

**NOTICE OF COMPLETE APPLICATION & NOTICE OF PUBLIC MEETING
CONCERNING A PROPOSED AMENDMENT
ZONING BY-LAW #2023-033
OF THE CORPORATION OF THE TOWNSHIP MUSKOKA LAKES**

TAKE NOTICE THAT THE PLANNING COMMITTEE OF THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES WILL HOLD A PUBLIC MEETING IN PERSON AND ELECTRONICALLY FROM THE COUNCIL CHAMBERS, MUNICIPAL OFFICE, PORT CARLING, ONTARIO

July 13, 2023 at 9:00 am

TO CONSIDER a proposed amendment to Zoning By-law 2014-14 of the Corporation of the Township of Muskoka Lakes pursuant to the provisions of Section 34 of the *Planning Act, R.S.O., 1990*.

TAKE FURTHER NOTICE THAT this public meeting will be held in a hybrid forum with both electronic participation via ZOOM, and in-person participation for those wishing to attend in person. **The meeting will be held in the Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario and will commence at 9:00 a.m. More information about viewing and/or participating via ZOOM is included in this Notice and can be found on our website at www.muskokalakes.ca.** Members of the public may also observe the proceedings by accessing the live webcast at www.muskokalakes.ca. If the live webcast fails, the meeting recording will be posted at <https://muskokalakes.civicweb.net/Portal/>.

This notice has been circulated to all property owners to which the proposed by-law would apply, to every owner of land within 240 metres (800 feet) of the area to which the proposed by-law would apply, and to the appropriate officials and agencies according to *Ontario Regulation 404/83* under the *Planning Act, R.S.O., 1990*.

An explanation of the purpose and effect of this by-law, describing the lands to which the by-law applies, and a key map showing the location of the lands are attached.

All inquiries concerning the proposed amendment should be directed to the Planning Department. ANY PERSON may make verbal representation by participating either in person or via the ZOOM meeting and/or may make written representation prior to the meeting. This representation can be in support of or in opposition to the proposed zoning by-law amendment.

If a person or public body would otherwise have an ability to appeal the decision of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If you wish to be notified of the decision of the Township of Muskoka Lakes on the proposed zoning by-law amendment, you must make a written request to the Township of Muskoka Lakes.

ADDITIONAL INFORMATION relating to the proposed zoning by-law amendment may be available upon request. **Please direct all inquiries to the Planning Department:**

The Corporation of the Township of Muskoka Lakes
1 Bailey Street, P.O. Box 129, Port Carling, Ontario P0B 1J0
Telephone: (705) 765-3156, Fax: (705) 765-6755, Email: planning@muskokalakes.ca

DATED at the Corporation of the Township of Muskoka Lakes this 22nd day of June, 2023.

Crystal Paroschy, Clerk
of the Corporation of the
Township of Muskoka Lakes

ZBA#:
ROLL#:
NAME:
CIVIC/911 ADDRESS:

ZBA-08/23
8-18-004
CLAX10 HOLDINGS INC
1 ISLAND OWL M43

EXPLANATION OF THE PURPOSE AND EFFECT OF

ZONING BY-LAW AMENDMENT

ZBA-08/23, BY-LAW 2023-033, CLAX10 HOLDINGS INC.,

Roll # 8-18-004

The land affected by this amendment is described as Island Owl, Part 1, Plan 35R-14719, and Part 1, Plan 35R-16936, (in the former Township of Wood), now in the Township of Muskoka Lakes. The subject land is known municipally as 1 Island Owl M43 and is currently in the ownership of Clax10 Holdings Inc.

The subject land contains a dwelling, a water closet / pumphouse (to be removed), docks, a single storey boathouse, and a two storey boathouse containing a sleeping cabin in the upper level.

Township Council approved Zoning By-law Amendment Application ZBA-18/11, By-law 2011-83 (JPCM Inc.) in August 2011 and the Township's Committee of Adjustment granted Minor Variance Application A-86/12 (JPCM Inc.) in February 2013 to permit a dwelling, a mechanical building, docks, a single storey boathouse, and the re-development of an existing two storey boathouse.

The applicant proposes to construct a two storey dwelling addition, a mechanical building, an addition to an existing swim dock, an addition to an existing dock associated with the existing two storey boathouse, and a single storey boatport addition (with a rooftop sundeck) to the existing two storey boathouse. The two storey dwelling addition is situated within a development envelope approved as part of Application A-86/12, the mechanical building is in a different location than approved in Application ZBA-18/11, and the proposed dock additions will result in docks in a different configuration than approved in Application ZBA-18/11. Through the current application, the applicant proposes to address non-compliances associated with the proposed mechanical building and dock additions.

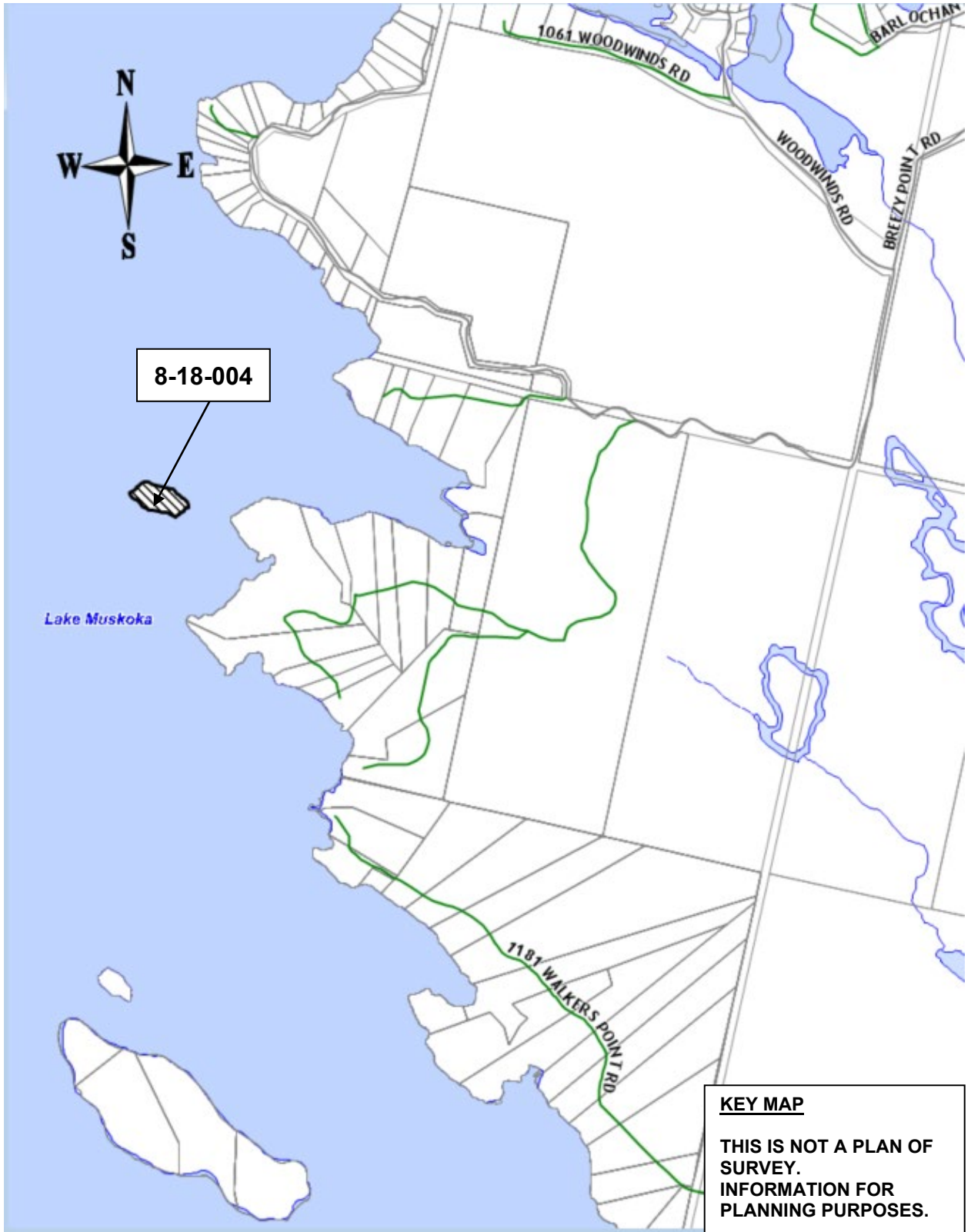
The purpose of By-law 2023-033 is to provide an exemption from Section 1. ii) of By-law 2011-083, being the permitted configuration of a mechanical building and docks on an undersized lot. This exemption, if approved, will permit a mechanical building and dock additions as shown on Schedule II to By-law 2023-033.

The purpose of By-law 2023-033 is also to provide an exemption from Section 1. v) of By-law 2011-083 being the permitted configuration of docks exceeding the maximum permitted width requirement. By-law 2011-083 permits docks with a cumulative width of 119 feet. The applicant proposes to construct dock additions with a total cumulative width of 116 feet in a different configuration than indicated on Schedule II to By-law 2011-083. This exemption, if approved, will permit dock additions as shown Schedule II to By-law 2023-033.

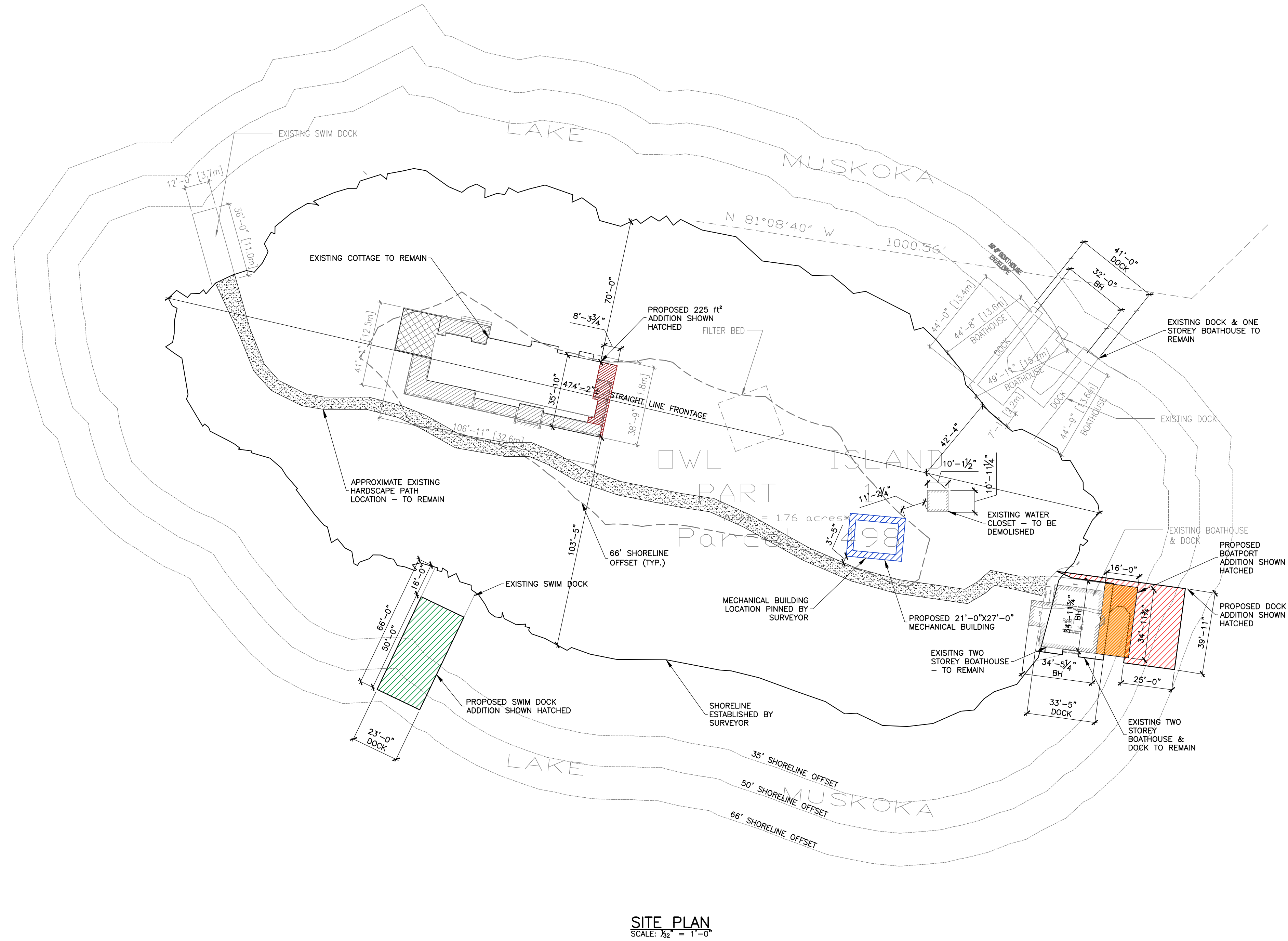
In summary, By-law 2011-083 will have the effect of permitting a mechanical building and dock additions.

See Key Map on the Following Page

KEY MAP

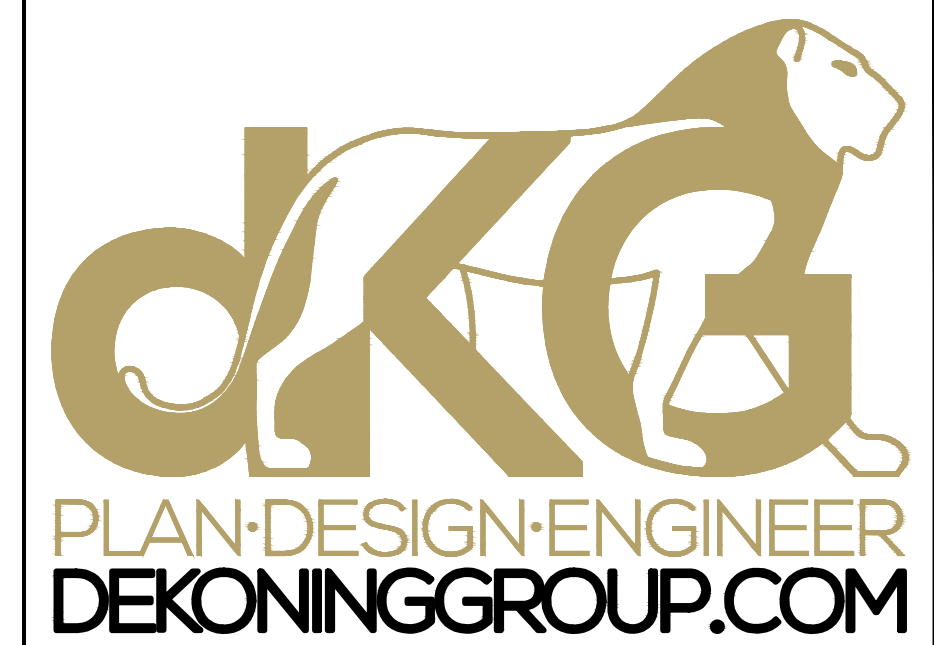


PROPERTY INFORMATION	
ZONING:	WR3
ROLL NUMBER:	445308001800400
STRAIGHT LINE FRONTAGE:	143'-4"
LOT COVERAGE ANALYSIS OF PROPERTY WITHIN 200FT OF HIGH WATER MARK	
PROPERTY AREA:	76507 SQ. FT.
ALLOWABLE COVERAGE WITHIN 200FT OF HIGH WATER MARK:	7651 SQ. FT. (10.0%)
AREA OF EXISTING COTTAGE:	3875 SQ. FT. (5.06%)
AREA OF COTTAGE ADDITION: (COTTAGE COVERAGE INCREASING 64 SQ. FT.)	225 SQ. FT.
TOTAL PROPOSED COTTAGE WITH ADDITION:	3939 SQ. FT. (5.15%)
AREA OF EXISTING BOATHOUSE:	1176 SQ. FT. (1.54%)
AREA OF EXISTING BOATHOUSE:	912 SQ. FT. (1.19%)
AREA OF PROPOSED BOATPORT:	560 SQ. FT. (0.73%)
AREA OF PROPOSED MECHANICAL BUILDING:	567 SQ. FT. (0.74%)
TOTAL PROPOSED LOT COVERAGE:	7154 SQ. FT. (9.35%)
PROPOSED DOCK ADDITIONAL ANALYSIS	
PRESENT DOCK CUMULATIVE WIDTH:	115'-11"
PROPERTY FRONTAGE:	474'-0"
ALLOWED DOCK EXTENSION CUMULATIVE WIDTH:	75'-0"
PROPOSED DOCK EXTENSION WIDTH:	62'-11"



SITE PLAN
SCALE: 1/32" = 1'-0"

NOT TO SCALE



DE KONING GROUP

Mail: 36 Beach Road
Utterson, Ontario POB 1M0

Office: 3 Armstrong Point Road
Port Carling, Ontario POB 1J0

705.640.3800
info@dekoningroup.com

No.	Revision/Issue Column	Date
3	ISSUED FOR ZONING BY LAW AMMENDMENT	JUN.19.2023
2	ISSUED FOR ZONING BY LAW AMMENDMENT	JUN.15.2023
1	ISSUED FOR REVIEW	JUN.15.2023

CLIENT

JASON CLAXTON

PROJECT

OWL ISLAND
TOWNSHIP OF MUSKOKA LAKES
LAKE MUSKOKA

DRAWING

PROPOSED SITE PLAN

APPROVED

ISSUED FOR REVIEW
NOT FOR CONSTRUCTION

DATE	DEC.2022
PROJECT	22-50-01
DESIGNED	JTL
REVIEWED	N&K
SCALE	AS SHOWN
SHEET	SP5

FOR INFORMATIONAL PURPOSES ONLY

AREA OF EXISTING DECKING: 941 ft²
 AREA OF EXISTING FASCIA: 16 ft²
 EXISTING FASCIA LENGTH: 126 ft

AREA OF PROPOSED DECKING: 1046 ft²
 AREA OF PROPOSED FASCIA: 20.5 ft²
 PROPOSED FASCIA LENGTH: 162.5 ft

APPROXIMATE SHORELINE (TYP.)

2xX PT/CEDAR DECKING (TYP.)

OUTLINE OF DECK ABOVE

EXISTING BOATHOUSE TO REMAIN

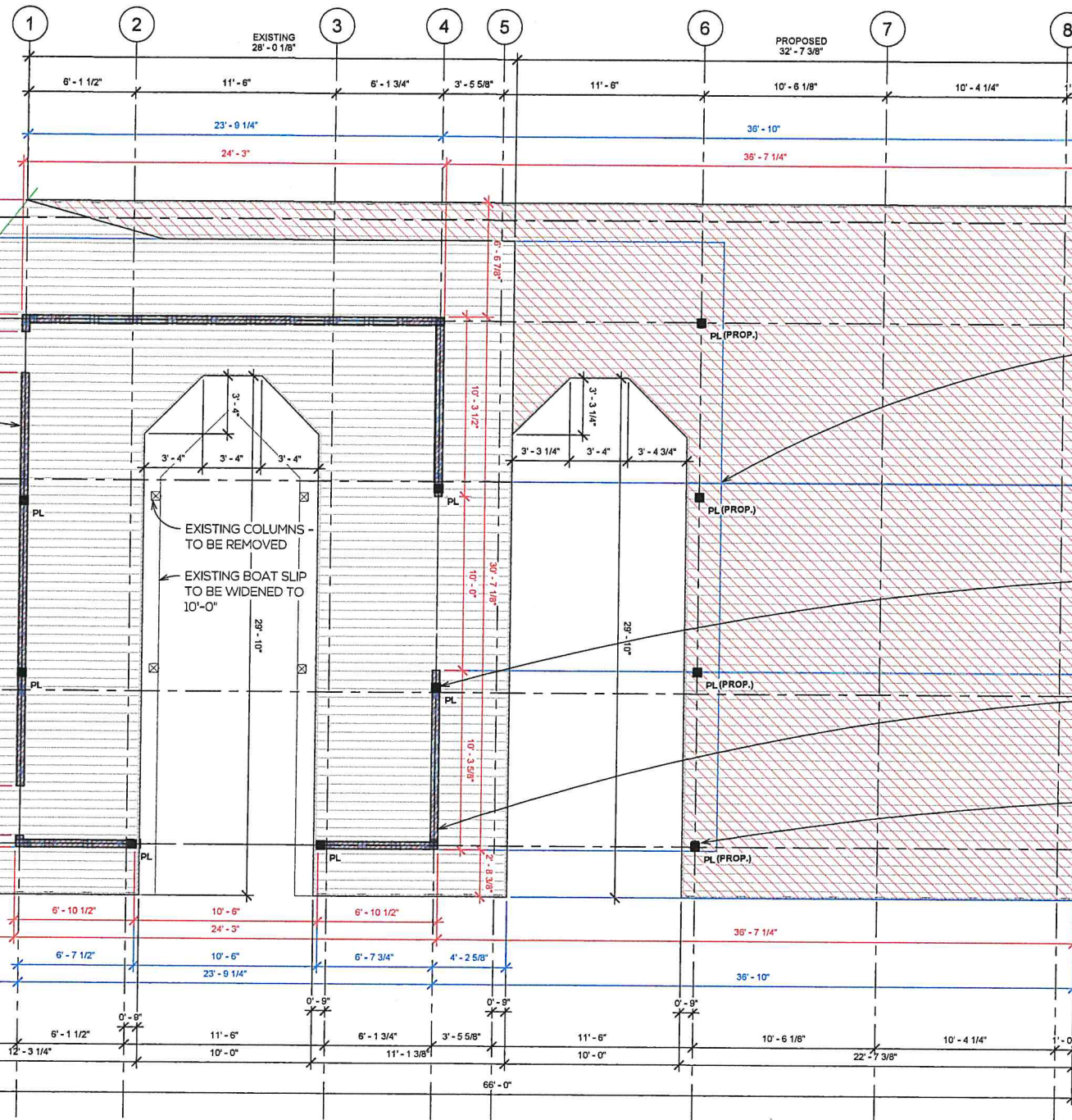
PROPOSED DOCK TO SHORE - EXTENT TO BE VERIFIED

BLUE DIMENSIONS REFERENCE CENTER OF WALL TUBE LOCATIONS (TYP.)

EXISTING MASONRY TO REMAIN

EDGE OF DECKING (TYP.)

RED DIMENSIONS REFERENCE EXTERIOR WALL FRAMING MEMBER LOCATIONS (TYP.)



1 PLAN VIEW
 1/4" = 1'-0"



Mail: 35 Beach Road, 3 Armstrong Point Road, Utterson, Ontario, Port Carling, Ontario, POB 1140, POB 130

705.640.3800
 info@dekoningroup.com
 PROFESSIONAL ENGINEER

**FOR REVIEW
 NOT PERMIT**

OWL ISLAND BOATHOUSE

DOCK

OWL ISLAND
 TOWNSHIP OF MUSKOKA LAKES, LAKE MUSKOKA

Client: JASON CLAXTON

REV.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	2023.03.09

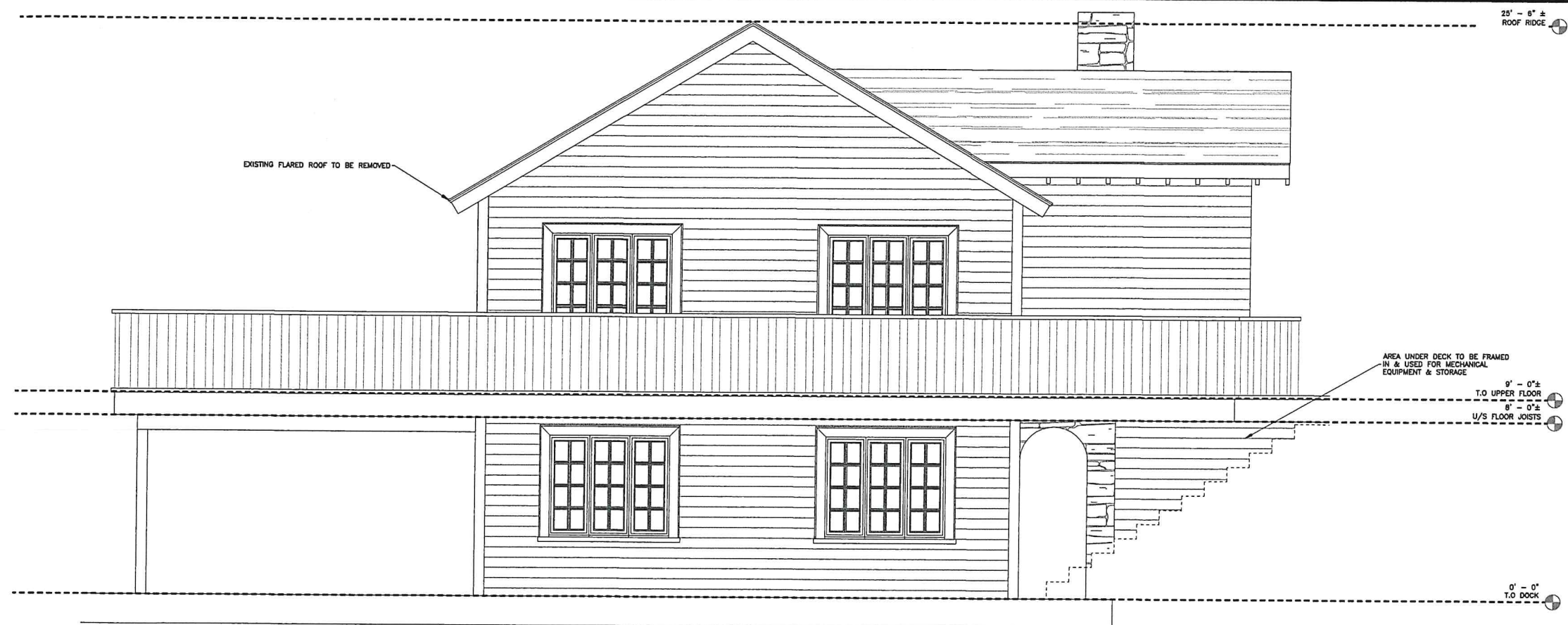
Decking Plan

P/N: 22-50-01
 Project Date: FEB 2023
 Drawn / Checked: DM / NdK

A1-1
 Scale: 1/4" = 1'-0"

REVIEWSET: 2023.03.09

NOT TO SCALE



NORTH ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



PLAN·DESIGN·ENGINEER
DEKONINGGROUP.COM

DE KONING GROUP

Mail: 36 Beach Road
Utterson, Ontario POB 1M0

Office: 3 Armstrong Point Road
Port Carling, Ontario POB 1J0

705.640.3800
info@dekoningroup.com

No.	Revision/Issue Column	Date
3	ISSUED FOR REVIEW	MAR.09.2023
2	ISSUED FOR REVIEW	FEB.10.2023
1	ISSUED FOR REVIEW	JAN.11.2023

CLIENT
JASON CLAXTON

PROJECT
**OWL ISLAND
OWL ISLAND
TOWNSHIP OF MUSKOKA LAKES
LAKE MUSKOKA**

DRAWING
NORTH & SOUTH ELEVATIONS

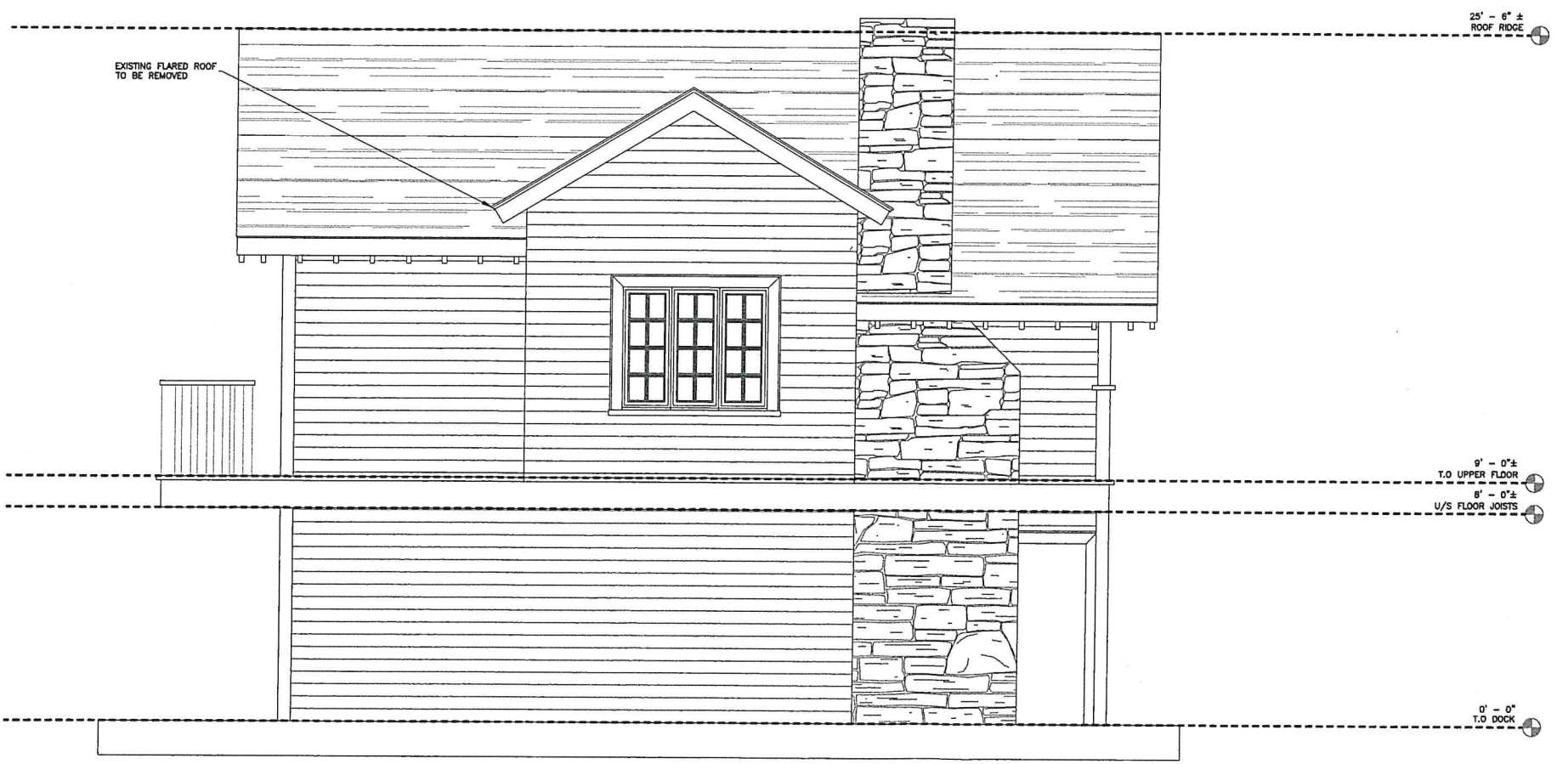
APPROVED
**ISSUED FOR REVIEW
NOT FOR CONSTRUCTION**

DATE	DEC.2022
PROJECT	22-50-01
DESIGNED	JTL
REVIEWED	NJK
SCALE	AS SHOWN

SHEET
A1



EAST ELEVATION
SCALE: 3/8" = 1'-0"



WEST ELEVATION
SCALE: 3/8" = 1'-0"



DE KONING GROUP

Mail: 36 Beach Road
Utterson, Ontario POB 1M0
Office: 3 Armstrong Point Road
Port Carling, Ontario POB 1J0
705.640.3800
info@dekoningroup.com

No.	Revision/Issue Column	Date
3	ISSUED FOR REVIEW	MAR.09.2023
2	ISSUED FOR REVIEW	FEB.10.2023
1	ISSUED FOR REVIEW	JAN.11.2023

CLIENT
JASON CLAXTON

PROJECT
**OWL ISLAND
OWL ISLAND
TOWNSHIP OF MUSKOKA LAKES
LAKE MUSKOKA**

DRAWING
EAST & WEST ELEVATIONS

APPROVED
**ISSUED FOR REVIEW
NOT FOR CONSTRUCTION**

DATE	DEC.2022
PROJECT	22-50-01
DESIGNED	JTL
REVIEWED	Ndk
SCALE	AS SHOWN

SHEET
A2

FOR INFORMATIONAL PURPOSES ONLY



DE KONING GROUP

Mail: 36 Beach Road
 Utterson, Ontario POB 1M0
 Office: 3 Armstrong Point Road
 Port Carling, Ontario POB 1J0

705.640.3800
 info@dekoningroup.com

3	ISSUED FOR REVIEW	MAR.09.2023
2	ISSUED FOR REVIEW	FEB.10.2023
1	ISSUED FOR REVIEW	JAN.11.2023

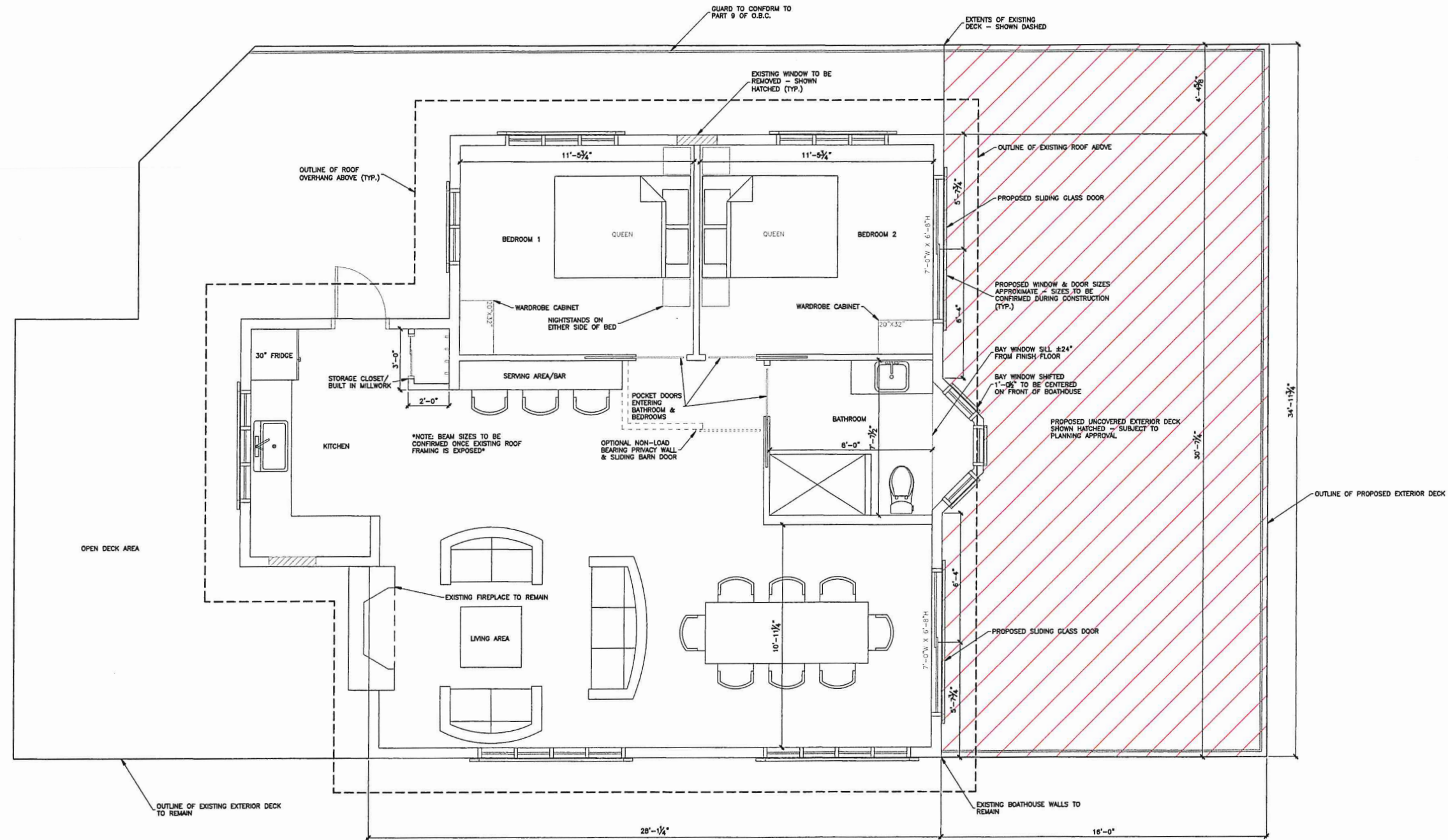
CLIENT
JASON CLAXTON

PROJECT
 OWL ISLAND
 OWL ISLAND
 TOWNSHIP OF MUSKOKA LAKES
 LAKE MUSKOKA

DRAWING
UPPER FLOOR PLAN

APPROVED
**ISSUED FOR REVIEW
 NOT FOR CONSTRUCTION**

DATE	DEC.2022
PROJECT	22-50-01
DESIGNED	JTL
REVIEWED	H&K
SCALE	AS SHOWN
SHEET	A4



PROPOSED SECOND FLOOR PLAN
 SCALE: 3/8" = 1'-0"

NOT TO SCALE

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

BY-LAW 2023-033

Being a By-law to amend Comprehensive Zoning By-law 2014-14, as amended, in the Township of Muskoka Lakes

WHEREAS the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

AND WHEREAS By-law 2014-14 were enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

AND WHEREAS the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

NOW THEREFORE the Council of the Corporation of the Township of Muskoka Lakes enacts as follows:

1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:

87-2078	i)	The land affected is described as Island Owl, (in the former Township of Wood), now in the Township of Muskoka Lakes, more particularly described as Part 1, Plan 35R-14719, and Part 1, Plan 35R-16936, as shown hatched on Schedule I to By-law 2023-033.
	ii)	Despite the provisions of Section 1. ii) of By-law 2011-083, for those lands described above, a mechanical building and dock additions are permitted as shown in the location and extent on Schedule II to By-law 2023-033.
	iii)	Despite the provisions of Section 1. v) of By-law 2011-083, for those lands described above, the maximum permitted cumulative dock width shall be 116 feet, as shown in the location and extent on Schedule II to By-law 2023-033.

All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2023-033 and By-law 2014-14, as amended, the provisions of By-law 2023-033 shall apply.

3. Schedules I and II attached hereto are hereby made part of this By-law.

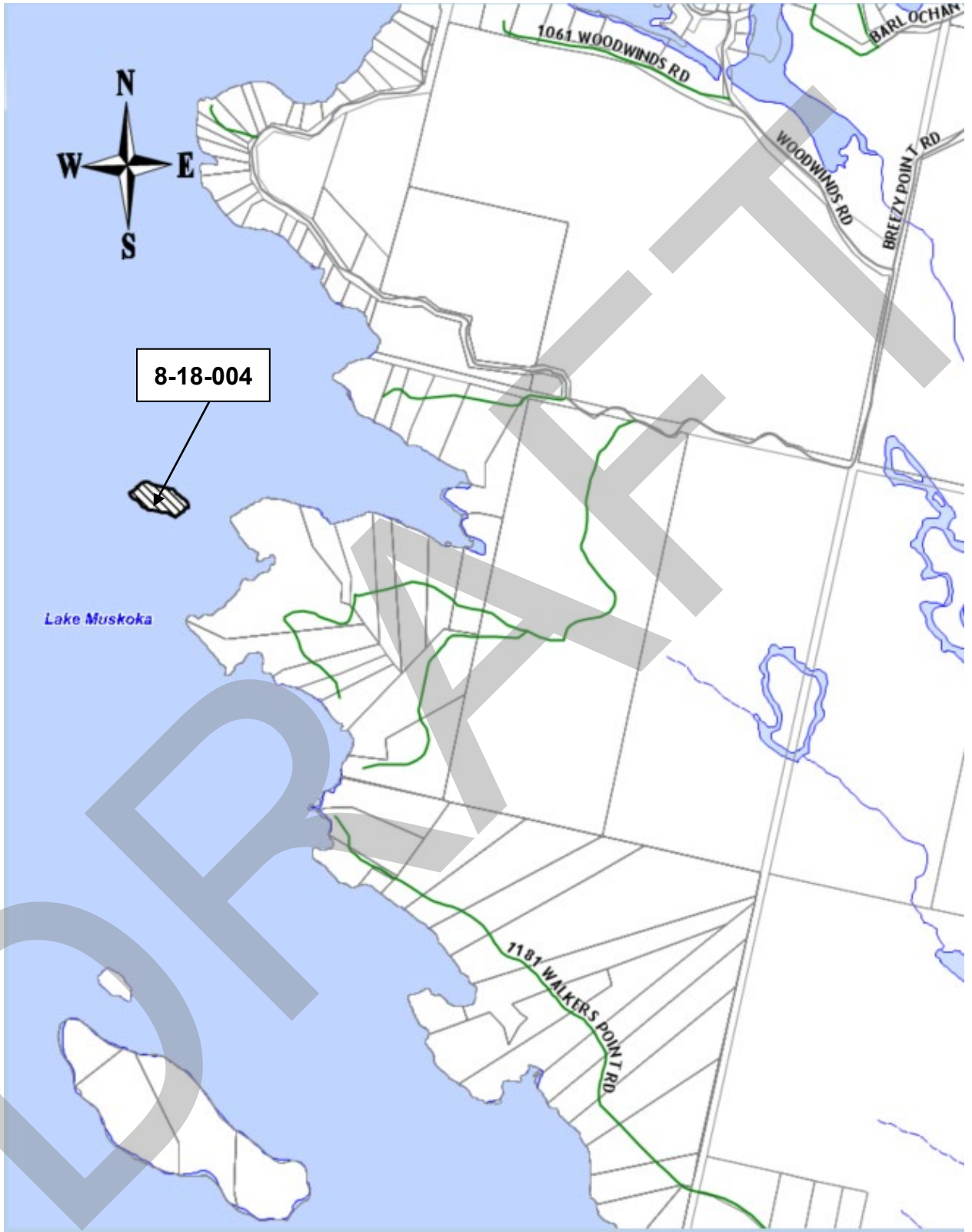
READ A FIRST AND SECOND TIME this ____ day of _____, 2023.

READ A THIRD TIME AND FINALLY PASSED this ____ day of _____, 2023.

Peter Kelley, Mayor

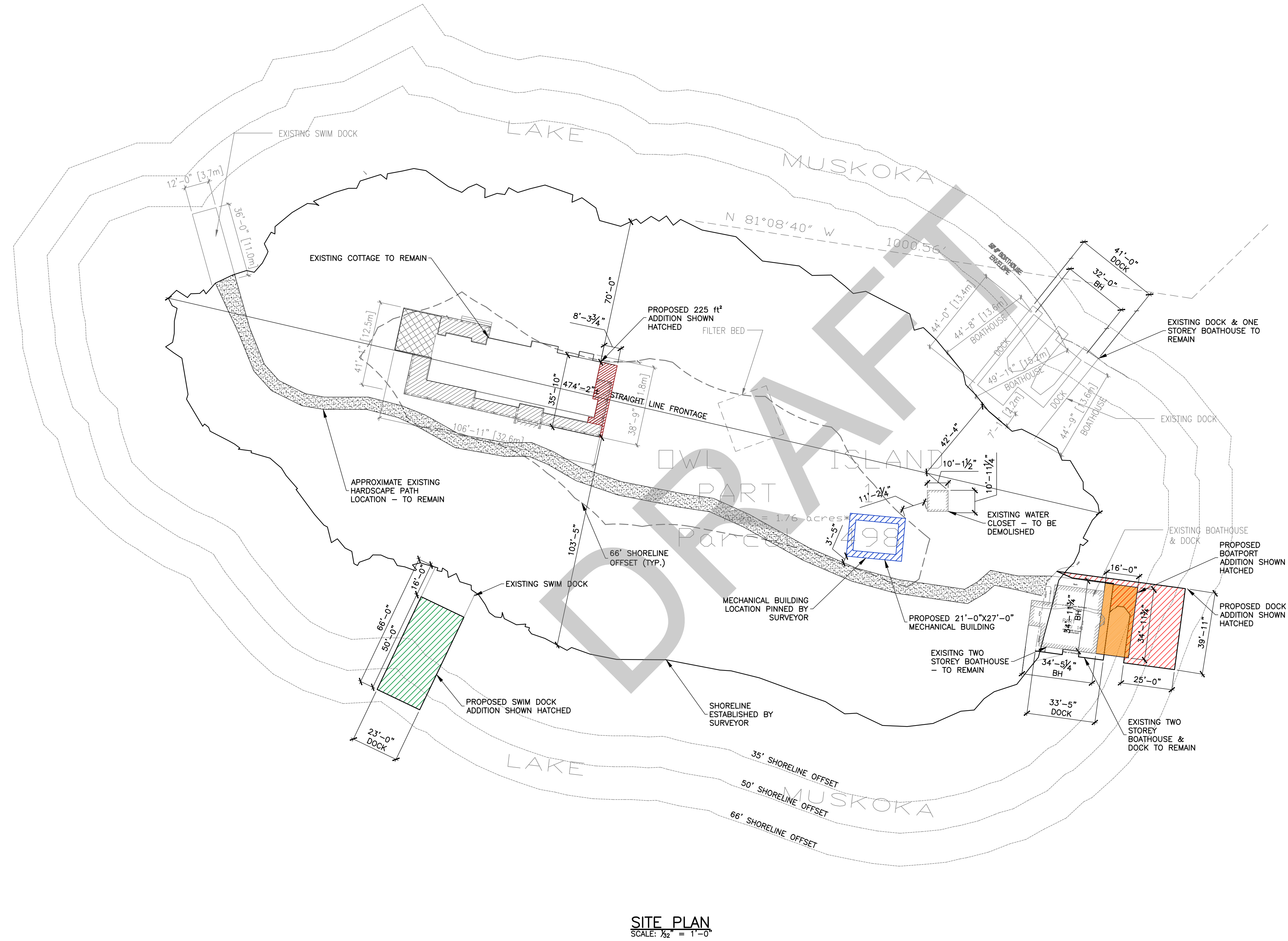
Crystal Paroschy, Clerk

SCHEDULE I TO BY-LAW 2023-033



SCHEDULE II TO BY-LAW 2023-033

PROPERTY INFORMATION	
ZONING:	WR3
ROLL NUMBER:	445308001800400
STRAIGHT LINE FRONTAGE:	143'-4"
LOT COVERAGE ANALYSIS OF PROPERTY WITHIN 200FT OF HIGH WATER MARK	
PROPERTY AREA:	76507 SQ. FT.
ALLOWABLE COVERAGE WITHIN 200FT OF HIGH WATER MARK:	7651 SQ. FT. (10.0%)
AREA OF EXISTING COTTAGE:	3875 SQ. FT. (5.06%)
AREA OF COTTAGE ADDITION: (COTTAGE COVERAGE INCREASING 64 SQ. FT.)	225 SQ. FT.
TOTAL PROPOSED COTTAGE WITH ADDITION:	3939 SQ. FT. (5.15%)
AREA OF EXISTING BOATHOUSE:	1176 SQ. FT. (1.54%)
AREA OF EXISTING BOATHOUSE:	912 SQ. FT. (1.19%)
AREA OF PROPOSED BOATPORT:	560 SQ. FT. (0.73%)
AREA OF PROPOSED MECHANICAL BUILDING:	567 SQ. FT. (0.74%)
TOTAL PROPOSED LOT COVERAGE:	7154 SQ. FT. (9.35%)
PROPOSED DOCK ADDITIONAL ANALYSIS	
PRESENT DOCK CUMULATIVE WIDTH:	115'-11"
PROPERTY FRONTAGE:	474'-0"
ALLOWED DOCK EXTENSION CUMULATIVE WIDTH:	75'-0"
PROPOSED DOCK EXTENSION WIDTH:	62'-11"



DE KONING GROUP

Mail: 36 Beach Road
Utterson, Ontario POB 1M0

Office: 3 Armstrong Point Road
Port Carling, Ontario POB 1J0

705.640.3800
info@dekoningroup.com

No.	Revision/Issue Column	Date
3	ISSUED FOR ZONING BY LAW AMMENDMENT	JUN.19.2023
2	ISSUED FOR ZONING BY LAW AMMENDMENT	JUN.15.2023
1	ISSUED FOR REVIEW	JUN.15.2023

CLIENT

JASON CLAXTON

PROJECT

**OWL ISLAND
OWL ISLAND
TOWNSHIP OF MUSKOKA LAKES
LAKE MUSKOKA**

DRAWING

PROPOSED SITE PLAN

APPROVED

**ISSUED FOR REVIEW
NOT FOR CONSTRUCTION**

DATE	DEC.2022
PROJECT	22-50-01
DESIGNED	JTL
REVIEWED	N&K
SCALE	AS SHOWN
SHEET	SP5

NOT TO SCALE