

**NOTICE OF COMPLETE APPLICATION & NOTICE OF PUBLIC MEETING
CONCERNING A PROPOSED AMENDMENT
ZONING BY-LAW #2023-059
OF THE CORPORATION OF THE TOWNSHIP MUSKOKA LAKES**

TAKE NOTICE THAT THE PLANNING COMMITTEE OF THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES WILL HOLD A PUBLIC MEETING IN PERSON AND ELECTRONICALLY FROM THE COUNCIL CHAMBERS, MUNICIPAL OFFICE, PORT CARLING, ONTARIO

July 13, 2023 at 9:00 am

TO CONSIDER a proposed amendment to Zoning By-law 2014-14 of the Corporation of the Township of Muskoka Lakes pursuant to the provisions of Section 34 of the *Planning Act, R.S.O., 1990*.

TAKE FURTHER NOTICE THAT this public meeting will be held in a hybrid forum with both electronic participation via ZOOM, and in-person participation for those wishing to attend in person. **The meeting will be held in the Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario and will commence at 9:00 a.m. More information about viewing and/or participating via ZOOM is included in this Notice and can be found on our website at www.muskokalakes.ca.** Members of the public may also observe the proceedings by accessing the live webcast at www.muskokalakes.ca. If the live webcast fails, the meeting recording will be posted at <https://muskokalakes.civicweb.net/Portal/>.

This notice has been circulated to all property owners to which the proposed by-law would apply, to every owner of land within 240 metres (800 feet) of the area to which the proposed by-law would apply, and to the appropriate officials and agencies according to *Ontario Regulation 404/83* under the *Planning Act, R.S.O., 1990*.

An explanation of the purpose and effect of this by-law, describing the lands to which the by-law applies, and a key map showing the location of the lands are attached.

All inquiries concerning the proposed amendment should be directed to the Planning Department. ANY PERSON may make verbal representation by participating either in person or via the ZOOM meeting and/or may make written representation prior to the meeting. This representation can be in support of or in opposition to the proposed zoning by-law amendment.

If a person or public body would otherwise have an ability to appeal the decision of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If you wish to be notified of the decision of the Township of Muskoka Lakes on the proposed zoning by-law amendment, you must make a written request to the Township of Muskoka Lakes.

ADDITIONAL INFORMATION relating to the proposed zoning by-law amendment may be available upon request. **Please direct all inquiries to the Planning Department:**

The Corporation of the Township of Muskoka Lakes
1 Bailey Street, P.O. Box 129, Port Carling, Ontario P0B 1J0
Telephone: (705) 765-3156, Fax: (705) 765-6755, Email: planning@muskokalakes.ca

DATED at the Corporation of the Township of Muskoka Lakes this 20th day of June, 2023.

Crystal Paroschy, Clerk
of the Corporation of the
Township of Muskoka Lakes

ZBA#:
ROLL#:
NAME:
CIVIC/911 ADDRESS:

ZBA-16/23
6-18-005-01
ZENELI
NOT ASSIGNED

EXPLANATION OF THE PURPOSE AND EFFECT OF

ZONING BY-LAW AMENDMENT

**ZBA-16/23, BY-LAW 2023-059, ZENELI,
Roll # 6-18-005-01**

The land affected by this amendment is described as Lot 15, Concession E, Part 2, Plan BR-1190, (in the former Township of Medora), now in the Township of Muskoka Lakes. The subject land has no assigned civic address and is currently in the ownership of Feim Zeneli.

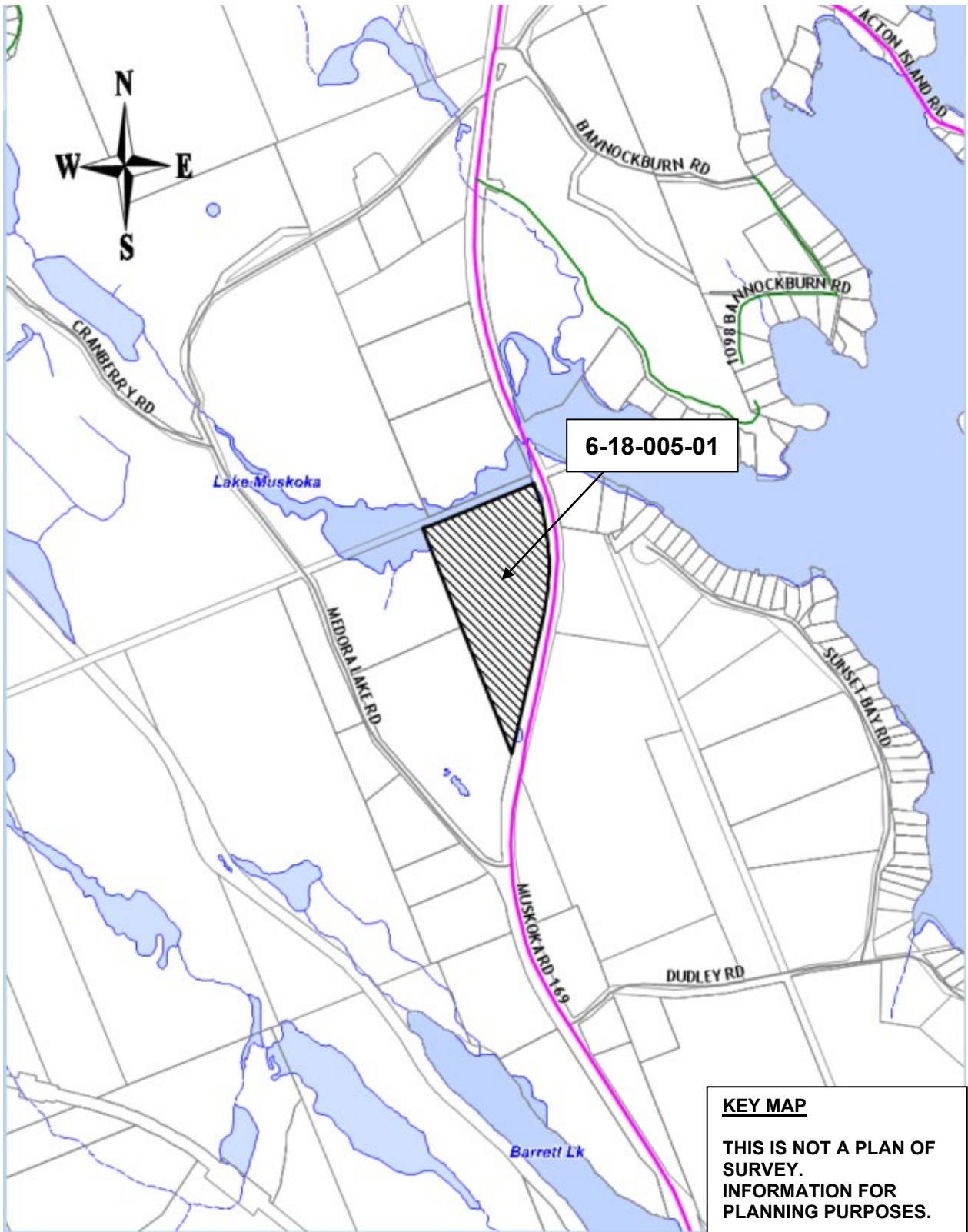
Consent Application B/145/21/ML (Zenelli) was provisionally granted by the Township's Committee of Adjustment in April 2021 to create on new lot. An Environmental Impact Study (EIS) was prepared by RiverStone Environmental Solutions Inc., which identified a wetland and wetland buffer over part of the subject land. Committee of Adjustment imposed a condition of consent requiring that the identified wetland and associated buffer be rezoned.

The purpose of By-law 2023-059 is to rezone part of the subject land from Rural (Ru2) and Rural – Scenic Corridor (Ru2-S) to Environmental Protection (EP1) in order to fulfil a condition of Consent Application B/145/21/ML. Only a limited number of uses and related buildings and structures are permitted in the EP1 Zone (e.g. flood and erosion control).

In summary, By-law 2023-059 will have the effect of rezoning a portion of the subject land to Environmental Protection (EP1).

See Key Map on the Following Page

KEY MAP



THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

BY-LAW 2023-059

Being a By-law to amend Comprehensive Zoning By-law 2014-14, as amended, in the Township of Muskoka Lakes

WHEREAS the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

AND WHEREAS By-law 2014-14 were enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

AND WHEREAS the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

NOW THEREFORE the Council of the Corporation of the Township of Muskoka Lakes enacts as follows:

1. Schedule 41 of Zoning By-law 2014-14, as amended, is further amended by rezoning part of the land described as Lot 15, Concession E, (in the former Township of Medora), now in the Township of Muskoka Lakes, more particularly described as Part 2, Plan BR-1190, as shown hatched on Schedule I to By-law 2023-059, from Rural (Ru2) and Rural – Scenic Corridor (Ru2-S) to Environmental Protection (EP1), as shown hatched in bold and labelled on Schedule II to By-law 2023-059.
2. Schedules I and II attached hereto are hereby made part of this By-law.

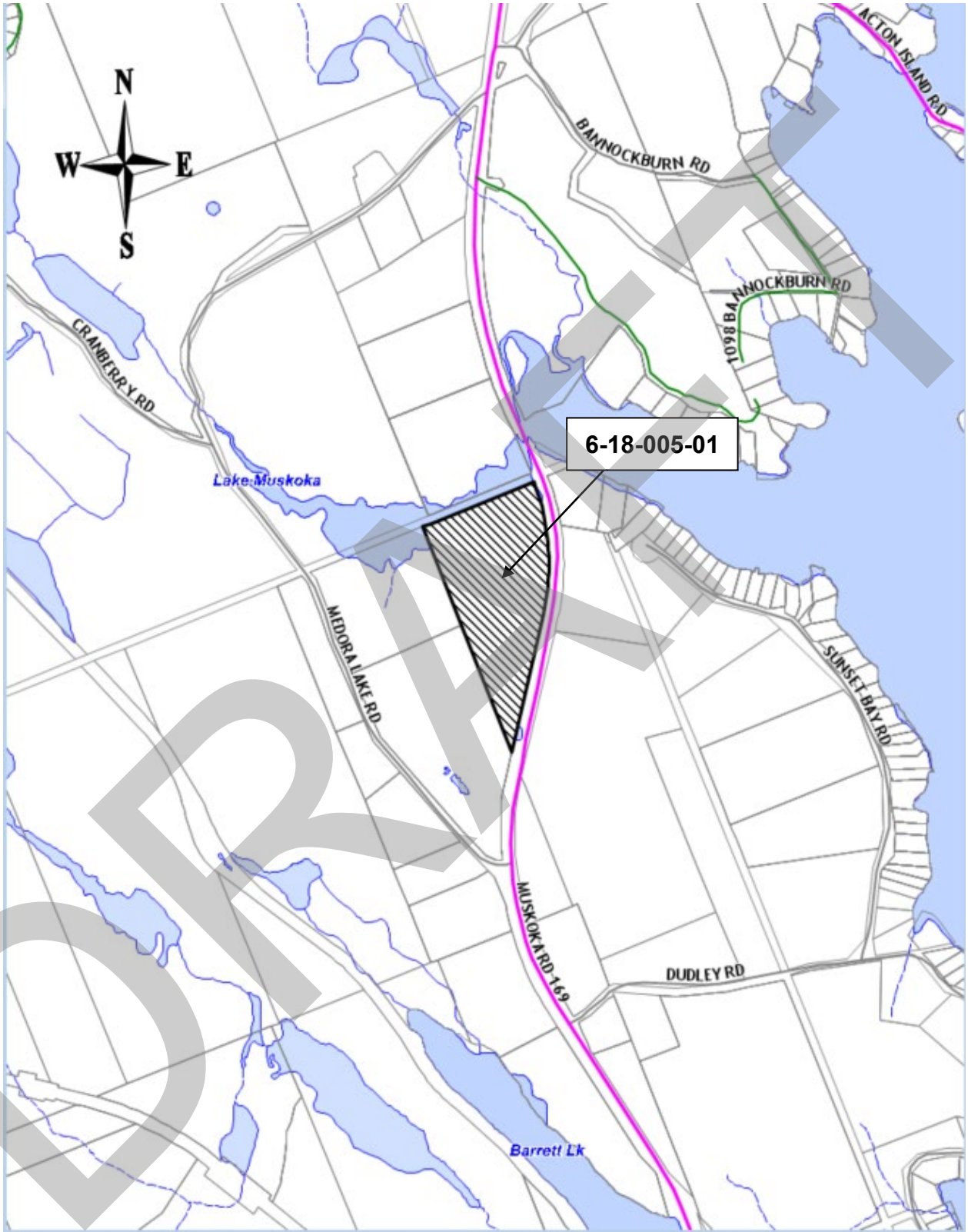
READ A FIRST AND SECOND TIME this ____ day of _____, 2023.

READ A THIRD TIME AND FINALLY PASSED this ____ day of _____, 2023.

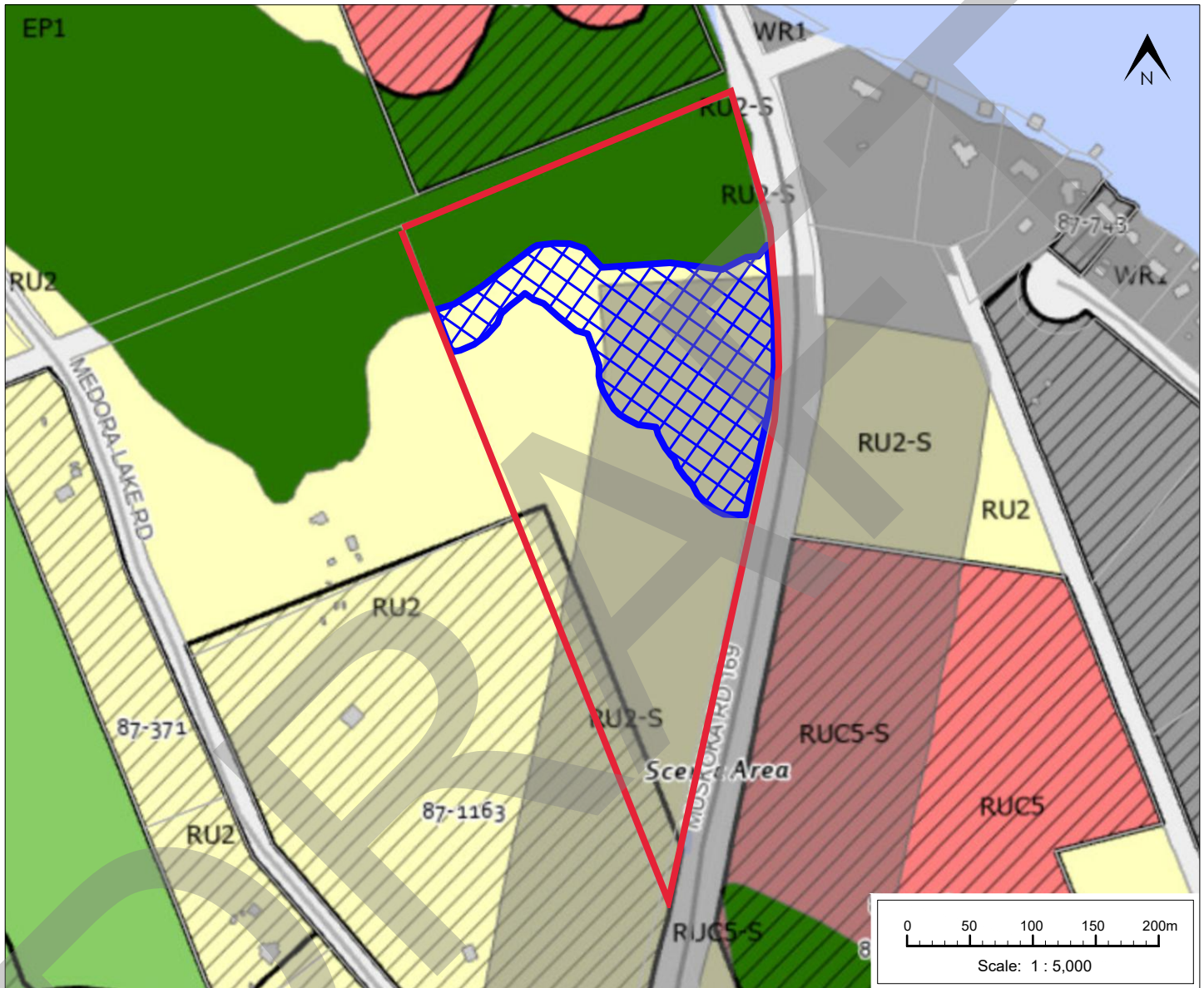
Peter Kelley, Mayor

Crystal Paroschy, Clerk

SCHEDULE I TO BY-LAW 2023-059



SCHEDULE II TO BY-LAW 2023-059



LANDS TO BE REZONED FROM THE RURAL (RU2) AND RURAL - SCENIC (RU2-S) TO THE ENVIRONMENTAL PROTECTION 1 (EP1) ZONE

NOT TO SCALE