE = 10%
- FRONT YARD SETBACK = 20.1 m. (66'-0")
- INTERIOR YARD SETBACK = 4.6 m. (15'-0")
- REAR YARD SETBACK = 4.6 m. (15'-0")
- HEIGHT LIMIT = 10.7 m. (35'-0")
- MIN. GROSS FLOOR AREA = 69.7 m² (750 SQ. FT.)
- MAX. HABITABLE FLOOR AREA = 696.8 m² (7,500 SQ. FT.)
- ACCESSORY BUILDING HEIGHT LIMIT = 6.1 m. (20'-0")

SITE INFORMATION (PROPOSED)

- LOT AREA (TOTAL) = 37,506.78 SQ. FT. (3,484.49 m²)
- MAX. LOT COVERAGE = 3,750.678 SQ.FT. (348.449 m²)
- LOT AREA (WITHIN 200 FT OF SHORELINE) = 35,390.09 SQ.FT. (3287.84 m²)
- MAX. LOT COVERAGE (WITHIN 200 FT OF SHORELINE) = 3,539.00 SQ.FT. (328.78 m²)
- MINOR VARIANCE OF 11% LOT COVERAGE = +353.9 SQ.FT. (32.88 m²)
- TOTAL MAX. LOT COVERAGE (WITHIN 200 FT OF SHORELINE) = 3,892.9 SQ.FT. (361.66m²)
- PROPOSED STRUCTURE COVERAGE WITHIN 200 FEET:
 - PROPOSED SINGLE STOREY BOATHOUSE = 752.9 SQFT
 - PROPOSED DWELLING = 2,440 SQFT
 - PROPOSED FRONT ENTRANCE = 79 SQFT
 - PROPOSED MUSKOKA ROOM = 467 SQFT
 - PROPOSED COVERED DECK = 154 SQFT
- TOTAL PROPOSED STRUCTURE COVERAGE = 3,892.9 SQFT



NOT TO SCALE



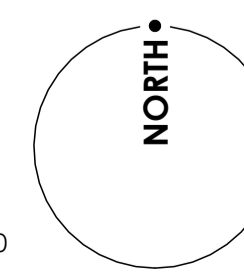
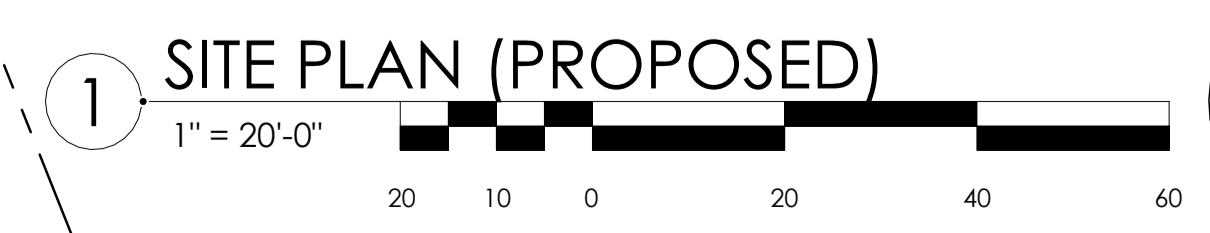
FORESHEEW DESIGN ASSOCIATES
 3 Lee Valley Drive, Unit 2
 Port Carling, Ontario, Canada
 POB 1J0
 705-641-1762
 design@foresheewda.com
 www.foresheewda.com
PROFESSIONAL ENGINEER

ROGERS ON ROSSEAU BOATHOUSE
 1019 RANSBURY RD
 PORT CARLING, ONTARIO

REV.	DESCRIPTION	DATE
1	ISSUED FOR DOCK PERMIT	11/17/23

DRAWN BY
ACF
PROJECT NUMBER FDA23011
SHEET NAME SITE PLAN
SHEET NUMBER

A1-1



REFERENCE SET : 01/12/2024



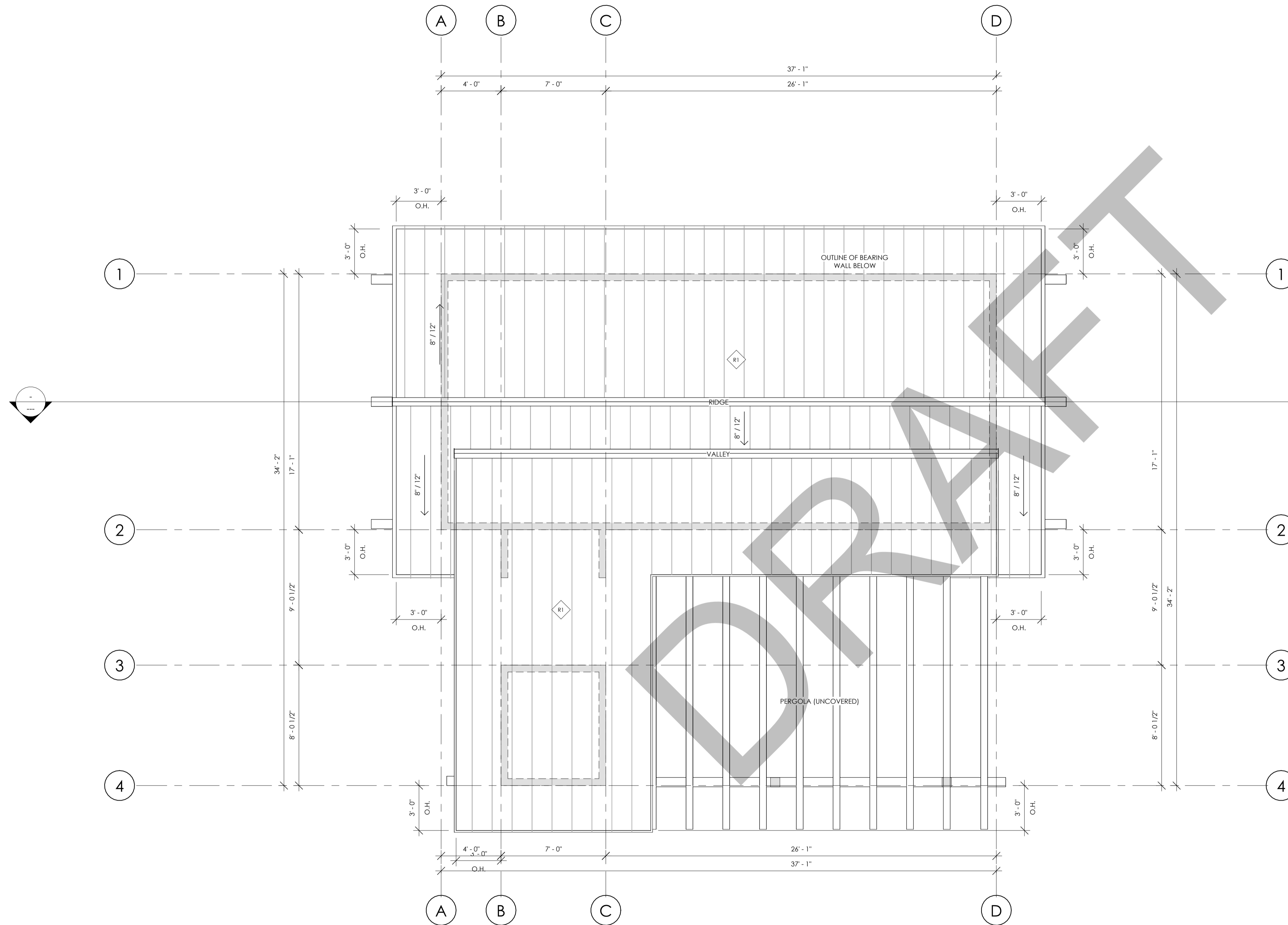
FORESHEW
DESIGN
ASSOCIATES INC.

3 Lee Valley Drive, Unit 2
Port Carling, Ontario, Canada
POB 1J0

705-641-1762
design@foresheewda.com

www.foresheewda.com

PROFESSIONAL ENGINEER



ROOF SCHEDULE

WOOD FRAMED METAL ROOF
 2 LAYER MODIFIED BITUMEN ROOFING
 MEMBRANE COLOUR/FINISH T.B.D
 TAPERED ROOF INSULATION SYSTEM - MIN 1/4" PER 1"
 ICE & WATER SHIELD APPLIED TO ENTIRE ROOF SURFACE
 5/8" EXTERIOR GRADE PLYWOOD SHEATHING
 2 1/4" STRAPPING VENTILATION CAVITY
 1/4" EXTERIOR GRADE PLYWOOD SHEATHING
 10" (R60 min.) 2lb CLOSED CELL SPRAY FOAM INSULATION
 ROOF STRUCTURE
 (REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPACING)
 CEILING FINISH - REFER TO INTERIOR DESIGN SCHEDULE

ROGERS ON ROSSEAU
BOATHOUSE
1019 RANSBURY RD
PORT CARLING, ONTARIO

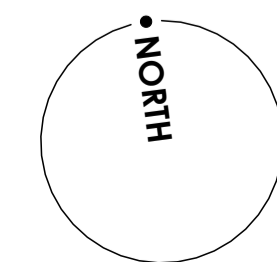
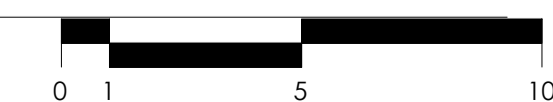
REV.	DESCRIPTION	DATE

DRAWN BY
ACF
PROJECT NUMBER FDA23011
SHEET NAME
ROOF PLAN

SHEET NUMBER

A2-2

1 ROOF PLAN
1/4" = 1'-0"



REFERENCE SET : 01/12/2024