



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, March 11th, 2024 at 9:00 a.m.

File #: A-08/24

Roll #: 9-13-075

Civic Address: 2649 Muskoka Road 118 West

Owners: Carlos and Tanya Lovrics, 7740 Southwood Drive, Niagara Falls, ON, L2H 2X1

Legal Description: Lot 28, Concession 12, Parts 1 and 2, Plan 35R-4915, (Monck)

Lake/River: Lake Muskoka (Category 1 Lake)

Zoning: Waterfront Residential (WR1)

Zoning Schedule: 37

EXPLANATION OF THE PURPOSE AND EFFECT: The applicants propose to construct a one storey addition with a walkout basement and a sundeck addition.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.3.6 & 4.1.3.7	Maximum Lot Coverage (Within 200 Feet of the High Water Mark)	10% (4,685 sq. ft.)	10.4% (4,887 sq. ft.)	202 sq. ft.
B	4.1.3 & 4.1.3.5	Front Yard Setback (Sundeck)	48.7 ft.	48.5 ft.	0.2 ft.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

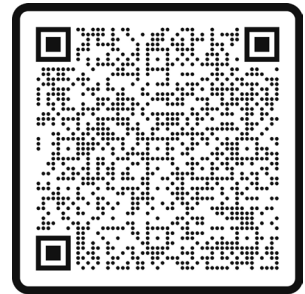
TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.**

ZOOM Guide

More information about viewing and/or participating in the zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

Electronic Version of Notice of Hearing

Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code:



Submit Comments in Writing

Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.



Active Verbal Participation in Person or on Zoom

Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit: www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.



Watch the Meeting Online

You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

For more information, please contact the Planning Department weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

FAILURE TO PARTICIPATE: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

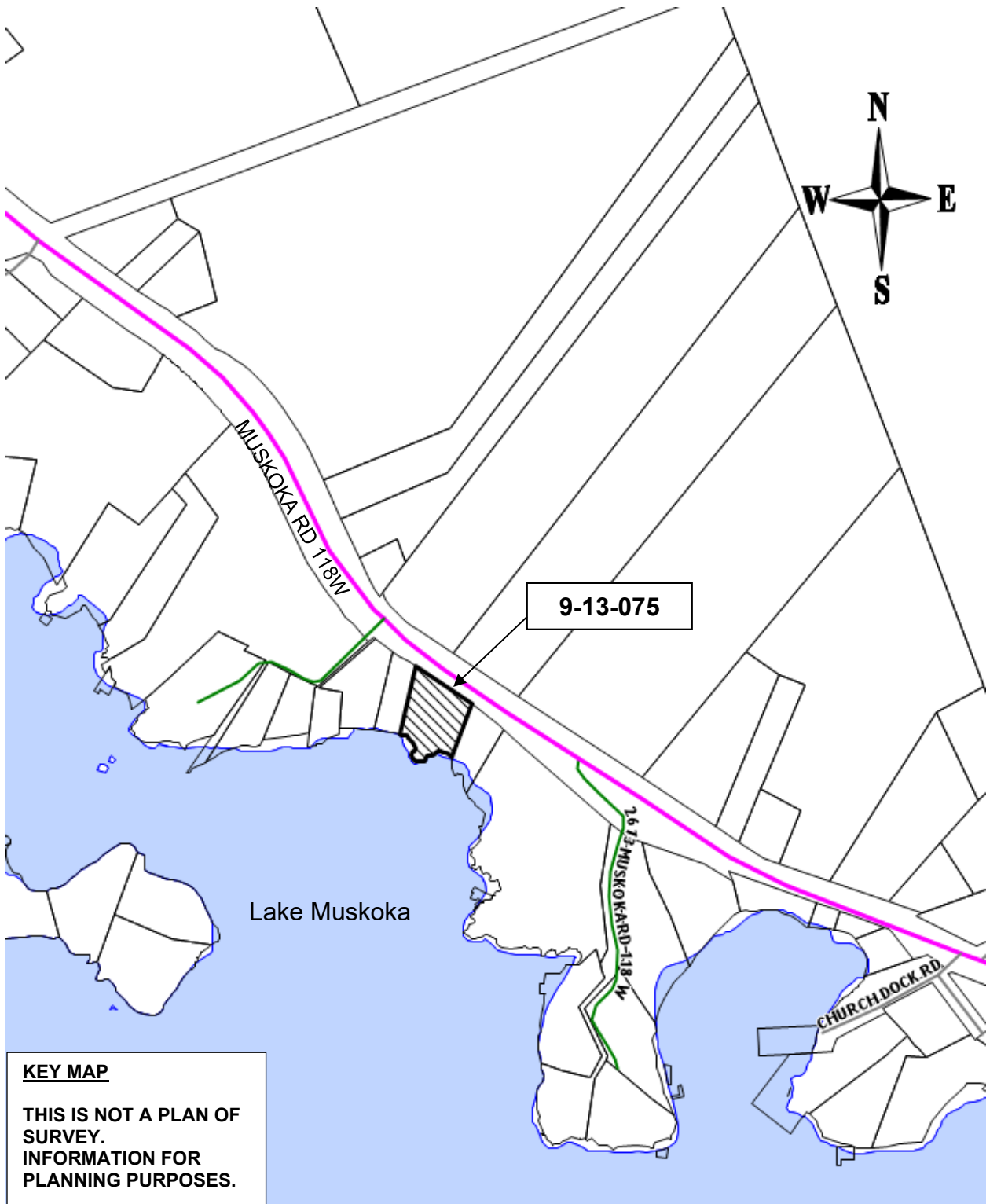
DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, no one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 27th day of February, 2024.

"Original Signed by C. Ward"
Chelsea Ward,
Secretary-Treasurer
Committee of Adjustment

KEY MAP





SITE PLAN INFORMATION

DESCRIPTION
2649 HWY 118 W
TOWNSHIP OF MUSKOKA LAKES

NOTES

- THIS IS NOT A PLAN OF SURVEY. PROPERTY LINES, LOT AREAS, DIMENSIONS, BUILDING POSITIONS & RELATED SITE INFORMATION NOTED IS APPROXIMATE, FOR GENERAL REFERENCE ONLY, DERIVED FROM DAVID GILLETT DESIGN LTD SITE OBSERVATION MAY 16, 2023 & LOT GRADING PLAN PROVIDED BY OWNER, AS PREPARED BY UPPER CANADA CONSULTANTS, NOVEMBER 17, 2022 & PARTIAL COTTAGE LOCATE/ PARTIAL SHORELINE MAPPING RECEIVED FROM COOTE, HILEY, JEMMETT LIMITED, AUGUST 26, 2023.
- OWNER/ CONTRACTOR IS RESPONSIBLE TO ENSURE NEW CONSTRUCTION IS CORRECTLY LOCATED IN RELATION TO ALL BOUNDARIES & SETBACK REQUIREMENTS.

LOT AREA & STRUCTURES (within 61m of water's edge):

	AREA (m ²)	AREA (S.F.)
LOT AREA w/IN 61m OF WATER'S EDGE PER C.H.J.	4,353	46,857
EXISTING COTTAGE & ROOFED ENTRY PORCH	169.7	1,827.0
EXISTING GARAGE	74.6	803.0
EXISTING SHED	11.9	128.0
EXISTING BUNKIE	26.6	286.0
EXISTING BOATHOUSE & ROOFED EXT. AREA	89.1	959.0
EXISTING TOTAL	371.9	4,003.0
EXISTING LOT COVERAGE w/IN 61m OF SHORELINE		8.54%
PROPOSED ADDITION	82.1	884.0
PROPOSED TOTAL	82.1	884.0
PROP. ADDITIONAL LOT COVERAGE w/IN 61m OF WATER'S EDGE		1.89%
EXISTING + PROPOSED LOT COVERAGE w/IN 61m OF SHORELINE		10.43%

LOT AREA & STRUCTURES (whole lot):

	AREA (m ²)	AREA (S.F.)
-TOTAL LOT AREA	4,721	50,819
EXISTING STRUCTURES GRAND TOTAL	371.9	4,003.0
PROPOSED STRUCTURES GRAND TOTAL	82.1	884.0
EXISTING + PROPOSED GRAND TOTAL	454.0	4,887.0
LOT COVERAGE (whole lot)		9.62%

ON-SHORE STRUCTURES SETBACKS (MINIMUM)

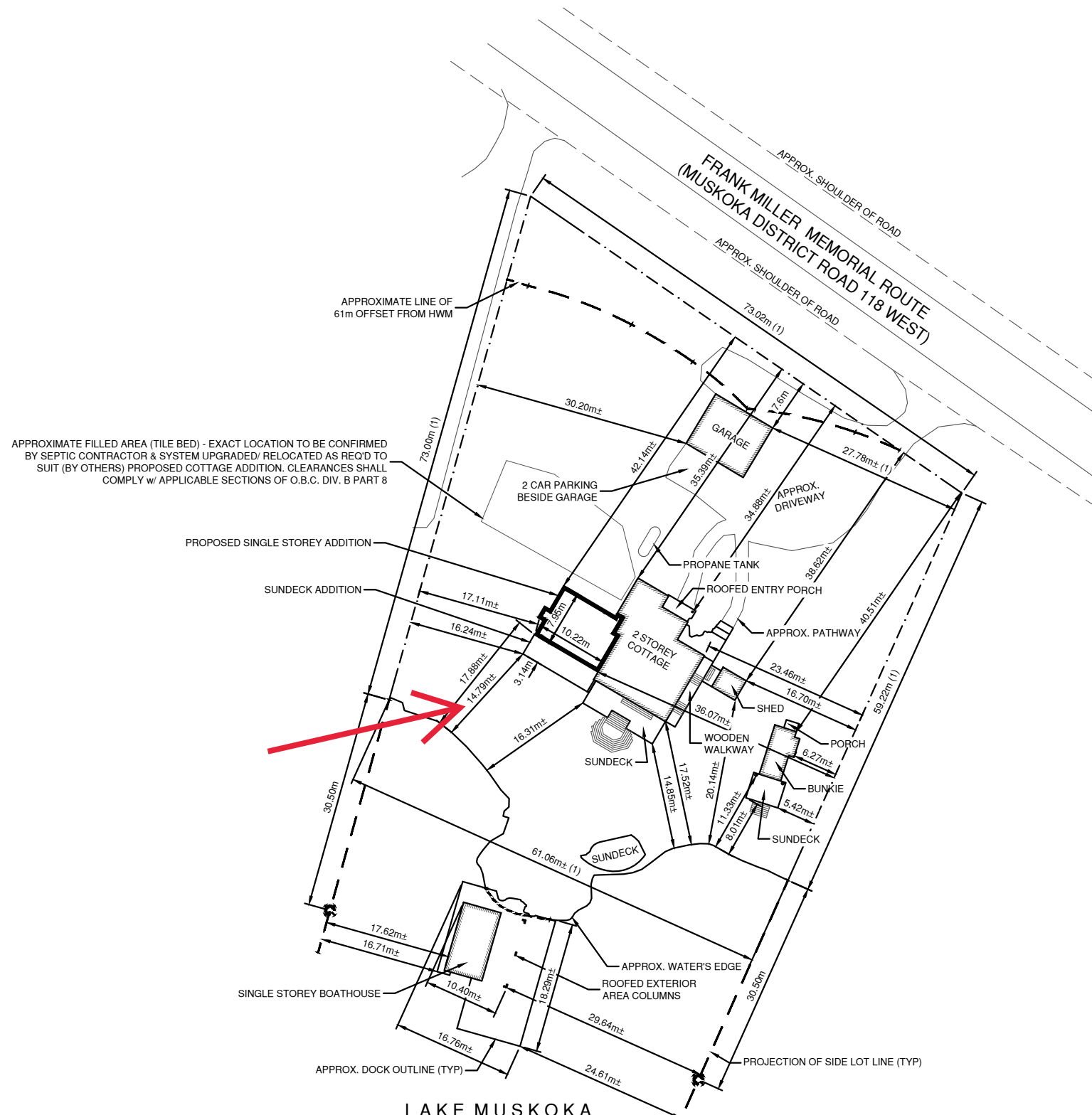
FRONT YARD: 20.1m
INTERIOR SIDE YARD: 4.6m
REAR YARD: 4.6m (7.6m TO PUBLIC ROAD)

ZONING

WR1

DIMENSION NOTE

(1) NOTATION INDICATES DIMENSION DERIVED FROM 2022 LOT GRADING PLAN DRAWING PROVIDED BY OWNERS.



APPROXIMATE FILLED AREA (TILE BED) - EXACT LOCATION TO BE CONFIRMED BY SEPTIC CONTRACTOR & SYSTEM UPGRADED/ RELOCATED AS REQ'D TO SUIT (BY OTHERS) PROPOSED COTTAGE ADDITION. CLEARANCES SHALL COMPLY w/ APPLICABLE SECTIONS OF O.B.C. DIV. B PART 8

LAKE MUSKOKA

1 SITE PLAN
ST1 Scale 1:750

FOR INFORMATIONAL PURPOSES ONLY

General Notes

These Notes Apply To All Drawings

- Do not scale drawings. Use only noted dimensions.
- Contractor shall verify all dimensions prior to commencing any work and shall report any discrepancies to designer prior to proceeding.
- All work shall be performed in accordance with the latest revised version of the Ontario Building Code & all other applicable codes & standards.
- These drawings are the property of the designer and may not be copied without the designer's approval and are subject to return upon request.
- Contractor shall ensure that the building is located correctly in relation to all boundaries, setback lines and other municipal requirements.

DAVIDGILLETDESIGNLTD

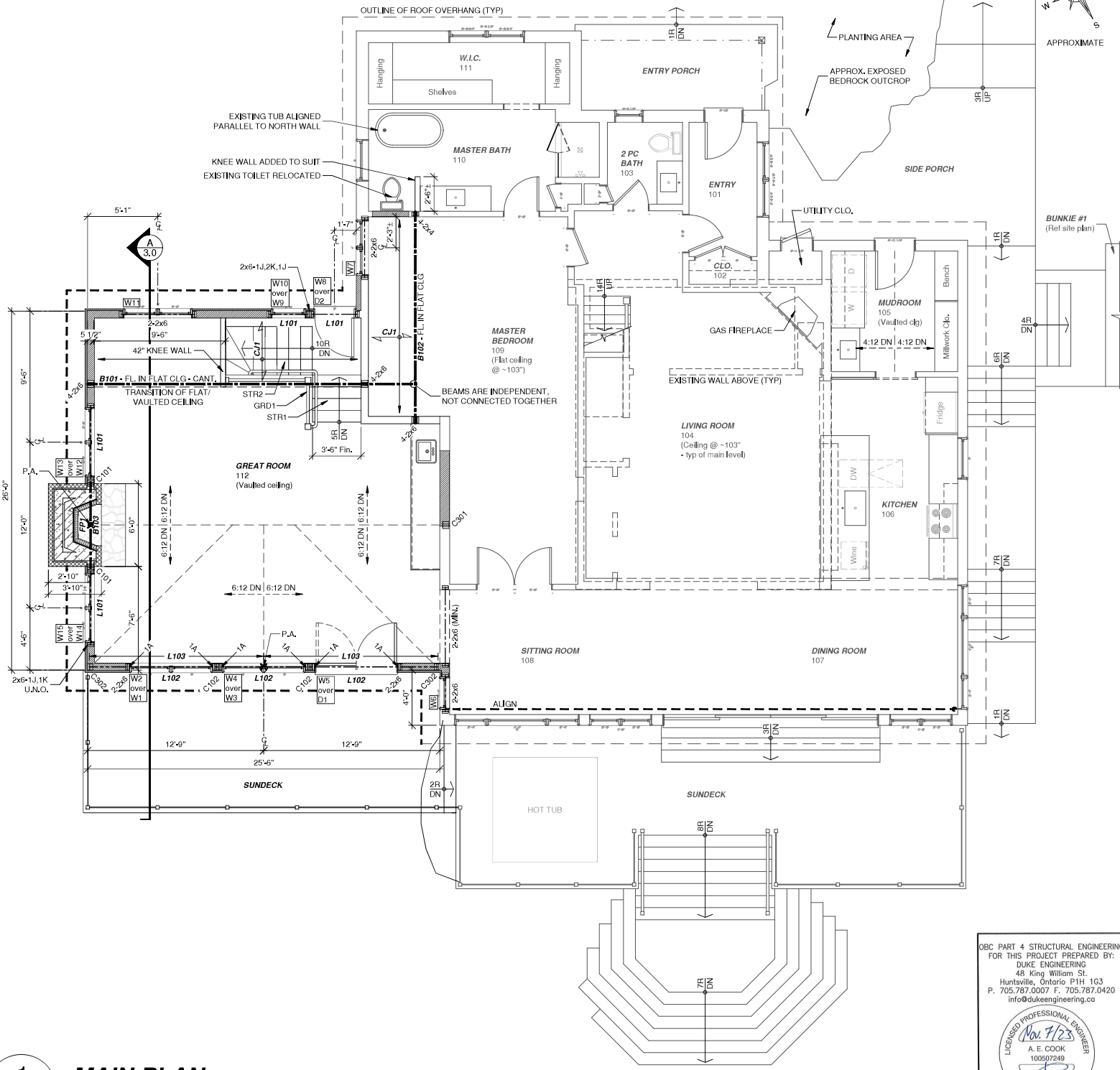
No.	Revision/Issue	Date
2	Revised for permit	12.05.23
1	Issued for permit	11.07.23

Drawn by: P.R.
Chkd. by: D.G.

DAVID GILLET DESIGN LTD. BCIN: 27544
2456 Warminster Rd. Severn, ON L3V 7C6
p 705-327-5147 f 705-327-8984
e david@davidgillettdesign.com

Project Name and Address
LOVRICS COTTAGE PROPERTY
2649 HWY 118 W, MUSKOKA LAKES

Project	Sheet
Date: JAN 2024	ST1
Scale: As Noted	



1 **MAIN PLAN**
A1.3 Scale 1/4" = 1'-0"

ONC PART 4 STRUCTURAL ENGINEERING
FOR THIS PROJECT PREPARED BY:
DUKE ENGINEERING
48 King William St.
Huntsville, Ontario P1H 1G3
P. 705.787.0007 F. 705.787.0420
info@dukeengineering.ca

Project # 23-20-06



APPROXIMATE

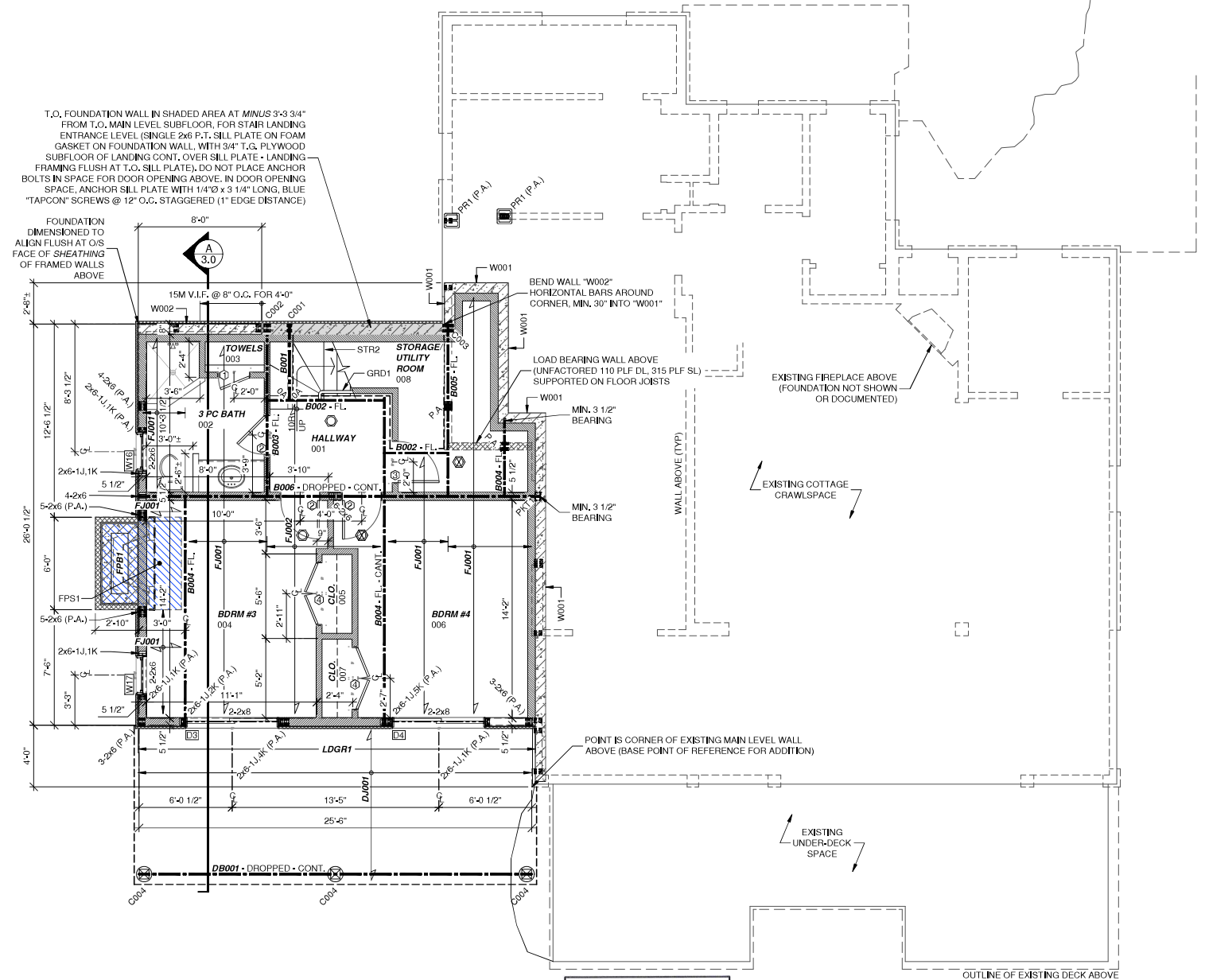
LOWER PLAN INTERIOR DOOR SCHEDULE		
MARK	DIMENSIONS (WxH) - Excluding jambs -	NOTES
1	2'-0" x 6'-8"	
2	2'-6" x 6'-8"	
3	2'-8" x 6'-8"	
4	4'-0" x 6'-8"	2 - 2'-0"

DIMENSION NOTES

1. PROPOSED WALL/FRAMING DIMENSIONS ON THIS PLAN ARE TO FRAMING/STRUCTURAL MEMBERS & DO NOT INCLUDE SHEATHING OR FINISHES, UNLESS STATED OTHERWISE AT POINT OF DIMENSION.
2. PROPOSED EXTERIOR WALL FRAMING IS 2x6 UNLESS DIMENSIONED OR NOTED OTHERWISE.
3. PROPOSED INTERIOR WALL FRAMING IS 2x4 UNLESS DIMENSIONED OR NOTED OTHERWISE.
4. FOUNDATION WALLS SUPPORTING ADDITION ARE SET FOR 1/2" OFFSET OUTWARD FROM THE OUTSIDE FACE OF THE EXTERIOR WALL STUDS ABOVE, TO MATCH THE OUTSIDE PLANE OF THE EXTERIOR WALL SHEATHING.
5. FOUNDATION WALLS BENEATH EXISTING STRUCTURE SHALL BE LOCATED TO ALIGN WITH EXISTING FRAMING MEMBERS.

T.O. FOUNDATION WALL IN SHADED AREA AT MINUS 3'-3 3/4" FROM T.O. MAIN LEVEL SUBFLOOR, FOR STAIR LANDING ENTRANCE LEVEL (SINGLE 2x6 P.T. SILL PLATE ON FOAM GASKET ON FOUNDATION WALL, WITH 3/4" T.G. PLYWOOD SUBFLOOR OF LANDING CONT. OVER SILL PLATE - LANDING FRAMING FLUSH AT T.O. SILL PLATE), DO NOT PLACE ANCHOR BOLTS IN SPACE FOR DOOR OPENING ABOVE. IN DOOR OPENING SPACE, ANCHOR SILL PLATE WITH 1/4"Ø x 3 1/4" LONG, BLUE "TAPCON" SCREWS @ 12" O.C. STAGGERED (1" EDGE DISTANCE)

FOUNDATION DIMENSIONED TO ALIGN FLUSH AT O/S FACE OF SHEATHING OF FRAMED WALLS ABOVE



OBC PART 4 STRUCTURAL ENGINEERING
FOR THIS PROJECT PREPARED BY:
DUKE ENGINEERING
48 King William St
Huntsville, Ontario P1H 1G3
P. 705.787.0007 F. 705.787.0420
info@dukeengineering.ca

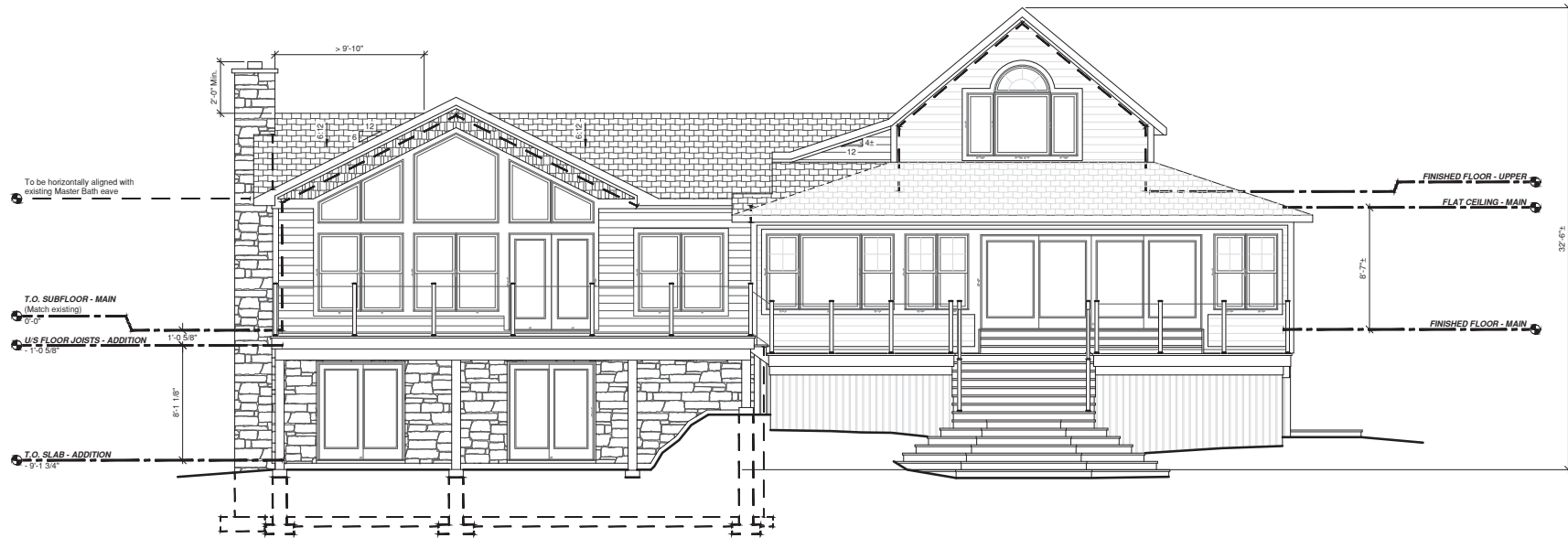


Project # 23-20-06

CONNECTOR MATRIX: LOWER PLAN			
CONN. ID	ORDER QTY	CONNECTOR MODEL () = Special Order, Option, or Modification	FASTENER SCHEDULE
0A	2	A34	Header Top n/a Header Face (4) 8d x 1.5 Joist (4) 8d x 1.5

ELECTRICAL SYMBOL LEGEND	
	ALARM - SMOKE
	ALARM - COMBINATION CO/ SMOKE

1
A1.1 **BASEMENT PLAN**
Scale 1/4" = 1'-0"



FRONT (SOUTH) ELEVATION
SCALE 1/8" = 1'-0"
Sizes and positions approximate only