



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, July 10th, 2023 at 9:00 a.m.

File #: A-94/22

Roll #: 9-8-001

Civic Address: 2356 Muskoka Road

Owners: Wayne and Peggy Dmytryshyn, 2356 Muskoka Road 118 W, Bracebridge, ON P1L 1W8

Legal Description: Part of Lot 25, Concessions 9 and 10 (Monck)

Lake/River: N/A

Zoning: Rural Residential (RUR-S)

Zoning Schedule: 38

EXPLANATION OF THE PURPOSE AND EFFECT: The applicant proposes to construct an addition to an existing dwelling.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	6.1.3	Maximum Lot Coverage	2,292 sq. ft. (5%)	2,885 sq. ft. (6.3%)	593 sq. ft.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those who wish to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM hearing is included in this Notice and can be found on our website at www.muskokalakes.ca.

ADDITIONAL INFORMATION relating to the proposed variance application is available from the Planning Department weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

Please quote the file number noted above.

YOU OR YOUR REPRESENTATIVE are entitled to participate in this public hearing and make verbal representation and/or make written representation prior to the meeting. Comments can be submitted by emailing planning@muskokalakes.ca or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

IF YOU WISH TO SPEAK to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

NO ONE OTHER THAN the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

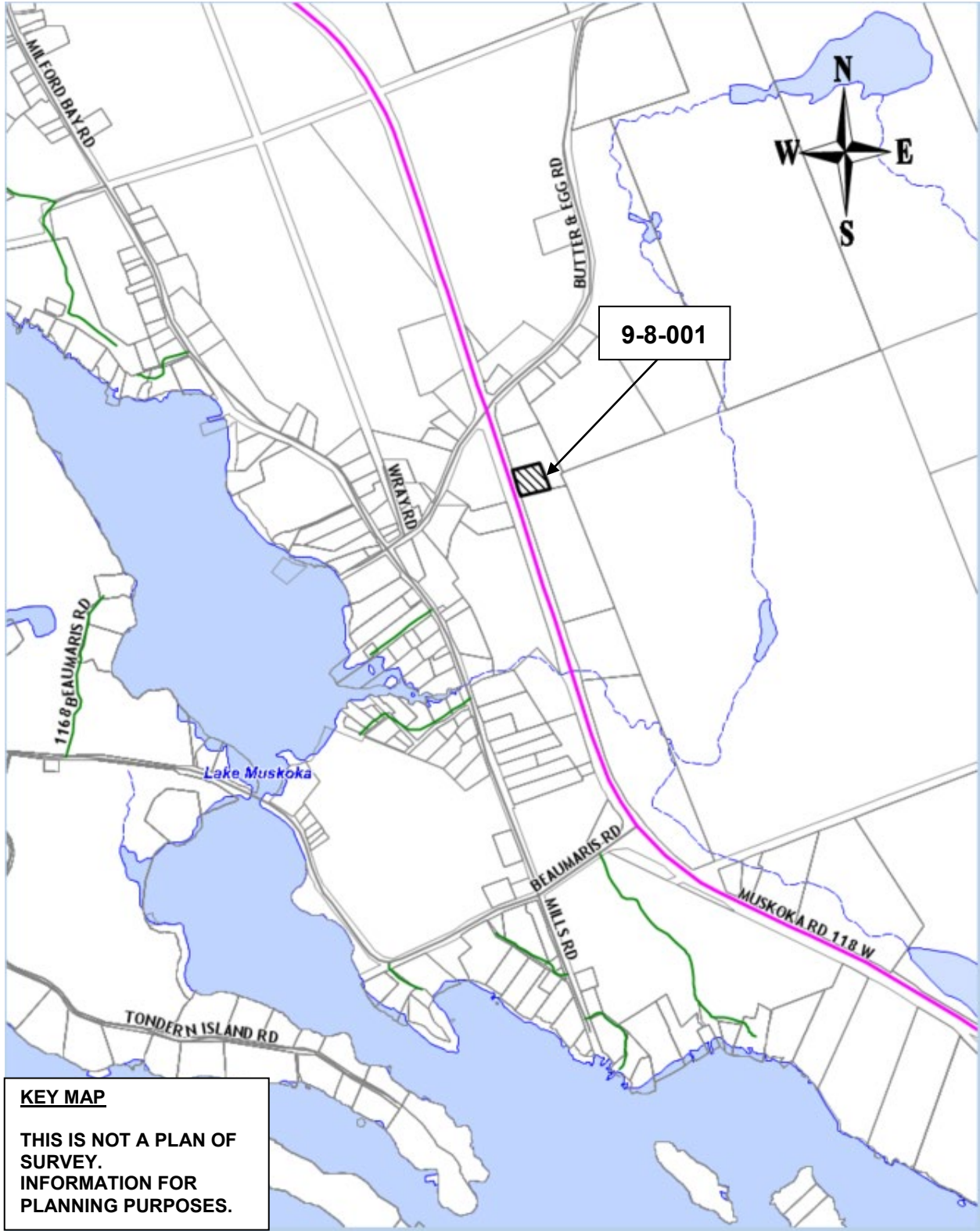
THE HEARING will be live-streamed on the Township's live webcast at: www.muskokalakes.ca If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 30th day of June, 2023.

"Original Signed by K. Bavington"
Kitty Bavington,
Secretary-Treasurer
Committee of Adjustment

KEY MAP

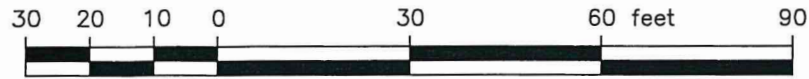


KEY MAP
THIS IS NOT A PLAN OF SURVEY.
INFORMATION FOR PLANNING PURPOSES.

NOT TO SCALE

PART OF LOT 25, CONCESSIONS 9+10
GEOGRAPHIC TOWNSHIP OF MONCK
TOWNSHIP OF MUSKOKA LAKES
DISTRICT MUNICIPALITY OF MUSKOKA

SCALE 1" = 30'



WAYNE DMYTRYSHYN PROPERTY
2356 MUSKOKA ROAD 118W
Roll# 4453-090-008-00100
Zoning: RUR-S

AREA ANALYSIS

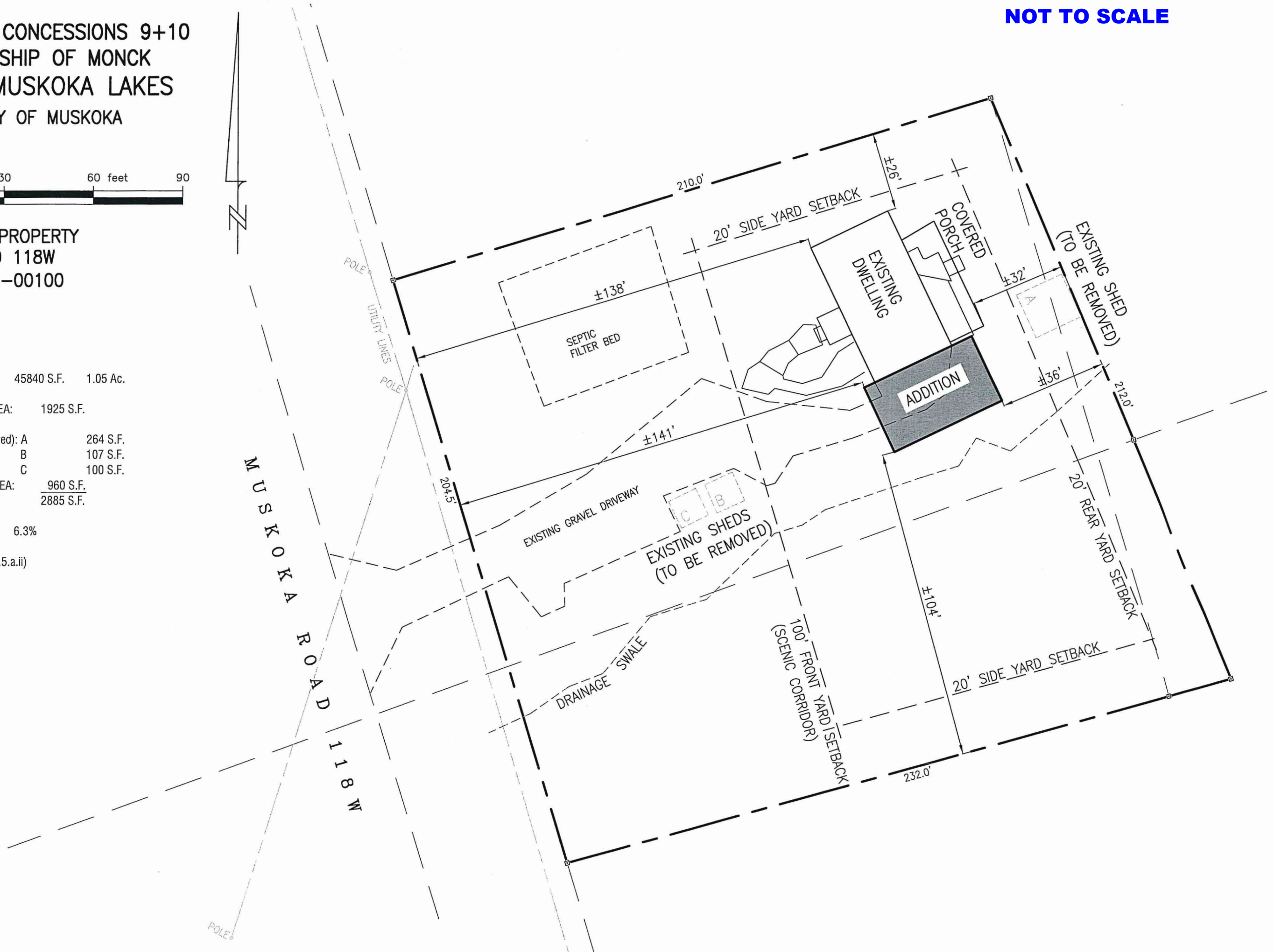
TOTAL SITE AREA: 45840 S.F. 1.05 Ac.

EXISTING RESIDENCE COVERAGE AREA: 1925 S.F.
(incl. covered porch)

EXISTING SHEDS AREAS (to be removed):
A 264 S.F.
B 107 S.F.
C 100 S.F.

RESIDENCE ADDITION COVERAGE AREA: 960 S.F.
TOTAL LOT COVERAGE 2885 S.F.

PERCENT LOT COVERAGE: 6.3%
(Maximum coverage allowed: 5%
Maximum allowed w/ 1.0 Ac: 10% 6.1.5.a.ii)

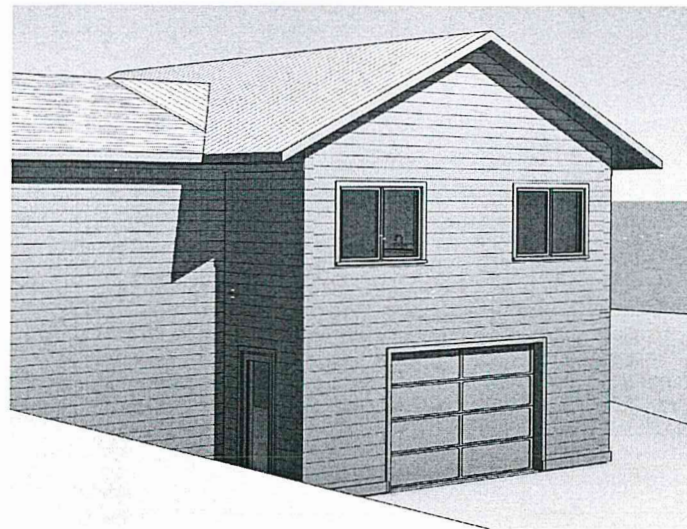


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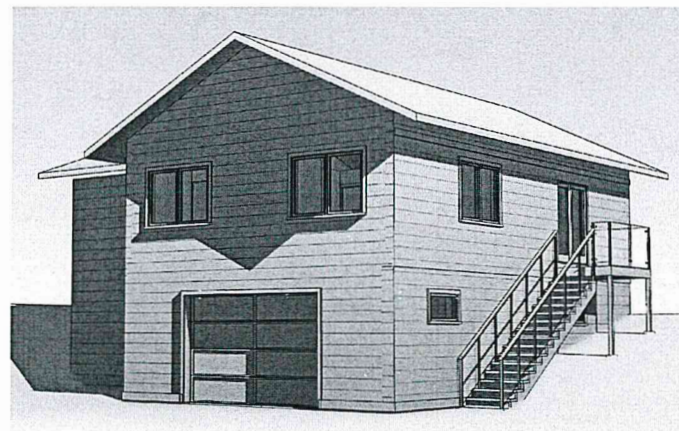
New ADDITION for the DMYTRYSHYN family

NOT TO SCALE

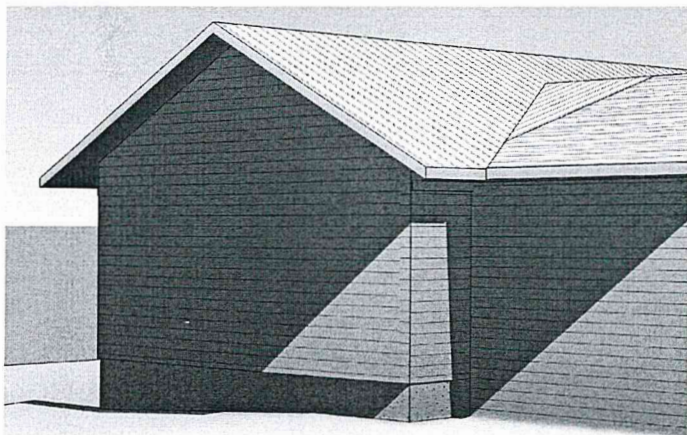
2356 Hwy 118



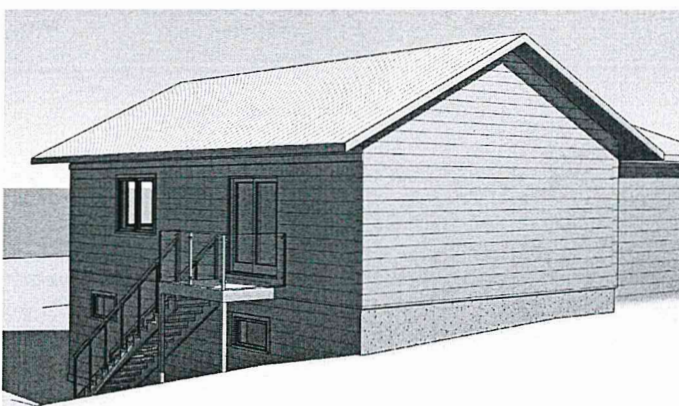
1 FRONT LEFT
A0



2 FRONT RIGHT
A0



3 REAR LEFT
A0



4 REAR RIGHT
A0



Sheet List	
A0	COVER PAGE
A1	FLOOR PLANS, ROOF PLAN, AND DETAILS
A2	ELEVATIONS
A3	CROSS SECTIONS & DETAILS

2022-09-19 8:04:55 AM

GENERAL TRUSS NOTES:

DESIGN LOCATION: MUSKOKA LAKES, ON
GROUND SNOW LOAD: 64.75 PSF (3.1 kPa)
RAIN LOAD: 8.25 PSF (0.4 kPa)
WIND LOAD (150): 7.31 PSF (0.35 kPa)
BUILDING TYPE: PART 9 RESIDENTIAL

1. PRE-ENGINEERED TRUSSES (WHERE SHOWN) ARE FOR REFERENCE ONLY. TRUSS LAYOUT TO BE CONFIRMED BY TRUSS MANUFACTURE PRIOR TO START OF CONSTRUCTION
2. PRE-ENGINEERED TRUSSES ARE TO BE INSTALLED, BRACED, AND CONNECTED PER MANUFACTURE'S SPECIFICATIONS
3. NEVER CUT, NOTCH OR DRILL PRE-ENGINEERED TRUSSES UNLESS ACCOMMODATED IN THE MANUFACTURER'S DESIGN
4. ON TRUSS SPACINGS GREATER THAN 16" O.C. SHEATHING EDGES PARALLEL TO ROOF RIDGES ARE TO BE SUPPORTED BY METAL Y CLIPS IN EACH TRUSS SPACE
5. ROOF TRUSS MANUFACTURE'S LAYOUT IS TO BE PROVIDED FOR REVIEW TO THE BUILDING DEPARTMENT BEFORE TRUSSES ARE INSTALLED ON THE BUILDING STRUCTURE

GENERAL NOTES: w/ GARAGE

1. ALL INTERIOR LINTELS WITHIN LOAD BEARING WALLS THIS FLOOR SHALL BE 2x10 SPF #2 OR BETTER, UNLESS NOTED OTHERWISE ON PLAN.
2. ALL EXTERIOR LINTELS TO MAX SPAN OF 6'0" THIS FLOOR SHALL BE 2x10 SPF #2 OR BETTER, UNLESS NOTED OTHERWISE ON PLAN.
3. ALL LVL MATERIAL SHALL BE GRADED 2.0x 5100% AND 1 3/4" THICK PLY UNLESS NOTED OTHERWISE. ALL LVL LINTELS REQUIRE 2 SPF JACK STUDS UNLESS NOTED OTHERWISE
4. PROVIDE SOLID BLOCKING WITHIN JOIST SPACE UNDER ALL CONCENTRATED LOAD LOCATIONS
5. ALL ELECTRICAL WORK SHALL BE COMPLETED AS PER OBC SECTION 9.34. (ELECTRICAL FACILITIES)
6. WHERE BEAMS ARE INDICATED TO BE FLUSH, THEY ARE TO BE INSTALLED FLUSH TO THE UNDERSIDE OF THE FLOOR FRAMING. IN AREAS WHERE THIS WILL CONFLICT WITH FLOOR SYSTEM ABOVE, POSITION TOP OF FLUSH BEAM TO USE OF SUBFLOOR
7. PROVIDE CONTINUOUS GAS PROOF BARRIER BETWEEN ATTACHED GARAGE ROOM AND ALL OTHER HABITABLE BUILDING SPACES (1 LAYER GYPSUM BOARD MUD AND TAPED) INCLUDE WEATHERSTRIPPING AND SELF CLOSING DEVICES ON ALL INTERCONNECTING DOORS. ALL WINDOWS IN THIS BARRIER SHALL BE NON-OPERABLE.

AREA ANALYSIS:

ADDITION COVERAGE AREA: 960.0 S.F.
MAIN FLOOR AREA: 960.0 S.F.
GARAGE AREA: 960.0 S.F.
TOTAL ADDITION LIVING AREA: 960.0 S.F.

CONSTRUCTION SCHEDULE:

FLOOR ASSEMBLIES

MAIN FLOOR ASSEMBLY:

- 3/4" TAG PLYWOOD SUBFLOOR ON
- 1/4" OPEN WEB WOOD JOIST FRAMING SYSTEM ON
- INSULATION (per SB-12 SCHEDULE)
- INTERIOR CEILING FINISH (per CLIENT)

GARAGE FLOOR ASSEMBLY:

- 5" THK. CONCRETE FLOOR SLAB *on w*
- 32mpa CONC. w/ 5-8% AIR ENTRAINMENT
- SLOPED TO GARAGE DOORS ON
- 6" COMPACTED GRANULAR FILL

WALL ASSEMBLIES

EXTERIOR WALL w/ SIDING ASSEMBLY:

- HORIZONTAL WOOD SIDING ON
- VERTICAL STRAPPING PER MANUF. ON
- TYVEK AIR BARRIER MEMBRANE ON
- 1/2" PLYWOOD SHEATHING ON
- 2x6 STUDS AT 16" O.C. *on w*
- INSULATION (per SB-12 SCHEDULE)
- 2x4 SOLID BLOCKING AT 36" O.C. ON
- 6 MIL. POLY VAPOUR BARRIER ON
- INTERIOR WALL FINISH (per CLIENT)

FOUNDATION WALL ASSEMBLY:

- 6" CONCRETE BLOCK WALL
- w/ 2" RIGID INSULATION INTERIOR PERIMETER

ROOF ASSEMBLY

TRUSS ROOF ASSEMBLY:

- STEEL ROOFING w/
- SELF-ADHESIVE RUBBER EAVE AND VALLEY PROTECTION MEMBRANE ON
- 1/2" PLYWOOD SHEATHING w/ H CLIPS ON
- PRE-ENG. ROOF TRUSSES AT 24" O.C. w/
- INSULATION (per SB-12 SCHEDULE)
- 6 MIL. POLY VAPOUR BARRIER MEMBRANE ON
- 1x6 TAG V-JOINT PINE CEILING DECKING

LEGEND:

- (CO) DENOTES SMOKE-CARBON MONOXIDE COMBINATION DETECTOR
- NOTE: ALL DETECTOR UNITS MUST BE HARD-WIRED ELECTRICAL UNITS WITH INTERCONNECTED ALARMS.
- NOTE: ALL SMOKE DETECTOR/ALARM UNITS ARE TO HAVE A VISUAL SIGNALING COMPONENTS CONFORMING TO 9.10.19.1.

INDICATES POINT LOAD ABOVE

SB-12 COMPLIANCE ANALYSIS

RESIDENTIAL ADDITIONS AND RENOVATIONS

-Based on SB-12 3.1.1.11 (1) ADDITIONS shall conform to table 3.1.1.2, or table 3.1.1.11.
-RENOVATIONS should be improvements in energy efficiency WHERE POSSIBLE based on these higher standards (acknowledging and allowing for the difficulties that may be encountered)
-Gross area of windows may be considered independent from the existing dwelling or in combination regardless of existing thermal values
-U-Values for the ADDITION may be substituted with table 3.1.1.11.
-For 3.1.1.11.(1) this building need not conform to the minimum efficiency requirements for HEATING EQUIPMENT, HRV and HOT WATER HEATER if table 3.1.1.11, is used

COMPLIANCE PACKAGE:

1. ZONE	1
2. HEATING AFUE	EXEMPT
3. COMPLIANCE TABLE	3.1.1.11
4. PACKAGE	1

MINIMUM VALUES REQUIRED (per table)

CEILING w/ ATTIC	R60
CEILING w/o ATTIC	R31
EXPOSED FLOOR	R31
WALLS ABOVE GRADE	R19 + 5 ci
BASEMENT WALLS	R12 + 10 ci
SLAB (below 600mm)	-
(EDGE <= 600mm)	R10
(ALL <= 600mm)	R10
WINDOWS/ SLIDING DOORS	MAK. U 1.6/ MIN. ER 25
SKYLIGHTS	U 2.6
SPACE HTG EQUIP min AFUE	EXEMPT
HRV min. EFFICIENCY	EXEMPT
DOM. HOT WATER HEATER	EXEMPT

NOT FOR CONSTRUCTION

FINAL WINDOW SIZES TO BE VERIFIED BEFORE CONSTRUCTION



ARCHITECTURAL DESIGN SERVICES
3627 Muskoka Road 118 West
Por. Cayce, ON, P0B 129
Tel: (705) 765-2105

DATE:

DATE:

December 2021

A0

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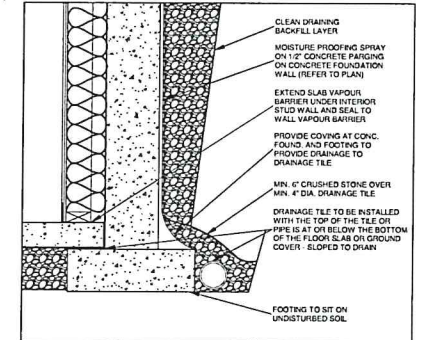


ARCHITECTURAL DESIGN SERVICES
3675 Highway 118 West
Port Carleton, Ont. P0B 1J0
Tel: (705) 716-3165

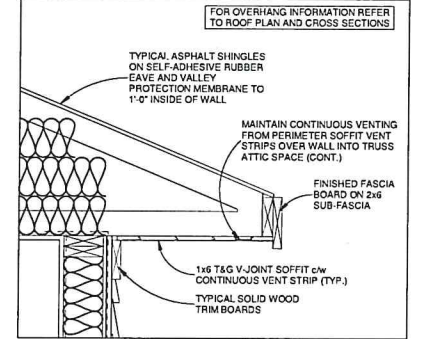
THESE DRAWINGS REMAIN THE PROPERTY OF MUSKOKA LUMBER & LUMBER SUPPLIES COMPANY LIMITED. LICENSE IS GRANTED FOR THE CONSTRUCTION OF ONE OR MORE OF THE PROJECTS REPRESENTED HEREIN. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS AND REPORT ANY AND ALL ERRORS AND OMISSIONS TO THE DESIGNER IN WRITING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. DO NOT SCALE DRAWINGS.

CONTRACTOR TO VERIFY ROUGH STUD OPENINGS (R.L.O.) SIZES FROM WINDOW ORDER CONFIRMATION PRIOR TO CONSTRUCTION

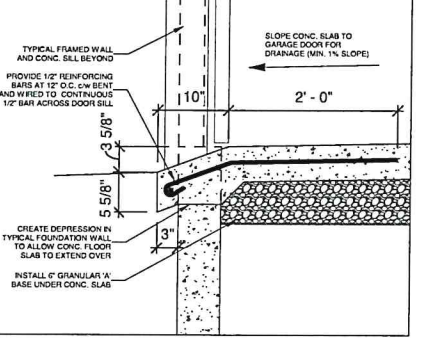
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ALL EXTERIOR LINTELS TO MAX SPAN OF 6'-0" OF THIS FLOOR SHALL BE 2x10 S.P.F. #2 OR BETTER, UNLESS NOTED OTHERWISE ON PLAN.



5 CONCRETE FOUNDATION DRAINAGE
A1 1" = 1'-0"



6 TRUSS ROOF EAVE OVERHANG
A1 1" = 1'-0"



7 GARAGE DOOR SLAB
A1 1" = 1'-0"

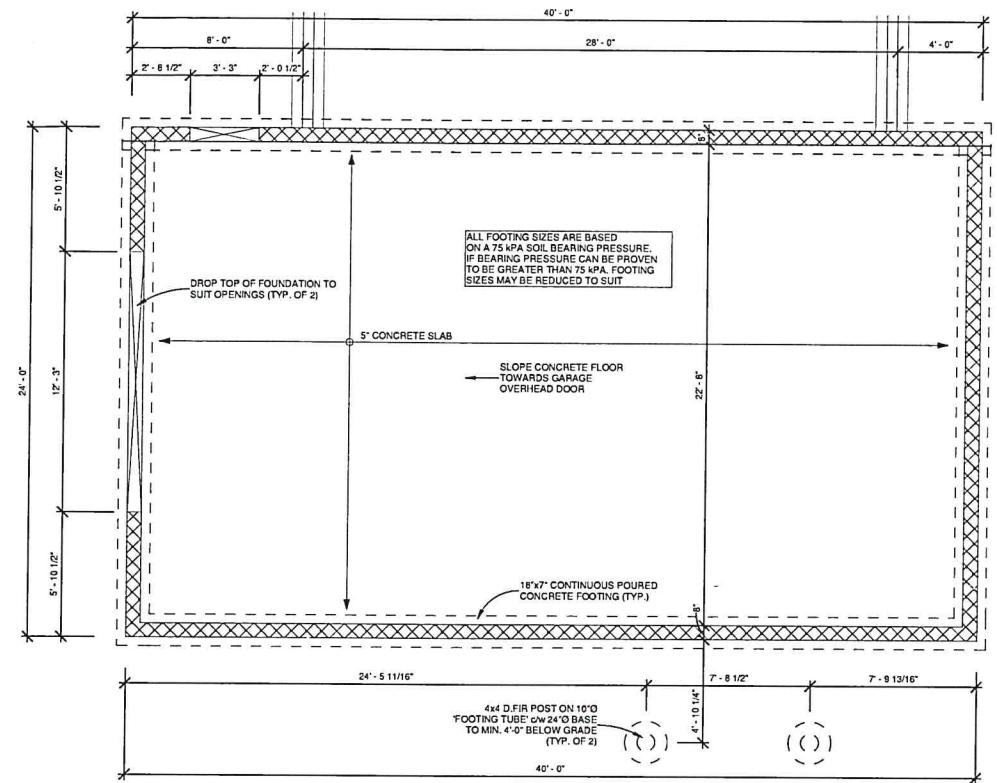
NOTE: TABLE APPLIES TO TOP LOADED MEMBERS ONLY

# ROWS AT 24" O.C.	DEPTH RANGE	2 ply	3 ply	4 ply
2	7' 1/4" TO 11' 7/8"	SDW2238	SDW2250	SDW22034
3	14" TO 18"	SDW2238	SDW2250	SDW22034
4	18" AND UP	SDW2238	SDW2250	SDW22034

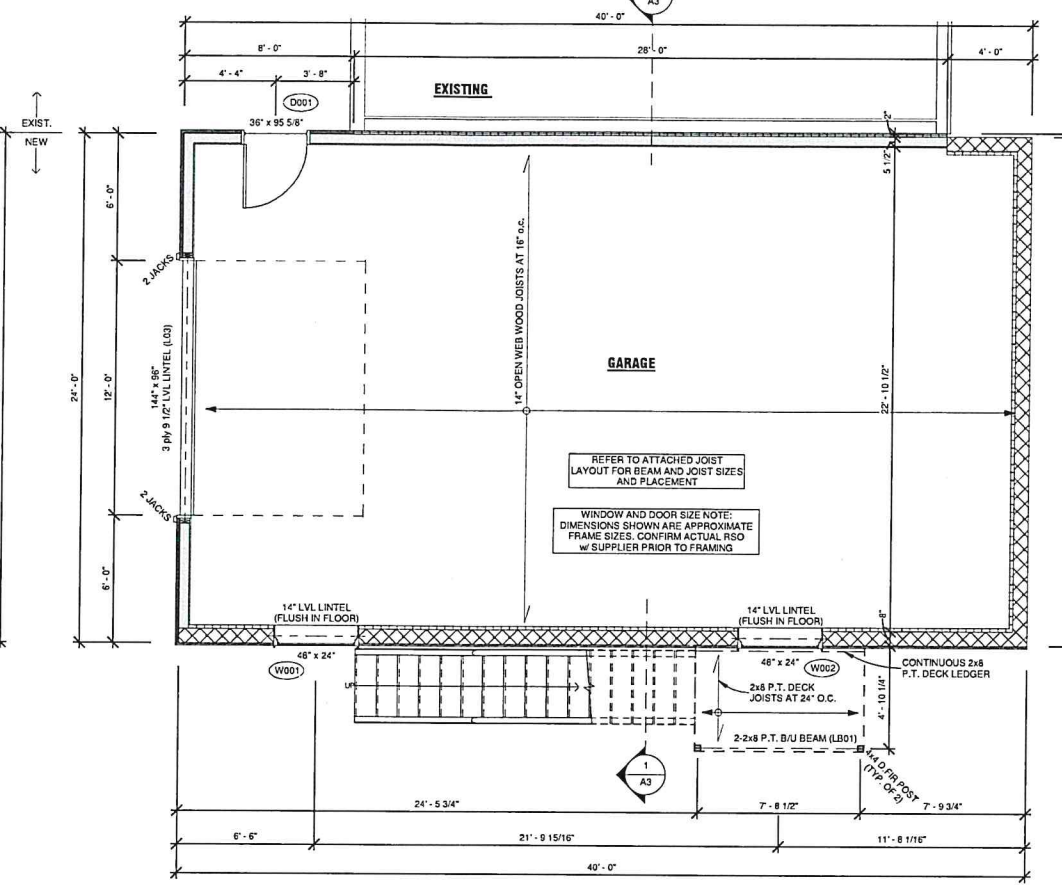
NOTE: REFER TO PROJECT DESIGNER FOR FACE MOUNT CONNECTIONS

8 LVL FASTENING TABLE
A1 1" = 1'-0"

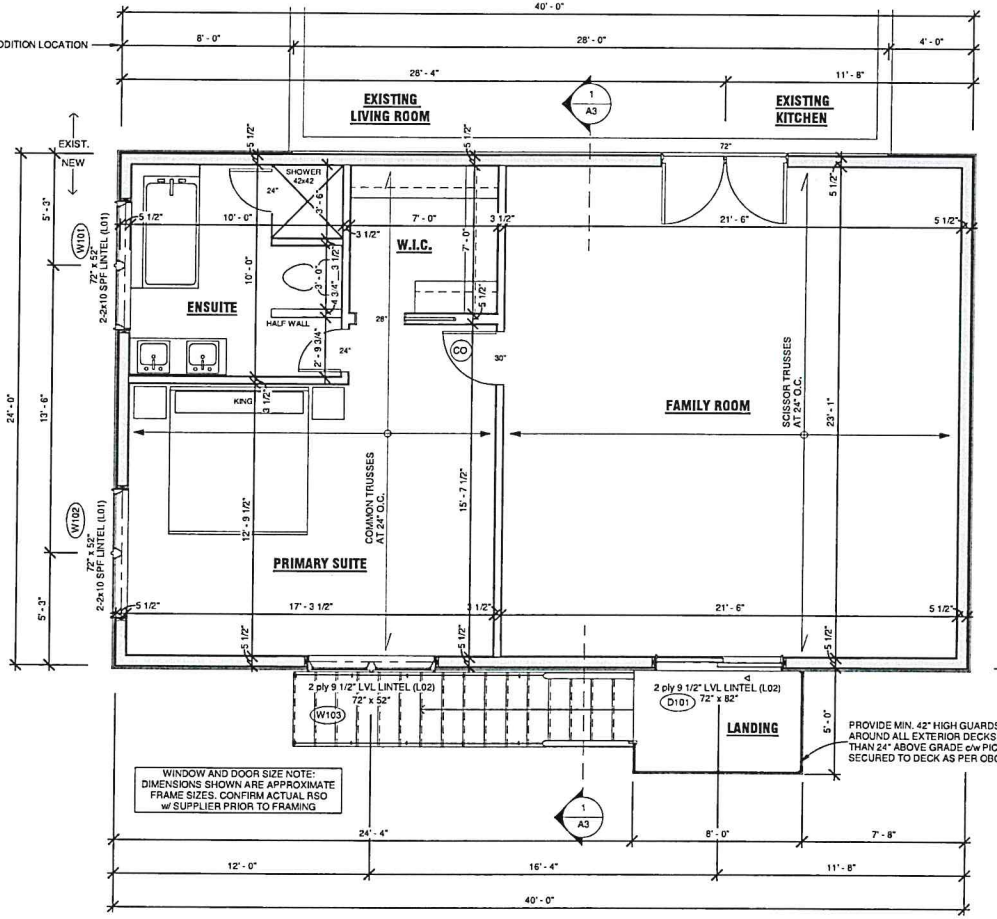
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FINAL WINDOW SIZES TO BE VERIFIED BEFORE CONSTRUCTION



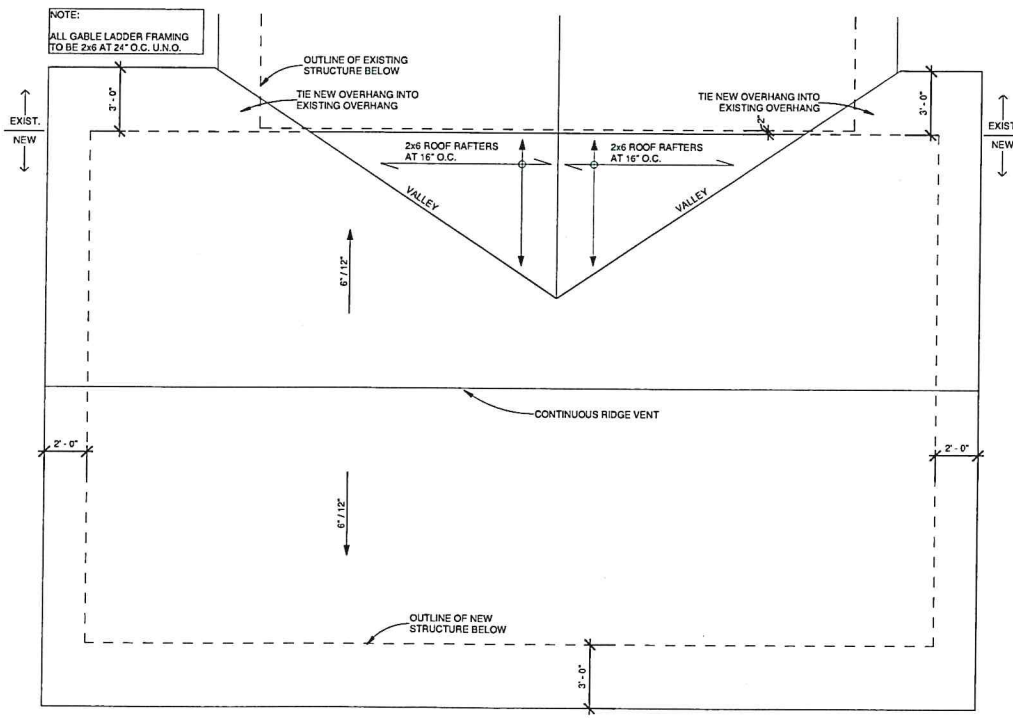
1 FOUNDATION PLAN
A1 1/4" = 1'-0"



2 LOWER FLOOR PLAN
A1 1/4" = 1'-0"



3 MAIN FLOOR PLAN
A1 1/4" = 1'-0"



4 ROOF PLAN
A1 1/4" = 1'-0"

No.	Issued for	Date
3	BUILDING PERMIT	SEP 19 22
2	CLIENT REVIEW	AUG 31 22
1	PRECING	JAN 19 22

PROJECT
New ADDITION for the DMYTRYSHYN family

2356 Hwy 118

FLOOR PLANS, ROOF PLAN, AND DETAILS

FOLDER	FILE	DRAWN	DATE
T:\Drawing\2-dmytryshyn	Dmytryshyn-Addition-Permit.rvt	JSM / M.F.	Dec-16-2021

FOR INFORMATIONAL PURPOSES ONLY

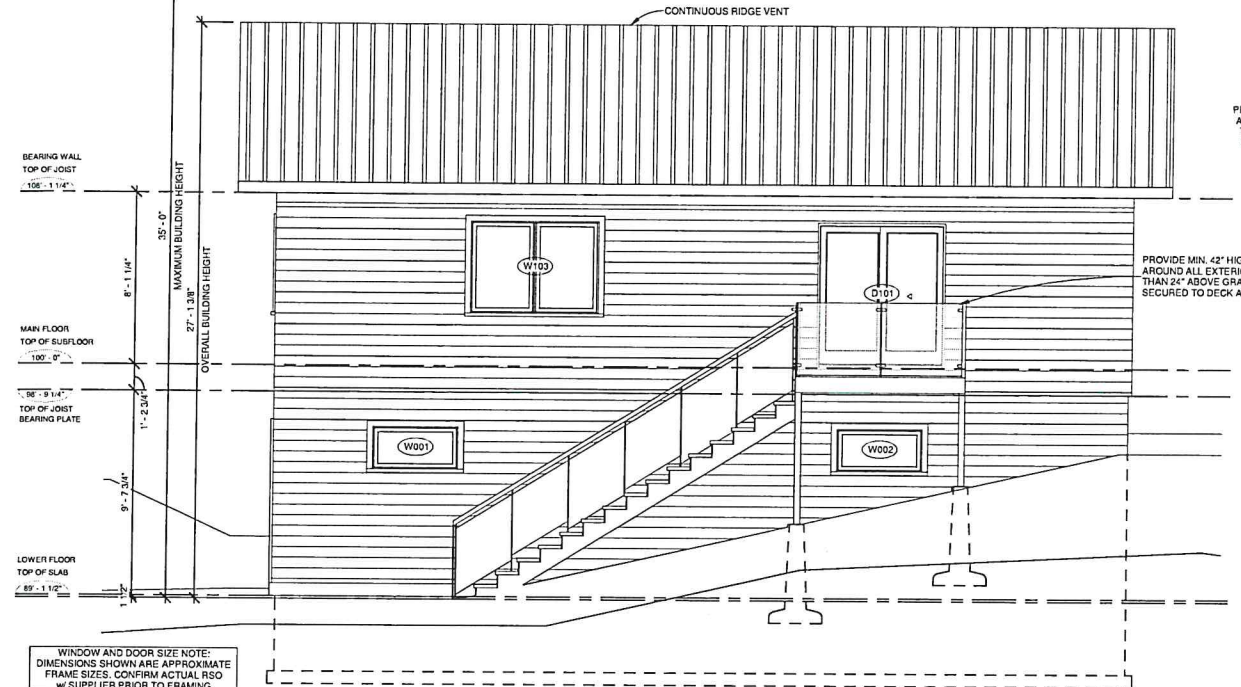
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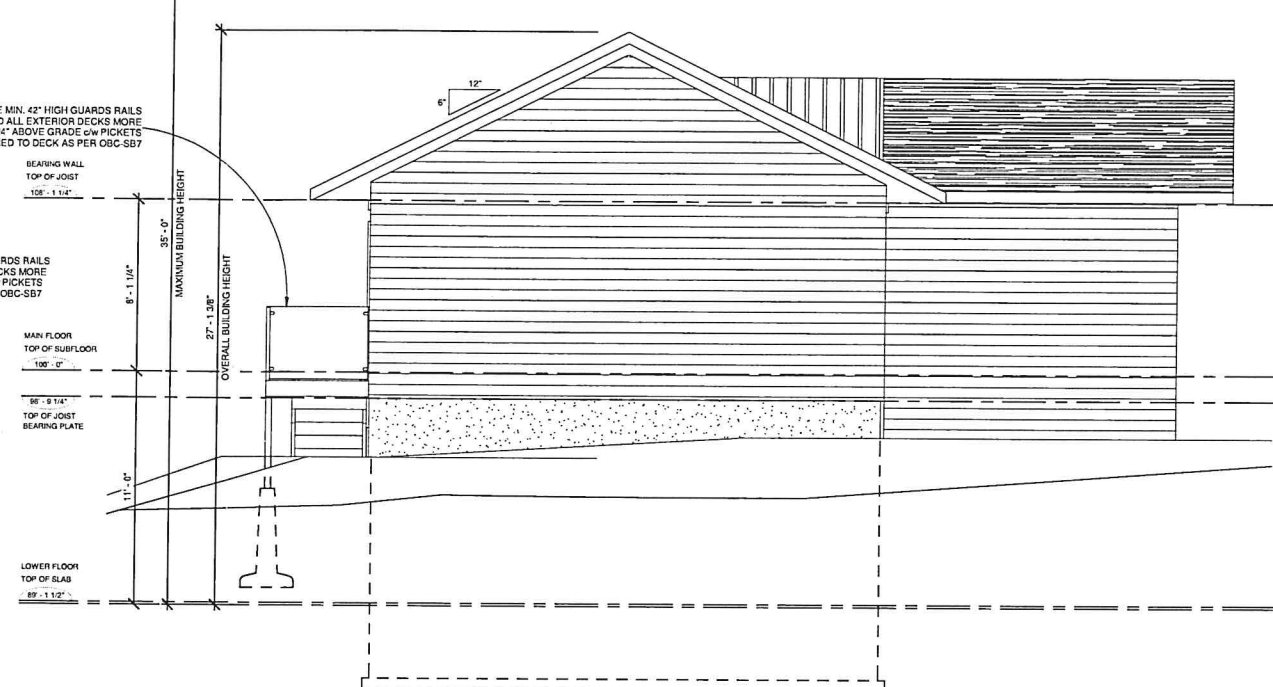
ARCHITECTURAL DESIGN SERVICES
2407 Muskoka Road 118 West
Port Carleton, ON P0B 1L2
Tel: (705) 765-3185

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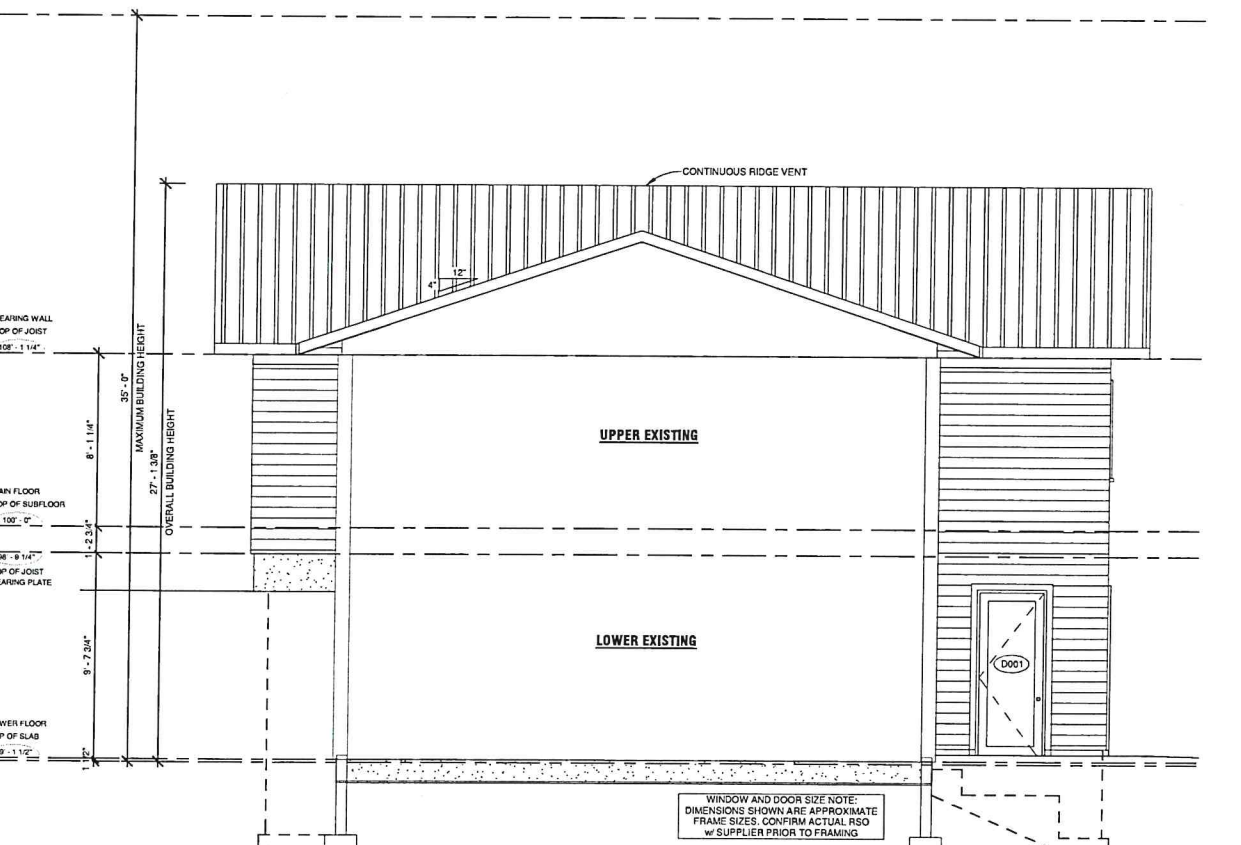
CONTRACTOR TO VERIFY ROUGH STUD OPENINGS (R.S.O.) SIZES FROM WINDOW ORDER CONFIRMATION PRIOR TO CONSTRUCTION.



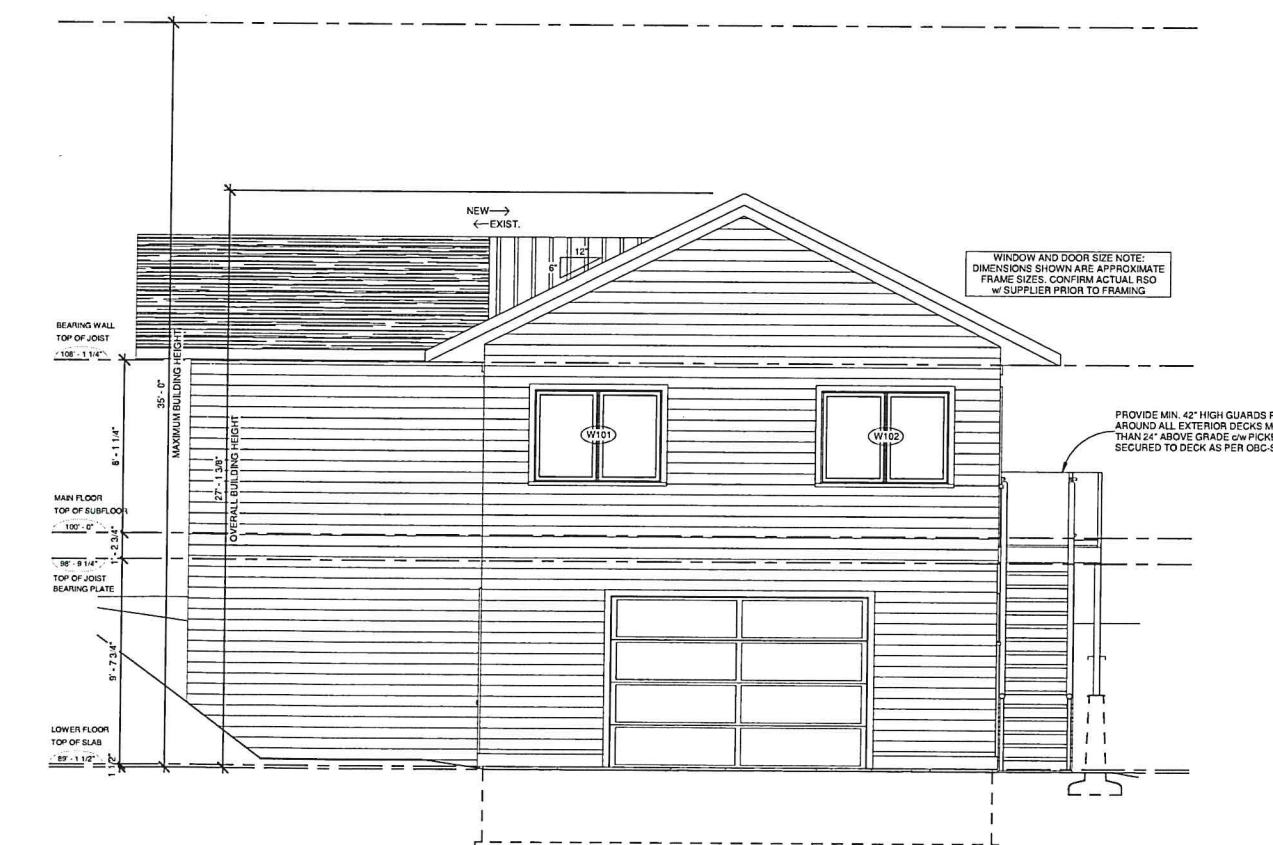
1 RIGHT ELEVATION
A2 1/4" = 1'-0"



2 REAR ELEVATION
A2 1/4" = 1'-0"



3 LEFT ELEVATION / EXISTING
A2 1/4" = 1'-0"



4 FRONT ELEVATION
A2 1/4" = 1'-0"

No.	Issued for	Description	Date
3	BUILDING PERMIT		SEPT 19/22
2	CLIENT REVIEW		AUG 31/22
1	ISSUED		JAN 19/22

PROJECT
New ADDITION for the
DMYTRYSHYN family

2356 Hwy 118

DRAWING
ELEVATIONS

FOLDER	T:\Drawing\02mytrshyn\	DRAWN	JSM / M.T.
FILE	WayneAdditionDmytrshyn.rvt	DATE	December 2021
FILE	02mytrshynAddition.rvt	SCALE	1/4" = 1'-0" U.S.

NOT FOR CONSTRUCTION
FINAL WINDOW SIZES TO BE VERIFIED BEFORE CONSTRUCTION

A2