
THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

COMMITTEE OF ADJUSTMENT

FILE # A-27/23

ROLL # 2-9-029

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

Planning Act, R.S.O., 1990, c.P.13,45(5), R.R.O., 1980, Reg. 787

APPLICATION MADE BY: Wendy Armstrong-Gibson, 80182 Front Road, Clinton, ON
N0M 1L0

LOCATION OF PROPERTY: Part Lot 30, Concession 4, Parts 2 to 4, Plan RP 35R-21268
(Watt), Civic Address: 1090 Boyce Road, Zoning Schedule: 30

EXPLANATION OF THE PURPOSE AND EFFECT: The subject property is zoned Waterfront Residential – Backlot (WR2) and Rural – Area 1 (RU1) and abuts Boyce Road.

The applicants propose to demolish an existing one storey dwelling and propose to construct a new one storey dwelling with a walk out basement and additions (including porches). The applicants also propose to construct a new sundeck.

Relief is requested from Sections 4.1.3 and 4.1.3.5 of By-law 2014-14, as amended, being the minimum front yard setback requirement for a dwelling addition. In this case, the required front yard setback is the front yard setback of the existing dwelling or a minimum of 50 feet, whichever is greater. The existing dwelling has a front yard setback of 40.2 feet (at the closest point), and therefore, the minimum front yard setback is 50 feet. A new addition (porch component) is to be set back 34 feet (at the closest point) from the front lot line. The requested variance is 16 feet.

Relief is also requested from Section 4.1.3 of By-law 2014-14, as amended, being the minimum interior side yard setback requirement of 15 feet for a dwelling. The proposed dwelling, including a new addition, is to be set back 11 feet (at the closest point) from the southerly side lot line. The requested variance is 4 feet. Please note that the existing dwelling is set back 11.6 feet (at the closest point) from the southerly side lot line.

Relief is also requested from Section 4.1.3 of By-law 2014-14, as amended, being the minimum interior side yard setback requirement of 15 feet for a sundeck. The proposed sundeck is to be set back 7 feet (at the closest point) from the southerly side lot line. The requested variance is 8 feet.

NOTICE: This notice has been sent to you for your information and does not require any response unless you wish to make one. The above noted application will be heard by the Committee of Adjustment on the date and at the time shown below.

DATE: June 12, 2023

TIME: 9:00 A.M.

TAKE FURTHER NOTICE THAT this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wish to attend in person. **The meeting will be held in the Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM hearing is included in this Notice and can be found on our website at www.muskokalakes.ca.

PUBLIC HEARING: You or your representative are entitled to participate in this public hearing and make verbal representation and/or make written representation prior to the meeting. This representation can be in support of or in opposition to the proposed Minor Variance. If you wish to make written comments on this application they may be forwarded to the Secretary - Treasurer at the email address shown below.

Members of the public may also observe the proceedings by accessing the live webcast at: www.muskokalakes.ca If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

ADDITIONAL INFORMATION: There may be additional information relating to the proposed variance application available from staff of the Planning Department through the email address below on week days between 8:15 a.m. and 4 p.m. or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0. Telephone: (705)765-3156 or FAX (705)765-6755. Please email any submissions or requests to: planning@muskokalakes.ca Please quote the Committee's file number noted above.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

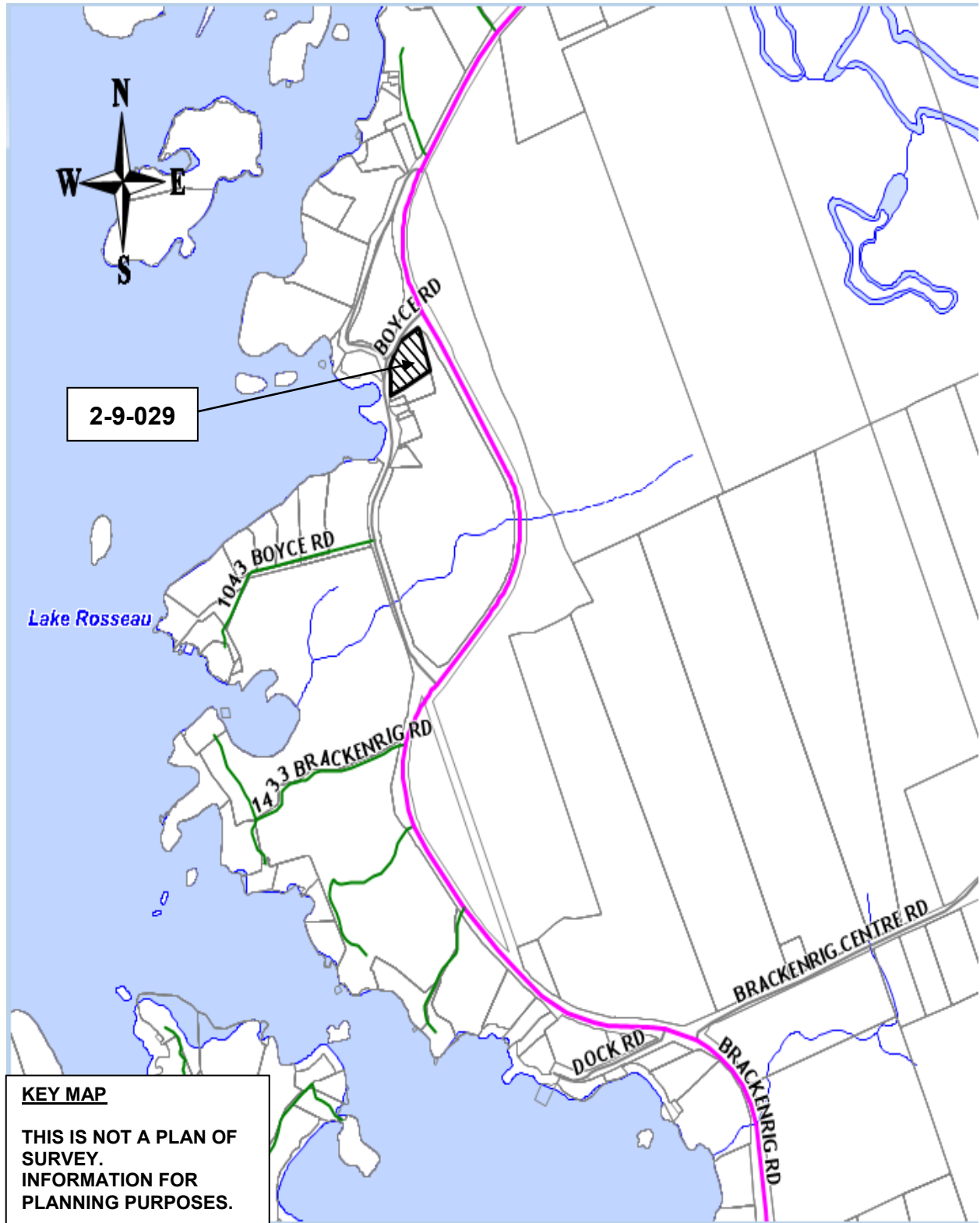
NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 30th day of May, 2023.

"Original Signed by K. Bavington"
Kitty Bavington
Secretary-Treasurer
Committee of Adjustment

KEY MAP

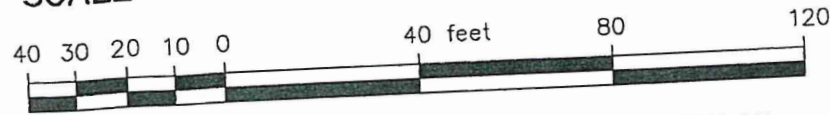


NOT TO SCALE

SITE PLAN

SKETCH FOR
PLANNING APPLICATION PURPOSES

SCALE 1" = 40'

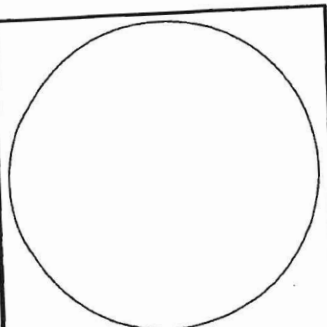


DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE
CONVERTED TO METRES BY MULTIPLYING BY 0.3048.

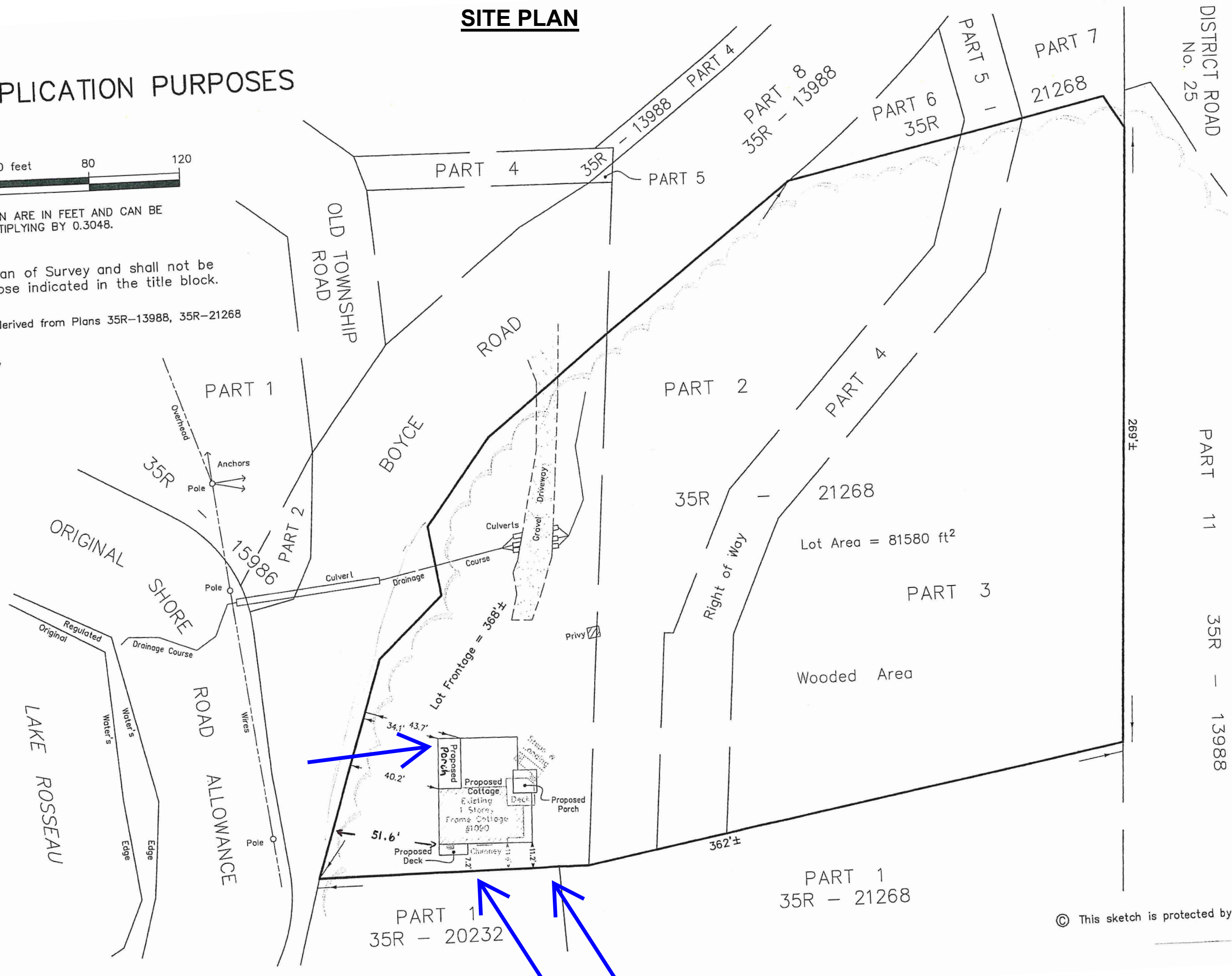
Caution: This is NOT a Plan of Survey and shall not be
used except for the purpose indicated in the title block.

Information shown hereon was derived from Plans 35R-13988, 35R-21268
and field survey work.

March 27, 2023
File: MUS2022-216



THIS SKETCH IS AN ORIGINAL
COPY IF IT IS EMBOSSED
WITH THE SURVEYOR'S SEAL



© This sketch is protected by cop



JOHN & WENDY GIBSON

1611 SQ' FT. COTTAGE

Energy Efficiency Design Summary: Prescriptive Method (Building Code Part 9, Residential)

This form is used by a designer to demonstrate that the energy efficiency design of a house complies with the building code using the prescriptive method described in Subsection 3.1.1. of SB-12. This form is applicable where the ratio of gross area of windows/sidelights/skylights/glazing in doors and sliding glass doors to the gross area of peripheral walls is not more than 22%.

For use by Principal Authority	
Application No:	Model/Certification Number

A. Project Information		JOHN & WENDY GIBSON	
Building number, street name		Unit number	Lot/Con
1090 BOYCE ROAD, PORT CARLING, ON P0B 1J0			
Municipality	Postal code	Reg. Plan number / other description	
MUSKOKA LAKES DISTRICT	P0B 1J0		

B. Prescriptive Compliance [indicate the building code compliance package being employed in this house design]

SB-12 Prescriptive (input design package): Package: A5 Table: 3.1.1.2.A (IP)

C. Project Design Conditions	
Climatic Zone (SB-1):	Heating Equipment Efficiency
<input checked="" type="checkbox"/> Zone 1 (< 5000 degree days)	<input checked="" type="checkbox"/> ≥ 92% AFUE
<input type="checkbox"/> Zone 2 (≥ 5000 degree days)	<input type="checkbox"/> ≥ 84% < 92% AFUE
Ratio of Windows, Skylights & Glass (W, S & G) to Wall Area	
Area of walls = <u>247.4 m² or 2663 ft²</u>	W, S & G % = <u>16.8</u>
Area of W, S & G = <u>41.5 m² or 446.4 ft²</u>	Utilize window averaging: <input type="checkbox"/> Yes <input type="checkbox"/> No
Space Heating Fuel Source	
<input type="checkbox"/> Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Solid Fuel	
<input type="checkbox"/> Oil <input type="checkbox"/> Electric <input type="checkbox"/> Earth Energy	
Other Building Characteristics	
<input type="checkbox"/> Log/Post&Beam <input type="checkbox"/> ICF Above Grade <input type="checkbox"/> ICF Basement	
<input type="checkbox"/> Slab-on-ground <input checked="" type="checkbox"/> Walkout Basement	
<input type="checkbox"/> Air Conditioning <input type="checkbox"/> Combo Unit	
<input type="checkbox"/> Air Sourced Heat Pump (ASHP)	
<input type="checkbox"/> Ground Sourced Heat Pump (GSHP)	

D. Building Specifications [provide values and ratings of the energy efficiency components proposed]			
Energy Efficiency Substitutions			
<input type="checkbox"/> ICF (3.1.1.2.(5) & (6) / 3.1.1.3.(5) & (6))			
<input type="checkbox"/> Combined space heating and domestic water heating systems (3.1.1.2.(7) / 3.1.1.3.(7))			
<input type="checkbox"/> Airtightness substitution(s)			
Airtightness test required (Refer to Design Guide Attached)		<input type="checkbox"/> Table 3.1.1.4.B Required: Permitted Substitution:	
		<input type="checkbox"/> Table 3.1.1.4.C Required: Permitted Substitution:	
		Required: Permitted Substitution:	
Building Component	Minimum RSI / R values or Maximum U-Value ⁽¹⁾		Efficiency Ratings
	Nominal	Effective	
Thermal Insulation			Windows & Doors Provide U-Value ⁽¹⁾ or ER rating
Ceiling with Attic Space	R50	R49.23	Windows/Sliding Glass Doors
Ceiling without Attic Space	R31	R27.65	Skylights/Glazed Roofs
Exposed Floor	R35	R32.02	
Walls Above Grade	R19 + 5 ci	R20.32	Mechanicals
Basement Walls Note (6): R12 + 5ci	R20 ci	R15.96	Heating Equip.(AFUE)
Slab (all >600mm below grade)			
Slab (edge only ≤600mm below grade)	R10		HRV Efficiency (SRE% at 0° C)
Slab (all ≤600mm below grade, or heated)	R10	R11.13	DHW Heater (EF)
			DWHR (CSA B55.1 (min. 42% efficiency))
			Combined Heating System

(1) U value to be provided in either W/(m²·K) or Btu/(h·ft²·F) but not both.

E. Designer(s) [name(s) & BCIN(s), if applicable, of person(s) providing information herein to substantiate that design meets the building code]

Qualified Designer Declaration of designer to have reviewed and take responsibility for the design work.		
Name	BCIN	Signature
DUANE BAUMAN	28073	

Form authorized by OHBA, OBOA, LMCBO. Revised December 1, 2016.

DRAWING SCHEDULE

INDEX OF DRAWINGS	PAGE #
COVER PAGE	A1.1
PLAN PAGES	
FOUNDATION PLAN	A2.1
BASEMENT PLAN	A2.2
MAIN FLOOR PLAN	A2.3
ROOF PLAN	A2.4
ELEVATIONS	
N & E ELEVATIONS	A3.1
S & W ELEVATIONS	A3.2
SECTION & DETAIL	
BUILDING SECTION	A4.1
CONST. DETAILS	A4.2
NOTES	
NOTES	A5.1

AREA SCHEDULE

NAME	AREA
MAIN FLOOR AREA	1440 sq ft.
BASEMENT FLOOR AREA	934 sq ft.
FOUNDATION FOOTPRINT	1682 sq ft.
MUSKOKA ROOM	171 sq ft.
COVERED DECK	344 sq ft.
COVERED ENTRY	93 sq ft.
DECK	63 sq ft.



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44681 Gough Road, RR 2 Gorrie, Ontario
N0G 1X0 Phone: 1-877-366-4650

DESIGNER INFORMATION:

I review and take responsibility for the design work on behalf of Star Blueprints Inc. I am qualified and the firm is registered in the appropriate classes.

Duane Bauman BCIN 28073

DESIGNER BCIN:

Star Blueprints Inc.
BCIN 32267
This drawing is only valid for the address shown in the project title box.

REVISION SCHEDULE	
DATE	REVISION NOTE
OCT 2, 2020	ISSUED FOR CLIENT REVIEW
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OCT 9, 2020	FDN REVISION-WALL OFFSET BELOW DECK
OCT 23, 2020	BASEMENT, MAIN BATH & KITCHEN REVISION
NOV 05, 2020	ISSUED FOR PRELIMINARY TRUSS DRAWINGS
NOV 09, 2020	CHANGE MAIN ROOF TO GABLED ENDS
SEP 20, 2021	ISSUED FOR PERMIT
OCT 11, 2021	REMOVE EXISTING STONE FDN WALL
NOV 15, 2021	REISSUED FOR PERMIT

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.

CLIENT:

JOHN & WENDY GIBSON

PROJECT TITLE:

1611 SQ' FT. COTTAGE

1090 BOYCE ROAD
PORT CARLING, ON
P0B 1J0

DRAWING:

COVER PAGE

SCALE: As Noted

DATE (Y/M/D): 2021-11-15

DRAWN BY: M. FREY

PROJECT #: 2329

A1.1



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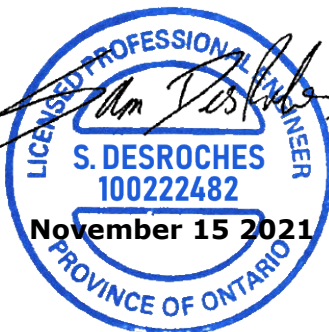


PROJECT ENGINEER

PROJECT # 21-09-100



* CERTIFICATION OF STRUCTURAL ITEMS NOTED



CLIENT:

JOHN & WENDY
GIBSON

PROJECT TITLE:

1611 SQ' FT.
COTTAGE

1090 BOYCE ROAD
PORT CARLING, ON
P0B 1J0

DRAWING:

FOUNDATION PLAN

SCALE: As Noted

DATE: (Y/M/D) 2021-11-15

DRAWN BY: M. FREY

PROJECT #: 2329

A2.1

FOUNDATION WALL ASSEMBLIES

W1 8" FOUNDATION WALL:
8" CONCRETE FOUNDATION WALL
ASPHALT DAMPROOFING
PLASTIC DRAINAGE BOARD

FOOTING SCHEDULE:

F1 = 2' - 6" x 2' - 6" x 12" THICK
CONCRETE DECK FOOTING
4'-0" MIN. BELOW GRADE or
PINNED TO BEDROCK
BEARING ON UNDISTURBED SOIL
DETAIL 5/A4.2

F2 = 2' - 0" x 2' - 0" x 8" THICK
CONCRETE DECK FOOTING
4'-0" MIN. BELOW GRADE or
PINNED TO BEDROCK
BEARING ON UNDISTURBED SOIL
DETAIL 5/A4.2

F3 = 3' - 0" x 5' - 6" x 12" THICK
CONCRETE PAD FOOTING
NO INSULATION UNDER FTG.
UNDISTURBED SOIL OR BEDROCK

F4 = 2' - 6" x 2' - 6" x 10" THICK
CONCRETE PAD FOOTING
NO INSULATION UNDER FTG.
UNDISTURBED SOIL OR BEDROCK

PIER SCHEDULE:

P1 = 12" Ø CONCRETE PIER
DETAIL 5/A4.2

P2 = 8" Ø CONCRETE PIER
DETAIL 5/A4.2

LEDGER SCHEDULE:

LDGR2 = 2x8 LEDGER FASTENED TO FDN c/w
½" x 6" CONCRETE ANCHOR BOLTS
@ 16" o.c. (STAGGERED)
SEE DETAIL 6/A4.2

EXTERIOR STRIP FOOTINGS:

CONCRETE FND. WALL FOOTINGS:
24" WIDE x 8" THK CONC., UNLESS NOTED
4'-0" MIN. BELOW GRADE OR PINNED TO BEDROCK
UNDISTURBED SOIL (DETAIL 1&6/A4.2)

INTERIOR STRIP FOOTINGS:

FRAMED 2x4 BEARING WALL FOOTINGS:
12" WIDE 6" THICKENED FLOOR (UNLESS NOTED)
UNDISTURBED SOIL OR BEDROCK
(SEE DETAIL 2/A4.2)

FOUNDATION PLAN NOTES:

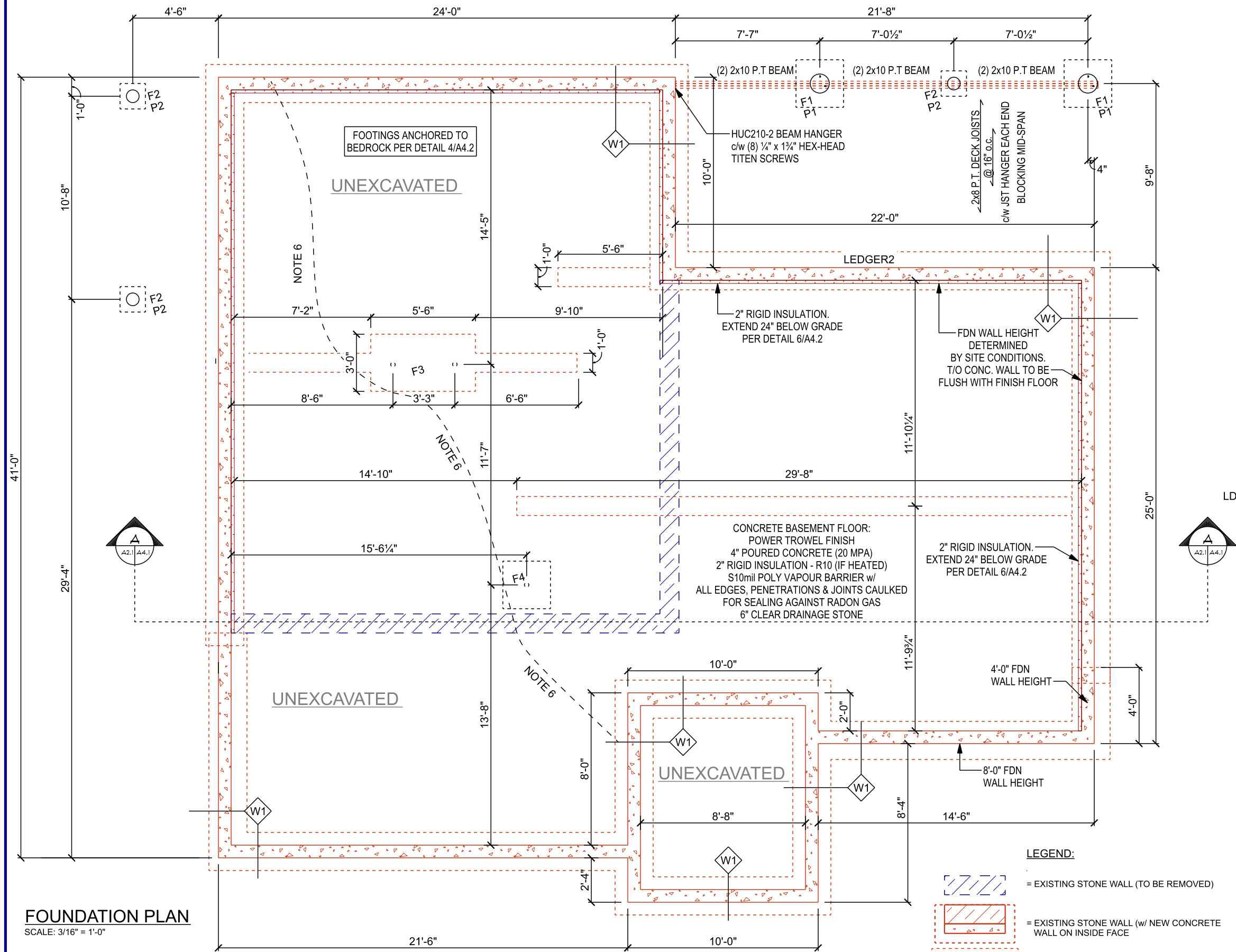
- FOOTINGS TO BE STEPPED TO SUIT GRADE/BEDROCK.
- EXTRA ATTENTION TO BE GIVEN TO TO ENSURE ADEQUATE FOUNDATION WATERPROOFING ON FOUNDATION FACING UPPER SLOPE.
- EXTERIOR FOOTING TILE TO BE DRAINED INTO STORM DRAIN OR AWAY FROM DWELLING.
- ROOF DOWN PIPES SHALL NOT DRAIN INTO AN INTERIOR SUMP PIT.
- ALL CONCRETE WALLS TO BE REINFORCED w/ REBAR INTO FOOTING TO PREVENT OVERTURNING. SEE DETAILS ON 4/A4.2
- APPROXIMATE LINE OF BEDROCK AND CONCRETE FLOOR INTERSECTION. RAISING OF CONCRETE FLOOR ON SOUTH SIDE OF LINE MAY BE REQUIRED.

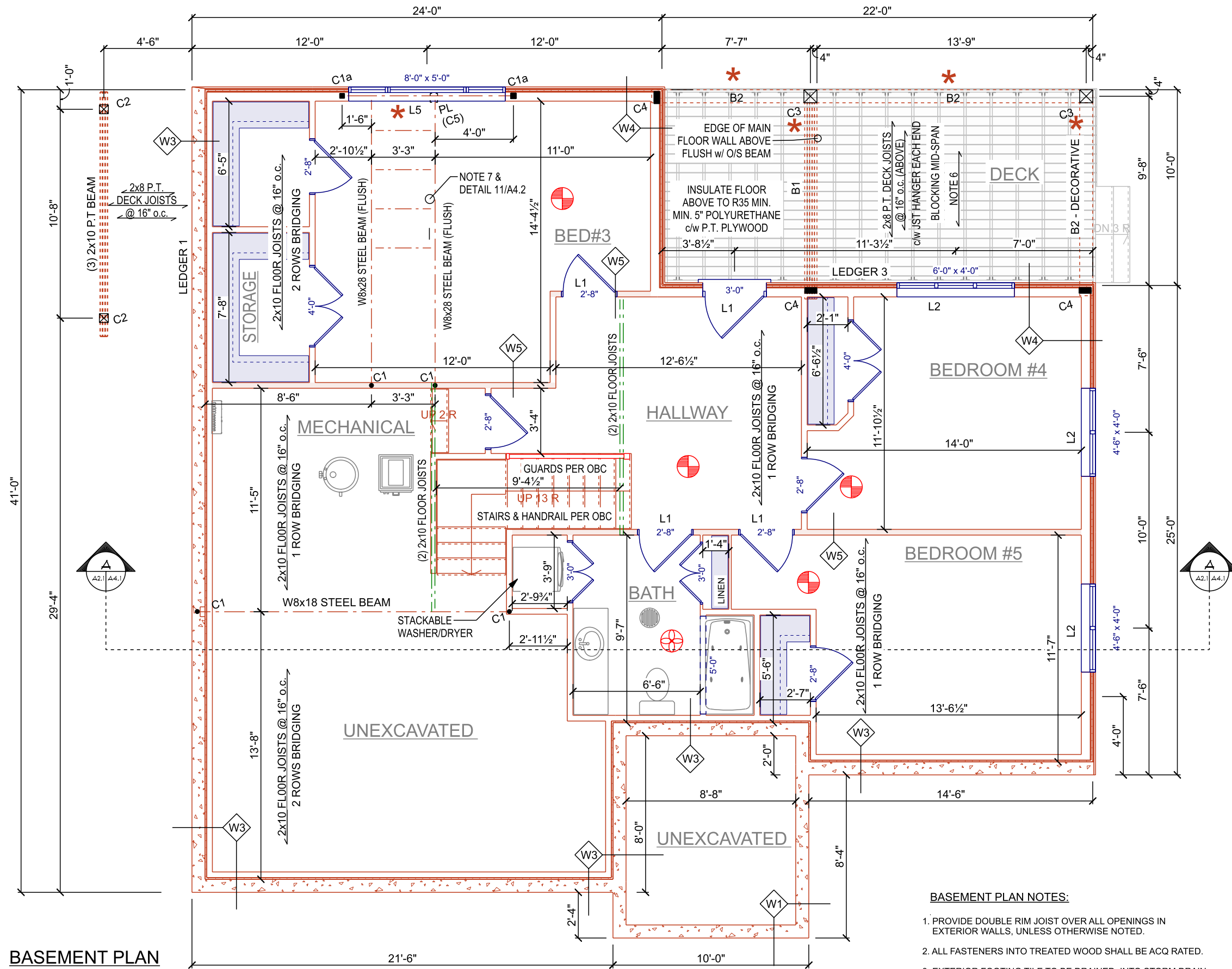
LEGEND:

- = EXISTING STONE WALL (TO BE REMOVED)
- = EXISTING STONE WALL (w/ NEW CONCRETE WALL ON INSIDE FACE)
- = 8" CONCRETE WALL

FOUNDATION PLAN

SCALE: 3/16" = 1'-0"





BASEMENT PLAN

SCALE: 3/16" = 1'-0"

LEGEND:

- = SMOKE DETECTOR & C.O. DETECTOR TO BE IN EACH BEDROOM
- = EXHAUST FAN VENTED TO "HRV"
- = FLOOR DRAIN TO SUMP PIT

BASEMENT PLAN NOTES:

- PROVIDE DOUBLE RIM JOIST OVER ALL OPENINGS IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
- ALL FASTENERS INTO TREATED WOOD SHALL BE ACQ RATED.
- EXTERIOR FOOTING TILE TO BE DRAINED INTO STORM DRAIN OR AWAY FROM DWELLING.
- ROOF DOWN PIPES SHALL NOT DRAIN INTO AN INTERIOR SUMP PIT.
- INTERIOR WALLS ARE 'W6' UNLESS NOTED.
- PROVIDE POSITIVE SLOPE AWAY FROM HOUSE IF DECK SURFACE ABOVE IS SOLID.(e.g. WATERPROOF MEMBRANE.)
- C5 x 6.7 STEEL CHANNEL @ 24" o.c. AND 1/4" FILLET WELD TO STEEL BEAMS EACH END. c/w 1/2" STEEL PLATE ON TOP TO SUPPORT STONE CHIMNEY.

FOUNDATION WALL ASSEMBLIES

- W1** 8" FOUNDATION WALL:
8" CONCRETE FOUNDATION WALL
ASPHALT DAMPPROOFING
PLASTIC DRAINAGE BOARD
- W3** 8" BASEMENT WALL:
1/2" DRYWALL TAPED & SANDED
S6 mil POLY VAPOR BARRIER
2 x 4 STUDS @ 16" o.c.
R14 BATT INSULATION
1" RIGID INSULATION
TYPAR HOUSEWRAP
8" CONCRETE FOUNDATION WALL
ASPHALT DAMPPROOFING
PLASTIC DRAINAGE BOARD
- W4** 2x6 SIDING EXTERIOR WALL:
WOOD SHIPLAP HALF-LOG SIDING
1/2" VERTICAL STRAPPING @ 16" o.c.
1" RIGID INSULATION (JOINTS TAPED)
7/16" OSB SHEATHING
2x6 STUDS @ 16" o.c.
R22 BATT INSULATION
S6 MIL POLY VAPOR BARRIER
1/2" DRYWALL TAPED & SANDED

INTERIOR FRAME WALL ASSEMBLIES

- W5** 2x4 BEARING PARTITION WALL:
1/2" DRYWALL TAPED & SANDED
2x4 STUDS @ 16" o.c.
1/2" DRYWALL TAPED & SANDED
THICKENED FLOOR FOOTING
- W6** 2x4 PARTITION WALL:
1/2" DRYWALL TAPED & SANDED
2x4 STUDS @ 16" o.c.
1/2" DRYWALL TAPED & SANDED

LINTEL/BEAM SCHEDULE:

- L1** = (2) 2x6 HEADER c/w
(1) 2x4 STUD BEARING & 1 KING EACH END
- L2** = (2) 2x10 HEADER c/w
(1) 2x4 STUD BEARING & 1 KING EACH END
- L5** = W8x21 STEEL BEAM WINDOW LINTEL BEARING ON COLUMNS AS NOTED.
(JACK POSTS TO MIN. 15,000 lbs WORKING LOAD RATING)
T/O BEAM 1.5" DOWN FROM T/O WALL TO PROVIDE FOR 2x6 NAILING PLATE.
WOOD PLATE REPLACED WITH STEEL SHIMS AT SUPPORTED BEAMS. SEE DETAIL 11/A4.2
- B1** = (5) 2x10 BUILT UP BEAM (FLUSH IN FLOOR SYSTEM) BEARING ON COLUMNS NOTED. PROVIDE SECURE, CONTINUOUS CONNECTION TO COLUMN 'C3' BELOW
- B2** = 8x10 No. 2 or BTR PINE BEAM
SIMPSON CBT2Z BRACKET TO COLUMN

COLUMN SCHEDULE

- C1** = 3" STEEL JACK POST
c/w 10" x 10" x 1/2" STEEL BASEPLATE
AND FASTENED TO BEAM AT TOP PER MFG.
(MIN. 10,000 lbs. WORKING LOAD RATING)
DETAIL 3/A4.2
- C1a** = 3" x 3" x 1/4" HSS STEEL POST
c/w 10" x 10" x 1/2" STEEL BASEPLATE
& BOLTED CONNECTION TO BEAM AT TOP.
(MIN. 15,000 lbs. WORKING LOAD RATING)
DETAIL 3/A4.2
- C2** = 6x6 P.T. No. 2 OR BTR POST c/w
SIMPSON CBT2Z BRACKET AT TOP &
SADDLE BRACKET ANCHORED TO PIER
- C3** = 8x8 No. 2 OR BTR PINE POST c/w
POST TO BEAM BRACKET AT TOP &
SADDLE BRACKET ANCHORED TO PIER
- C4** = (5) 2x4 STUD POST IN WALL
SET UNDER BEAM

LEDGER SCHEDULE:

- LDGR1** = 2x8 LEDGER SCREWED TO RIM JOIST c/w
5" LEDGERLOK SCREWS (OR EQUIVALENT)
SCREWS @ 12" o.c. (STAGGERED) SEE DETAIL 7/A4.2
- LDGR3** = 2x8 LEDGER SCREWED TO RIM JOIST c/w
5" LEDGERLOK SCREWS (OR EQUIVALENT)
SCREWS @ 5" o.c. (STAGGERED) SEE DETAIL 7/A4.2

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Duane Bauman

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OCT 11, 2021	REMOVE EXISTING STONE FDN WALL
NOV 15, 2021	REISSUED FOR PERMIT



PROJECT ENGINEER

PROJECT # 21-09-100



* CERTIFICATION OF STRUCTURAL ITEMS NOTED



CLIENT:

JOHN & WENDY
GIBSON

PROJECT TITLE:

1611 SQ' FT.
COTTAGE

1090 BOYCE ROAD
PORT CARLING, ON
P0B 1J0

DRAWING:

BASEMENT PLAN

SCALE: As Noted

DATE: (Y/M/D) 2021-11-15

DRAWN BY: M. FREY

PROJECT #: 2329

A2.2



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1611 SQ' FT.
COTTAGE

1090 BOYCE ROAD
PORT CARLING, ON
P0B 1J0

DRAWING:

MAIN FLOOR PLAN

SCALE:

As Noted

DATE: (Y/M/D)

2021-11-15

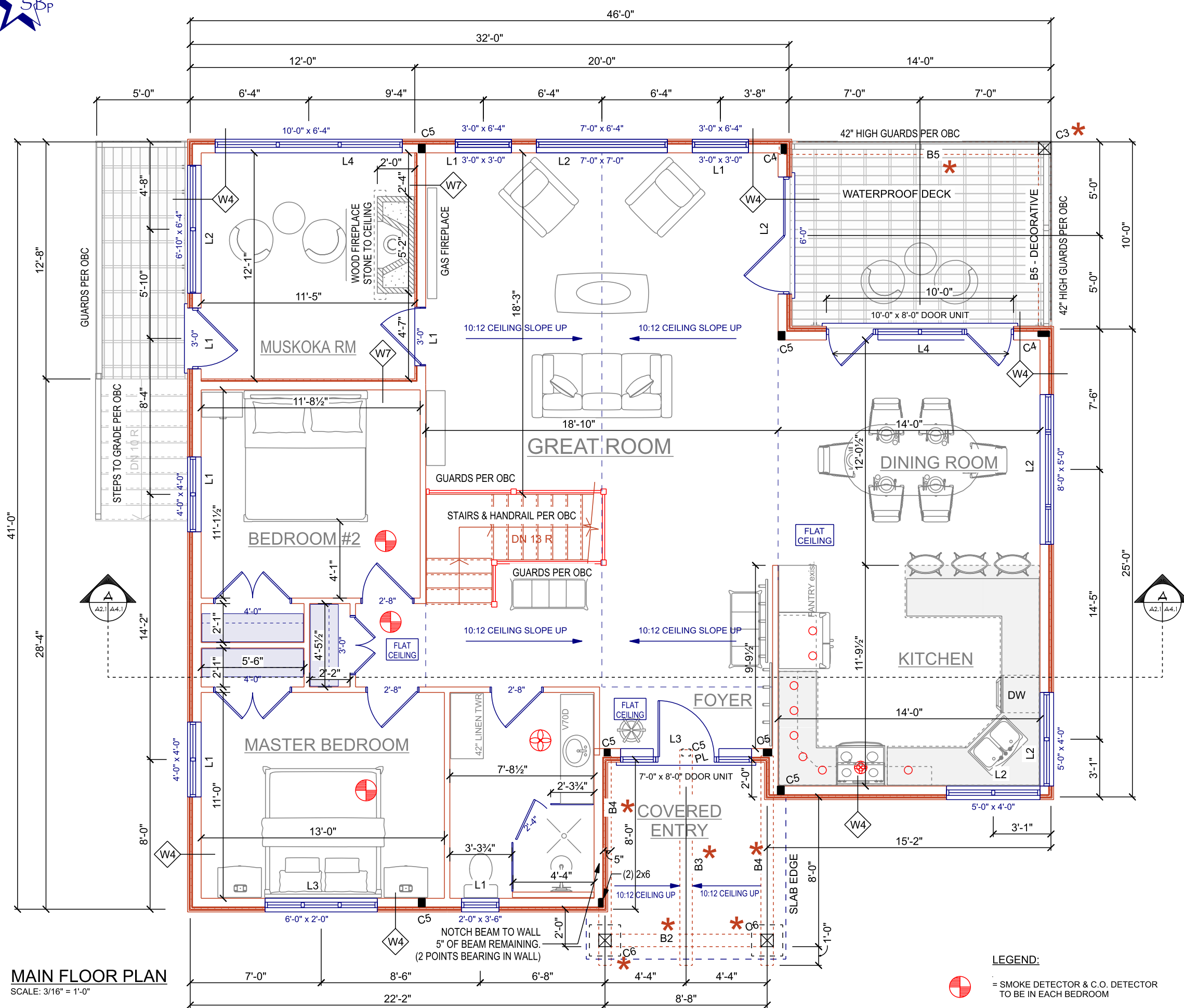
DRAWN BY:

M. FREY

PROJECT #:

2329

ALL CONSTRUCTION IS TO CONFORM TO THE ONTARIO BUILDING CODE, LATEST EDITION.



MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"

LEGEND:



= SMOKE DETECTOR & C.O. DETECTOR
TO BE IN EACH BEDROOM



= EXHAUST FAN VENTED TO "HRV"

PL

= POINT LOAD FROM GIRDER TRUSS ABOVE

- - - - -
= CEILING TRANSITION

EXTERIOR FRAME WALL ASSEMBLIES



2x6 SIDING EXTERIOR WALL:
WOOD SHIPLAP HALF-LOG SIDING
¾" VERTICAL STRAPPING @ 16" o.c.
1" RIGID INSULATION (JOINTS TAPED)
7/16" OSB SHEATHING
2x6 STUDS @ 16" o.c.
R22 BATT INSULATION
S6 MIL POLY VAPOR BARRIER
½" DRYWALL TAPED & SANDED



MUSKOKA ROOM WALL:
½" DRYWALL TAPED & SANDED
1" ENERGY SHIELD (JOINTS TAPED)
2x6 STUDS @ 16" o.c.
R22 BATT INSULATION
S6 mil POLY VAPOUR BARRIER
½" DRYWALL TAPED & SANDED

INTERIOR FRAME WALL ASSEMBLY:



2x4 PARTITION WALL:
½" DRYWALL TAPED & SANDED
2x4 STUDS @ 16" o.c.
½" DRYWALL TAPED & SANDED

LINTEL/BEAM SCHEDULE:

- L1 = (2) 2x6 HEADER c/w
(1) 2x6 STUD BEARING & 1 KING EACH END
- L2 = (2) 2x10 HEADER c/w
(1) 2x6 STUD BEARING & 1 KING EACH END
- L3 = (2) 1¾" x 9¼" LVL 2.0E HEADER c/w
(2) 2x6 BEARING & 1 KING EACH END
- L4 = (3) 1¾" x 11¾" LVL 2.0E HEADER c/w
(2) 2x6 BEARING & 2 KING EACH END
- * B3 = 8x12 No. 2 or BTR PINE RIDGE BEAM
4" M&T CONNECTION TO COLUMN
- * B4 = 8x10 No. 2 or BTR PINE BEAM
4" M&T CONNECTION TO COLUMN
- * B5 = 8x12 No. 1 or BTR PINE RIDGE BEAM
(or 8x14 No. 2 or BTR)
4" M&T CONNECTION TO COLUMN

ALL EXTERIOR HEADERS ARE INSULATED.

COLUMN SCHEDULE

- * C3 = 8x8 No. 2 OR BTR PINE POST c/w
SIMPSON CBT22 BRACKET AT
TOP & BOTTOM
- C4 = (5) 2x4 STUD POST IN WALL
SET UNDER GIRDER
SOLID BEARING TO FDN
- C5 = (3) 2x6 STUD POST IN WALL
SET UNDER GIRDER/BEAM
SOLID BEARING TO FDN
- * C6 = 8x8 No. 2 OR BTR PINE POST c/w
SIMPSON CBT22 BRACKET AT TOP &
SADDLE BRACKET ANCHORED TO SLAB
(SHOWN w/ OPTIONAL RECLAIMED STONE BASE)
DETAIL 10/A4.2

MAIN FLOOR PLAN NOTES:

- ALL FASTENERS INTO TREATED WOOD SHALL BE ACQ RATED.
- ALL INTERIOR WALLS ARE "W6" UNLESS NOTED OTHERWISE.
- LVL SUPPLIER TO PROVIDE SPEC SHEETS FOR LVL HEADERS.
- POINT LOADS TO BE TRANSFERRED TO FOUNDATION. PROVIDE SOLID BLOCKING IN FLOOR SYSTEM, TYP.



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DESIGNER INFORMATION:

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Duane Bauman BCIN 28073

DESIGNER BCIN:

Star Blueprints Inc.

BCIN 32267

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Duane Bauman

REVISION SCHEDULE

DATE	REVISION NOTE
OCT 2, 2020	ISSUED FOR CLIENT REVIEW
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NOV 09, 2020	CHANGE MAIN ROOF TO GABLED ENDS
SEP 20, 2021	ISSUED FOR PERMIT
OCT 11, 2021	REMOVE EXISTING STONE FDN WALL
NOV 15, 2021	REISSUED FOR PERMIT

PROJECT ENGINEER

PROJECT # 21-09-100



* CERTIFICATION OF STRUCTURAL ITEMS NOTED



CLIENT:

JOHN & WENDY
GIBSON

PROJECT TITLE:

1611 SQ' FT.
COTTAGE

1090 BOYCE ROAD
PORT CARLING, ON
P0B 1J0

DRAWING:

ROOF PLAN

SCALE: As Noted

DATE: (Y/M/D) 2021-11-15

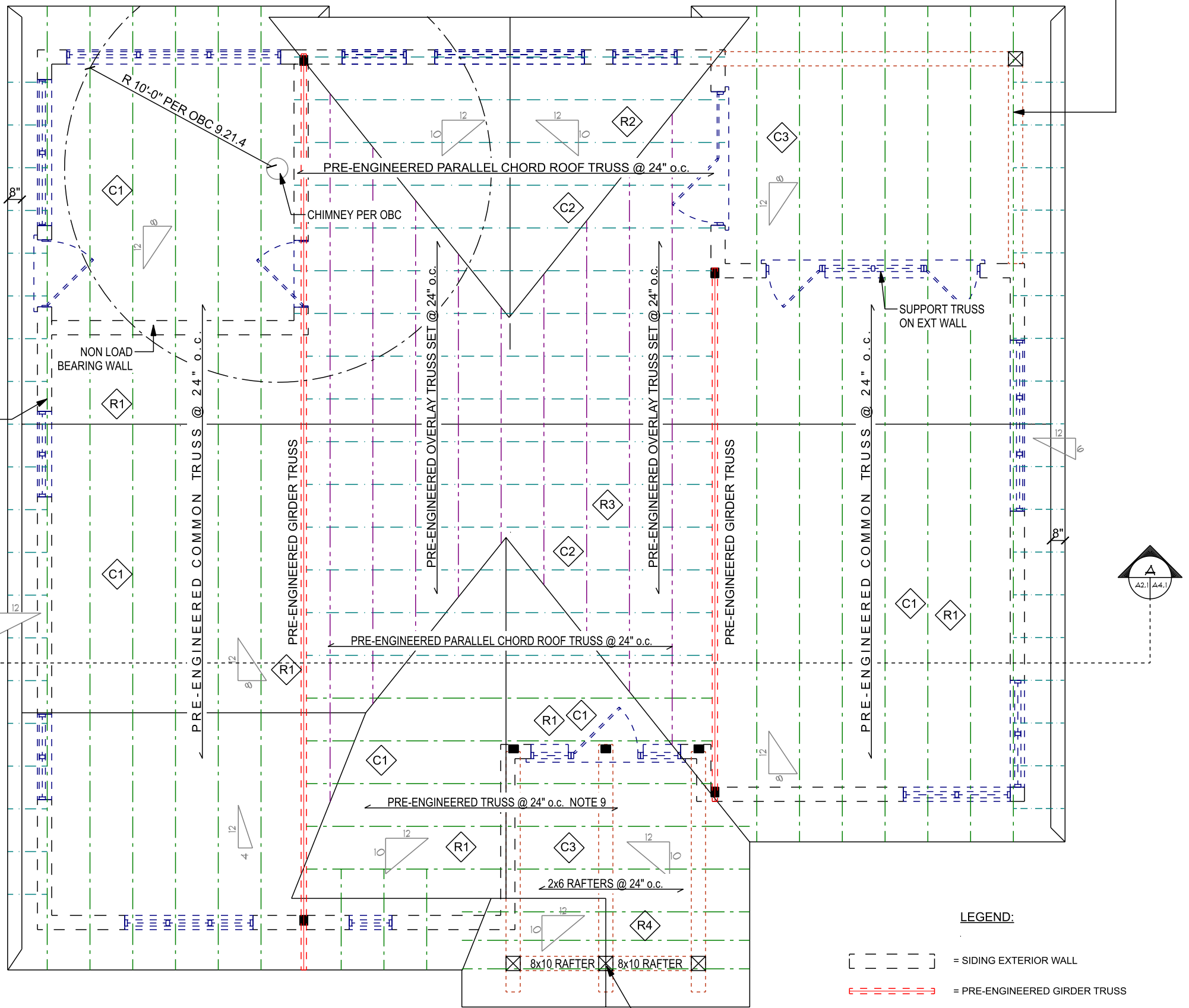
DRAWN BY: M. FREY

PROJECT #: 2329

A2.4

STICK FRAMED DUTCH GABLE ROOF:
ASPHALT ROOFING
ROOFING MEMBRANE (PER MFG)
1/2" PLYWOOD SHEATHING
2x6 LEDGER FASTENED TO GABLE TRUSS c/w
(3) #10 x 4" SCREWS @ 24" o.c.
2x4 RAFTERS @ 24" o.c.

STICK FRAMED DUTCH GABLE ROOF:
ASPHALT ROOFING
ROOFING MEMBRANE (PER MFG)
1/2" PLYWOOD SHEATHING
2x6 LEDGER FASTENED
TO GABLE TRUSS c/w
(3) #10 x 4" SCREWS @ 24" o.c.
2x4 RAFTERS @ 24" o.c.



ROOF PLAN

SCALE: 3/16" = 1'-0"

LEGEND:

- [- - -] = SIDING EXTERIOR WALL
- [- - - - -] = PRE-ENGINEERED GIRDER TRUSS
- [- - - - -] = PRE-ENGINEERED COMMON TRUSSES
- [- - - - -] = PRE-ENGINEERED PARALLEL CHORD TRUSSES
- [- - - - -] = PRE-ENGINEERED OVERLAY TRUSS SET

ROOF ASSEMBLIES:

R1 PRE-ENGINEERED TRUSS ROOF:
35 YR. ASPHALT SHINGLES
ROOF VENTS w/ UNOBSTRUCTED FREE AREA
OF 1/300 OF INSULATION CEILING AREA
INSULATION BAFFLES TO ENSURE
ADEQUATE VENTILATION
1/2" PLYWOOD SHEATHING c/w 'H' CLIPS
PRE-ENG. TRUSSES @ 24" o.c.
c/w BRACING AS REQ'D.

R2 PRE-ENGINEERED TRUSS ROOF:
35 YR. ASPHALT SHINGLES
ROOF VENTS w/ UNOBSTRUCTED FREE AREA
OF 1/300 OF INSULATION CEILING AREA
INSULATION BAFFLES TO ENSURE
ADEQUATE VENTILATION
1/2" PLYWOOD SHEATHING c/w 'H' CLIPS
PRE-ENG. PARALLEL CHORD TRUSSES @ 24" o.c.
c/w BRACING AS REQ'D.

R3 PRE-ENGINEERED TRUSS ROOF:
35 YR. ASPHALT SHINGLES
ROOF VENTS w/ UNOBSTRUCTED FREE AREA
OF 1/300 OF INSULATION CEILING AREA
INSULATION BAFFLES TO ENSURE
ADEQUATE VENTILATION
1/2" PLYWOOD SHEATHING c/w 'H' CLIPS
PRE-ENG. OVERLAY TRUSS SET @ 24" o.c.
c/w BRACING AS REQ'D.

R4 STICK FRAMED ROOF / OVERLAY ROOF:
35 YR. ASPHALT SHINGLES
1/2" PLYWOOD SHEATHING c/w 'H' CLIPS
RAFTERS PER PLAN
DECORATIVE TIMBER RAFTERS

CEILING ASSEMBLIES:

C1 INTERIOR CEILING ASSEMBLY:
R50 CELLULOSE
1x4 STRAPPING @ 16" o/c
S-6 mil POLY VAPOUR BARRIER
1/2" DRYWALL TAPED & SANDED

C2 INTERIOR CATHEDRAL CEILING ASSEMBLY:
2 LAYERS R20 BATT INSULATION (TOTAL R40)
1x4 STRAPPING @ 16" o/c
S-6 mil POLY VAPOUR BARRIER
1/2" DRYWALL TAPED & SANDED

C3 PORCH CEILING ASSEMBLY:
RAFTERS/TRUSS BTM CHORD PER PLAN
3/4" T&G PINE FINISH
(OR OTHER FINISH PER CLIENT)
(FASTENED DIRECTLY U/S RAFTERS)

ROOF PLAN NOTES:

- MAINTAIN AT LEAST 10" TRUSS HEEL FOR INSULATION AND ROOF VENTING. ROOF DRAWN WITH 3" SOFFIT DROP.
- PROVIDE VENTED SOFFITS AND 1 1/2" VENTING BETWEEN SHEATHING AND INSULATION. (INSTALL MORVENTS).
- 24" ROOF FINISHED OVERHANG AT EAVES, 18" AT GABLES, UNLESS NOTED OTHERWISE.
- WALLS SHOWN ARE BEARING.
- PROVIDE PRE-ENGINEERED TRUSS DRAWINGS TO BUILDING DEPARTMENT PRIOR TO SITE INSPECTION.
- VERIFY DIMENSIONS AND SUITABILITY BEFORE MANUFACTURE OF TRUSSES.
- PROVIDE ATTIC HATCH INSULATED AND WEATHERSTRIPPED FROM CEILING BELOW INTO ATTIC.
- ALL ROOF RAFTERS/JOISTS AND CEILING JOISTS SHALL CONFORM TO THE SPANS SHOWN IN OBC PART 9 TABLES A-3 TO A-7.
- CATHEDRAL TRUSS CONFIGURATION OVER COVERED ENTRY.

8x8 No. 2 OR BTR
PINE KING POST
2" x 4" TENON INTO BEAM
EACH END c/w (2) 1" OAK PEGS



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Duane Bauman BCIN 28073

DESIGNER SIGN:

Star Blueprints Inc.
BCIN 32267
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Duane Bauman

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NOV 15, 2021	REISSUED FOR PERMIT

CLIENT:

JOHN & WENDY
GIBSON

PROJECT TITLE:

1611 SQ' FT.
COTTAGE

1090 BOYCE ROAD
PORT CARLING, ON
P0B 1J0

DRAWING:

N & E ELEVATIONS

SCALE:

1/8" = 1'-0"

PAGE:

DATE (Y/M/D)

2021-11-15

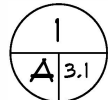
DRAWN BY:

M. FREY

PROJECT #:

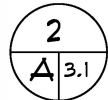
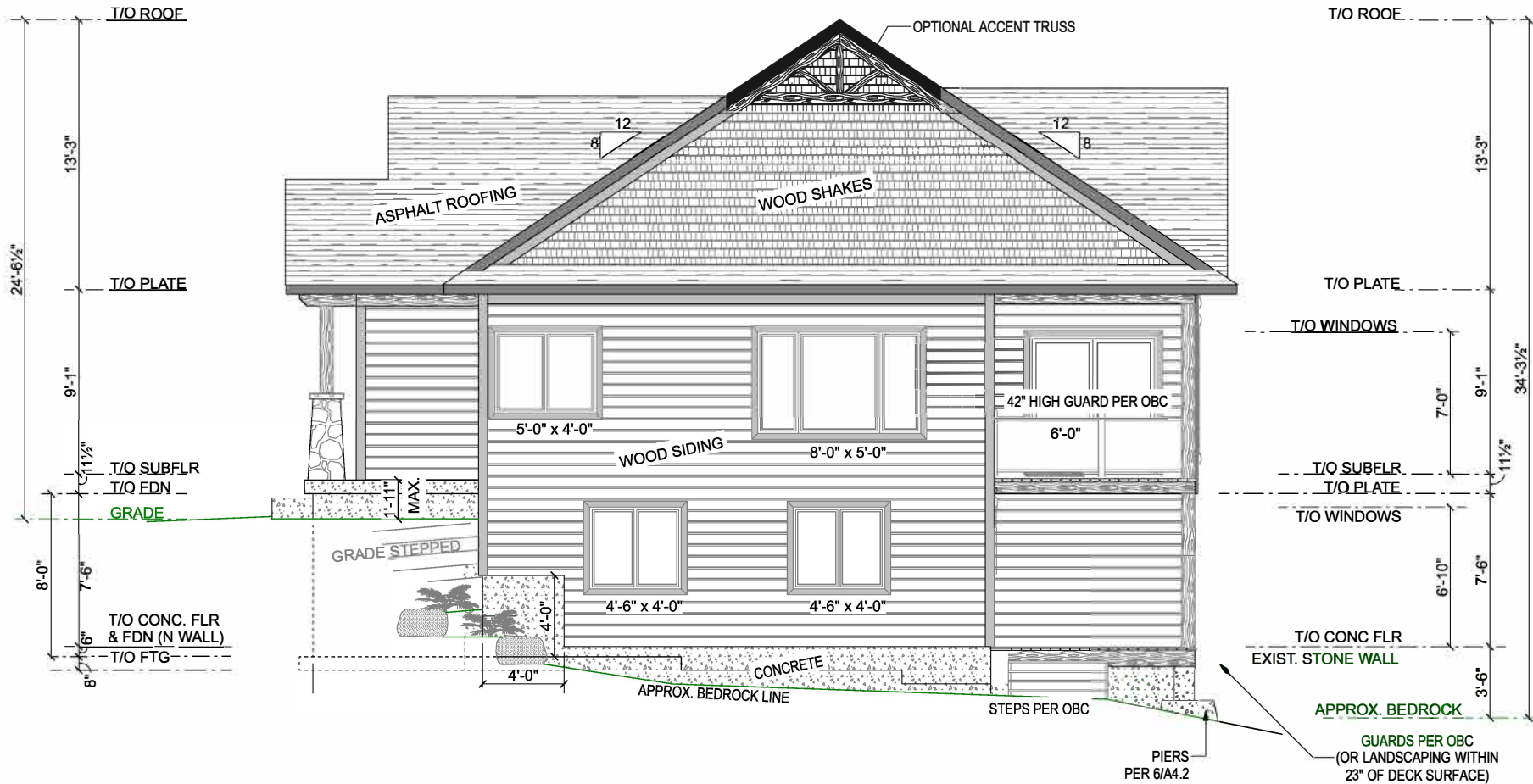
2329

A3.1



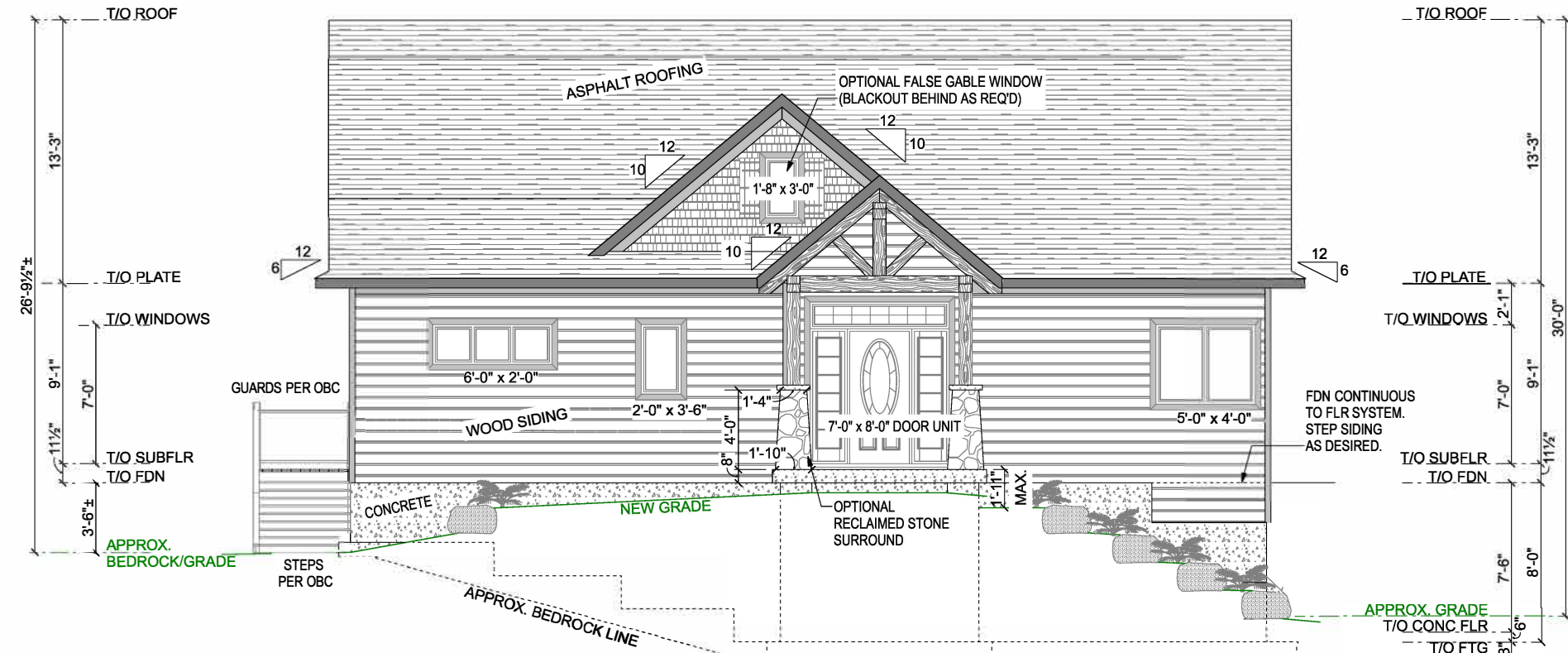
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"





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blueprints INC.

DESIGNER INFORMATION:

Duane Bauman BCIN 28073

Dean Ransom

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PROJECT TITLE:

1090 BOYCE ROAD
PORT CARLING, ON
P0B 1J0

SCALE:	$1/8" = 1'-0"$	PAGE
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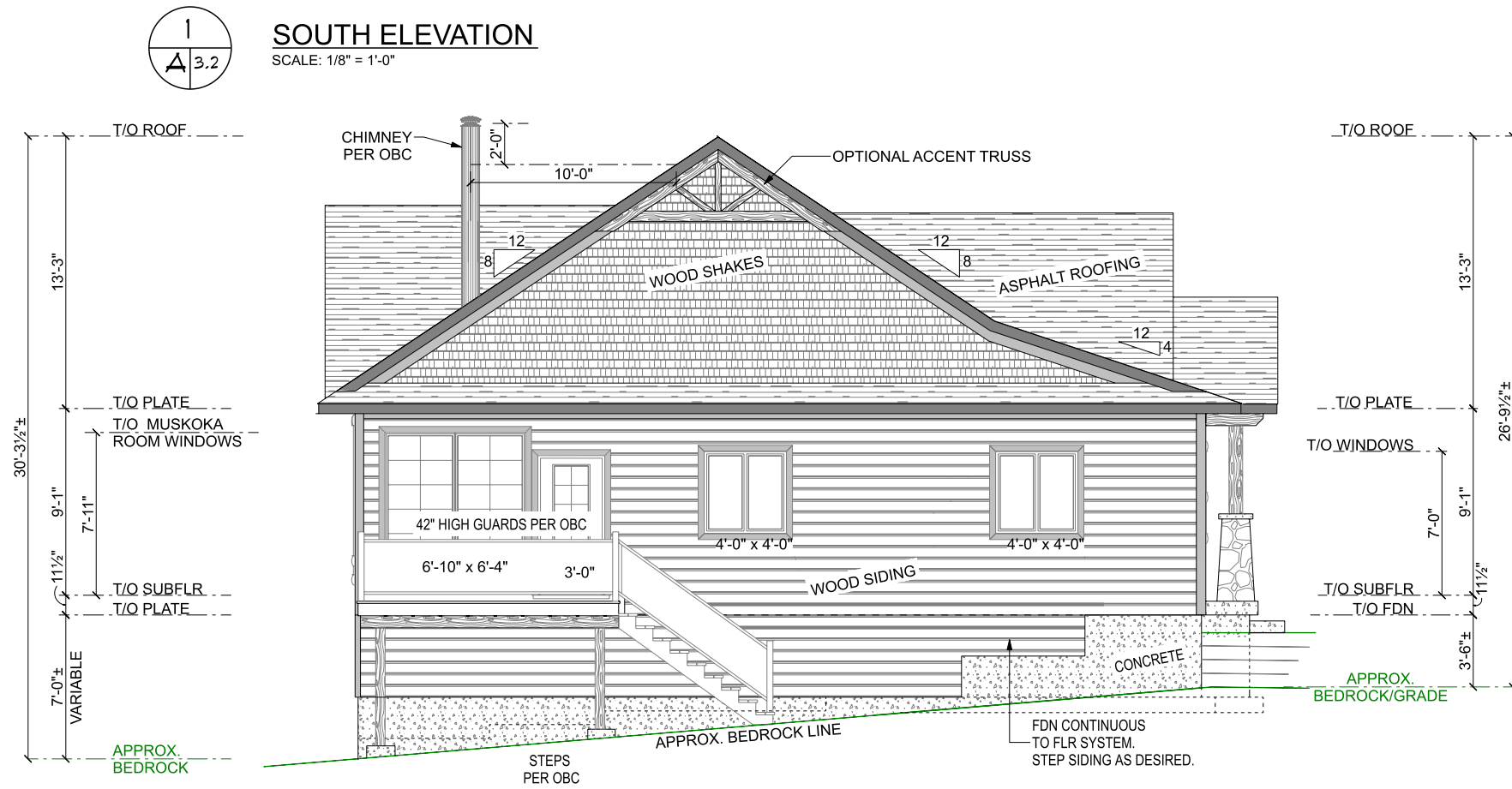
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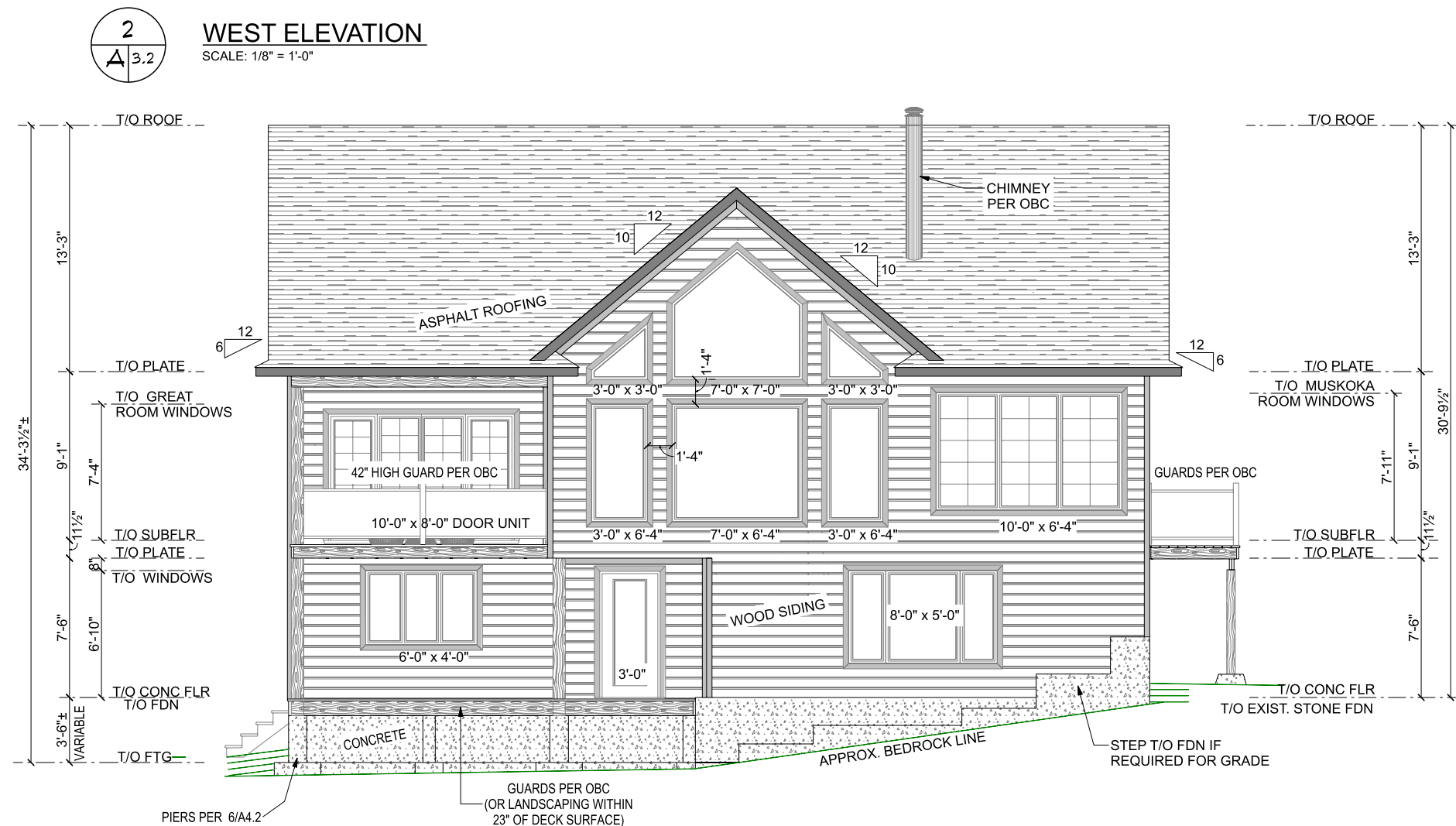
PROJECT #:	2329
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A3.2

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

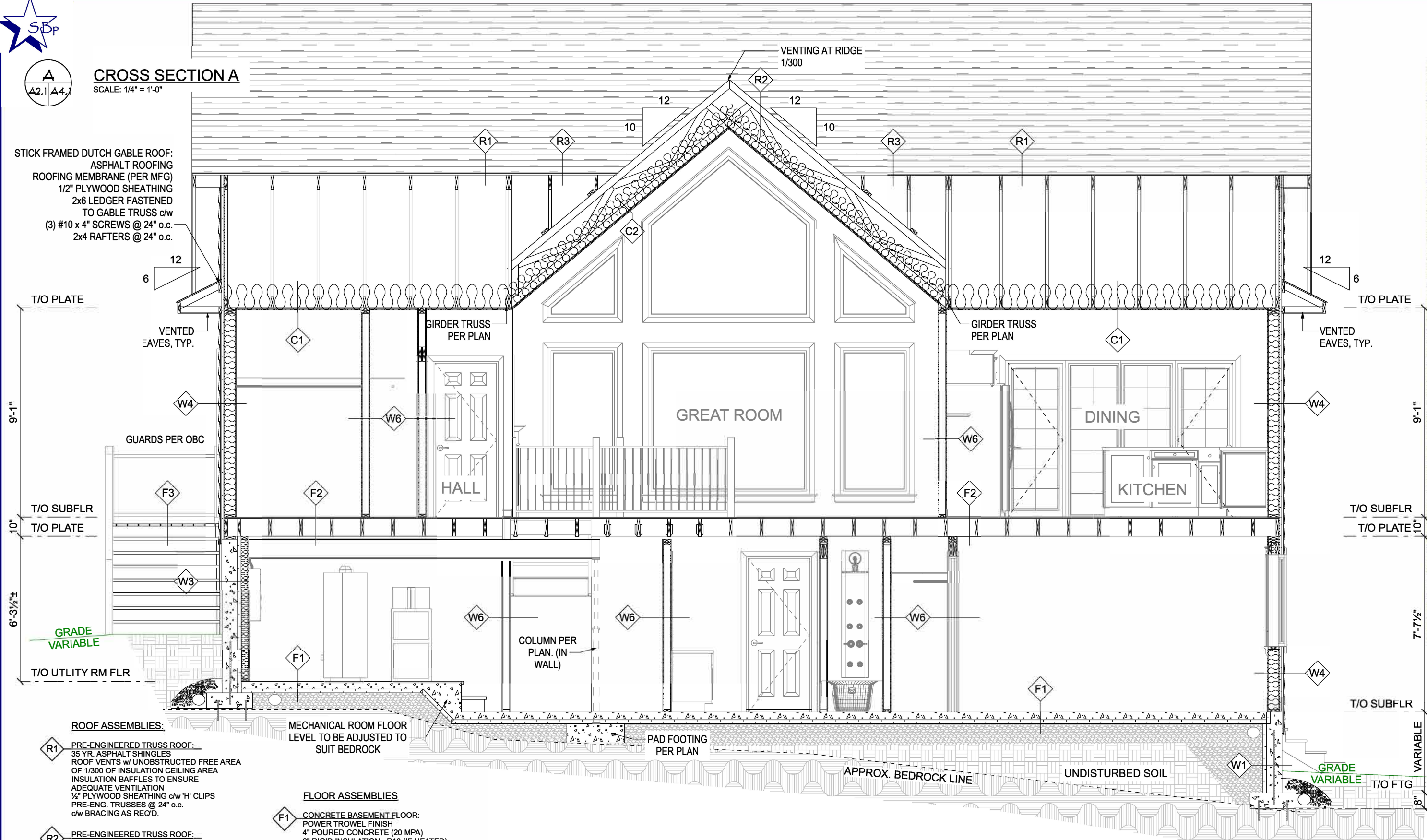


ALL CONSTRUCTION IS TO CONFORM TO THE ONTARIO BUILDING CODE, LATEST EDITION.

**CROSS SECTION A**

SCALE: 1/4" = 1'-0"

STICK FRAMED DUTCH GABLE ROOF:
ASPHALT ROOFING
ROOFING MEMBRANE (PER MFG)
1/2" PLYWOOD SHEATHING
2x6 LEDGER FASTENED
TO GABLE TRUSS c/w
(3) #10 x 4" SCREWS @ 24" o.c.
2x4 RAFTERS @ 24" o.c.

**ROOF ASSEMBLIES:**

- R1** PRE-ENGINEERED TRUSS ROOF:
35 YR. ASPHALT SHINGLES
ROOF VENTS w/ UNOBSTRUCTED FREE AREA
OF 1/300 OF INSULATION CEILING AREA
INSULATION BAFFLES TO ENSURE
ADEQUATE VENTILATION
1/2" PLYWOOD SHEATHING c/w 'H' CLIPS
PRE-ENG. TRUSSES @ 24" o.c.
c/w BRACING AS REQ'D.
- R2** PRE-ENGINEERED TRUSS ROOF:
35 YR. ASPHALT SHINGLES
ROOF VENTS w/ UNOBSTRUCTED FREE AREA
OF 1/300 OF INSULATION CEILING AREA
INSULATION BAFFLES TO ENSURE
ADEQUATE VENTILATION
1/2" PLYWOOD SHEATHING c/w 'H' CLIPS
PRE-ENG. PARALLEL CHORD TRUSSES @ 24" o.c.
c/w BRACING AS REQ'D.
- R3** PRE-ENGINEERED TRUSS ROOF:
35 YR. ASPHALT SHINGLES
ROOF VENTS w/ UNOBSTRUCTED FREE AREA
OF 1/300 OF INSULATION CEILING AREA
INSULATION BAFFLES TO ENSURE
ADEQUATE VENTILATION
1/2" PLYWOOD SHEATHING c/w 'H' CLIPS
PRE-ENG. OVERLAY TRUSS SET @ 24" o.c.
c/w BRACING AS REQ'D.
- R4** STICK FRAMED ROOF / OVERLAY ROOF:
35 YR. ASPHALT SHINGLES
1/2" PLYWOOD SHEATHING c/w 'H' CLIPS
RAFTERS PER PLAN
DECORATIVE TIMBER RAFTERS

FLOOR ASSEMBLIES

- F1** CONCRETE BASEMENT FLOOR:
POWER TROWEL FINISH
4" POURED CONCRETE (20 MPA)
2" RIGID INSULATION - R10 (IF HEATED)
S10mil POLY VAPOUR BARRIER w/
ALL EDGES, PENETRATIONS & JOINTS CAULKED
FOR SEALING AGAINST RADON GAS
6" CLEAR DRAINAGE STONE
- F2** MAIN FLOOR SYSTEM:
FINISH FLOOR ON UNDERLAY AS REQ'D.
3/4" T&G SCREWED & GLUED
FLOOR JOISTS PER PLAN
- F3** DECK FLOOR SYSTEM:
P.T. DECKING SCREWED TO
P.T. DECK JOISTS PER PLAN
- F4** SUPPORTED CONCRETE PORCH SLAB:
4" (6" AT EDGES) POURED CONCRETE (32 MPA)
FINISH AS REQ'D.
MIN. 3" BEARING ENTIRE PERIMETER
SLOPE FLOOR TO OUTSIDE
MIN. 6" COMPACTED GRANULAR 'A' FILL
(COMPACTED @ 12" LIFTS)

CEILING ASSEMBLIES:

- C1** INTERIOR CEILING ASSEMBLY:
R50 CELLULOSE
1x4 STRAPPING @ 16" o/c
S-6 mil POLY VAPOUR BARRIER
1/2" DRYWALL TAPED & SANDED
- C2** INTERIOR CATHEDRAL CEILING ASSEMBLY:
2 LAYERS R20 BATT INSULATION (TOTAL R40)
1x4 STRAPPING @ 16" o/c
S-6 mil POLY VAPOUR BARRIER
1/2" DRYWALL TAPED & SANDED
- C3** PORCH CEILING ASSEMBLY:
RAFTERS/TRUSS BTM CHORD PER PLAN
3/4" T&G PINE FINISH
(OR OTHER FINISH PER CLIENT)
(FASTENED DIRECTLY U/S RAFTERS)

EXTERIOR FRAME WALL ASSEMBLIES

- W4** 2x6 SIDING EXTERIOR WALL:
WOOD SHIPLAP HALF-LOG SIDING
3/4" VERTICAL STRAPPING @ 16" o.c.
1" RIGID INSULATION (JOINTS TAPED)
7/16" OSB SHEATHING
2x6 STUDS @ 16" o.c.
R22 BATT INSULATION
S6 MIL POLY VAPOR BARRIER
1/2" DRYWALL TAPED & SANDED
- W7** MUSKOKA ROOM WALL:
1/2" DRYWALL TAPED & SANDED
1" ENERGY SHIELD (JOINTS TAPED)
2x6 STUDS @ 16" o.c.
R22 BATT INSULATION
S6 mil POLY VAPOUR BARRIER
1/2" DRYWALL TAPED & SANDED

FOUNDATION WALL ASSEMBLIES

- W1** 8" FOUNDATION WALL:
8" CONCRETE FOUNDATION WALL
ASPHALT DAMPPROOFING
PLASTIC DRAINAGE BOARD
- W3** 8" BASEMENT WALL:
1/2" DRYWALL TAPED & SANDED
S6 mil POLY VAPOR BARRIER
2 x 4 STUDS @ 16" o.c.
R14 BATT INSULATION
1" RIGID INSULATION
TYPAR HOUSEWRAP
8" CONCRETE FOUNDATION WALL
ASPHALT DAMPPROOFING
PLASTIC DRAINAGE BOARD

INTERIOR FRAME WALL ASSEMBLIES

- W5** 2x4 BEARING PARTITION WALL:
1/2" DRYWALL TAPED & SANDED
2x4 STUDS @ 16" o.c.
1/2" DRYWALL TAPED & SANDED
THICKENED FLOOR FOOTING
- W6** 2x4 PARTITION WALL:
1/2" DRYWALL TAPED & SANDED
2x4 STUDS @ 16" o.c.
1/2" DRYWALL TAPED & SANDED

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COTTAGE

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P0B 1J0

DRAWING:

BUILDING SECTION

SCALE: As Noted

DATE: (Y/M/D) 2021-11-15

DRAWN BY: M. FREY

PROJECT #: 2329

A4.1