



Box 129, Port Carling, ON, POB 1J0  
Telephone (705) 765-3156  
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES  
**COMMITTEE OF ADJUSTMENT**

**NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE**

This notice has been sent to you for your information and does not require any response unless you wish to make one.

**TAKE NOTICE THAT** the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

**Hearing Date: Monday, March 11th, 2024 at 9:00 a.m.**

**File #:** A-10/24

**Roll #:** 6-24-001

**Civic Address:** 1080 Mortimers Point Road

**Owners:** Julie Babcock and Christopher Sims, 1080 Mortimers Point Road, RR #1, Port Carling, ON, POB 1J0

**Legal Description:** Lot 19, Concession G, Lot 1, Plan 29, Part 3, Plan 35R-16396, (Medora)

**Lake/River:** Lake Muskoka (Category 1 Lake)

**Zoning:** Waterfront Residential (WR5)

**Zoning Schedule:** 35

**EXPLANATION OF THE PURPOSE AND EFFECT:** The applicants propose to demolish an existing one storey dwelling with an attached sundeck and a shed, and propose to construct a new two storey dwelling with an attached sundeck. They also propose to recognize an as-built sundeck attached to a sleeping cabin.

| Variance | ZBL 2014-14 Section(s) | Description  | Permitted           | Proposed                | Variance     |
|----------|------------------------|--|---------------------|-------------------------|--------------|
| A        | 4.1.3.6 and 4.1.3.7    | Maximum Lot Coverage (Within 200 Feet of the High Water Mark)      | 10% (1,774 sq. ft.) | 10.4% (1,850.5 sq. ft.) | 76.5 sq. ft. |
| B        | Table 4.1.3            | Minimum Interior Side Yard Setback (Westerly – ‘As-Built’ Sundeck) | 15 ft.              | 11.5 ft.                | 3.5 ft.      |

Please note that the existing lot coverage within 200 feet from the high water mark is 10.9%.

A key map of the subject property and the applicants’ site plan and any drawings are included in this notice.

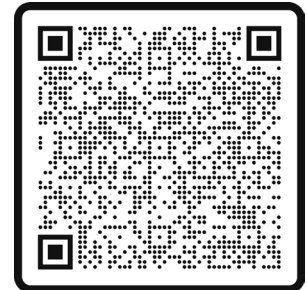
**TAKE FURTHER NOTICE** that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.**

**ZOOM Guide**

More information about viewing and/or participating in the zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

**Electronic Version of Notice of Hearing**

Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code:



**Submit Comments in Writing**

Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.



**Active Verbal Participation in Person or on Zoom**

Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit:

[www.muskokalakes.ca/zoom](https://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.



**Watch the Meeting Online**

You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](https://www.muskokalakes.ca)

For more information, please contact the Planning Department weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**

**FAILURE TO PARTICIPATE:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore,

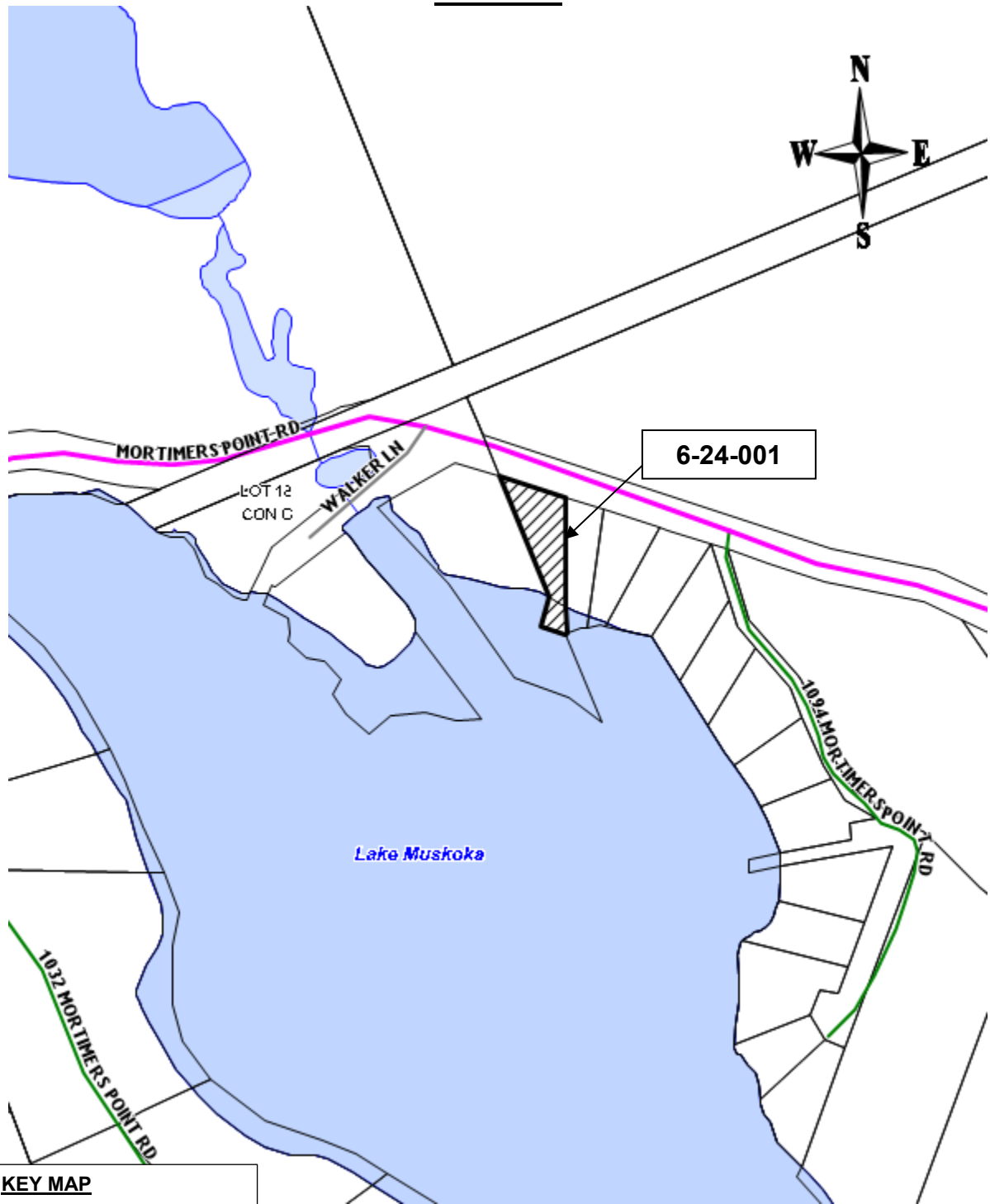
no one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.**

Dated this 29<sup>th</sup> day of February, 2024.

“Original Signed by C. Ward”  
Chelsea Ward,  
Secretary-Treasurer  
Committee of Adjustment

**KEY MAP**

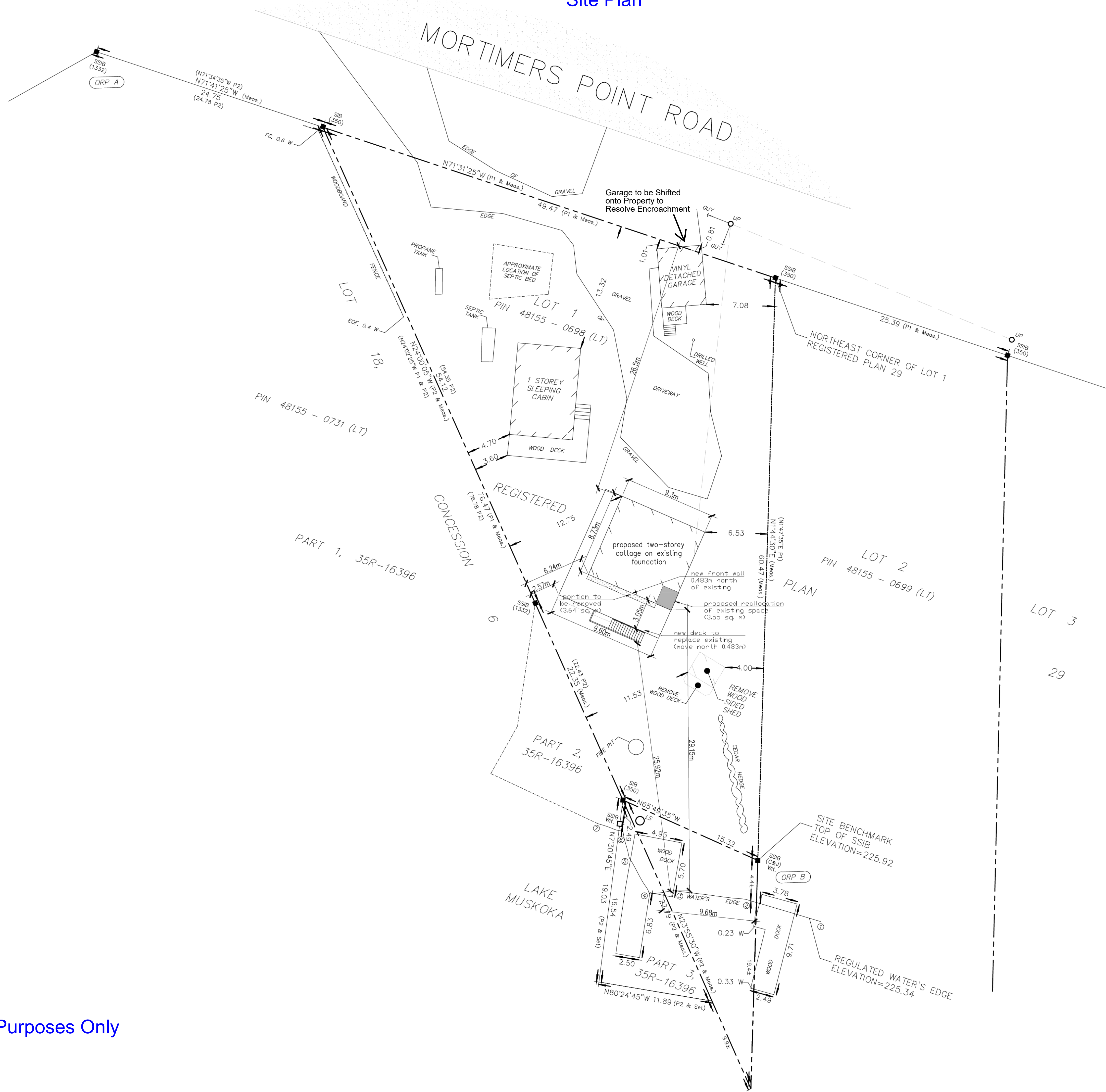


**KEY MAP**

**THIS IS NOT A PLAN OF SURVEY. INFORMATION FOR PLANNING PURPOSES.**



Site Plan



Not To Scale  
For Informational Purposes Only

GENERAL NOTES

- All dimensions are in metres unless noted.
- All information derived from Site measurements and Muskoka GIS.
- Existing Vegetation to remain except as noted.
- WR5
  - Lake Type Category 1
  - Minimum Setback from Optimal Summer Water Level 20.1m
  - Minimum Frontage 91.4m
  - Minimum Side Yard 4.6m
  - Minimum Rear Yard Setback 4.6m
  - Maximum Dwelling Height 10.7m
  - Maximum Accessory Building Height 10.7m
  - Maximum Lot Coverage 10% of the Area Within 60m of the Shoreline
- Existing Lot Coverage 179.6/1909.3 = 9.4%
- Existing Lot Coverage Within 60m of the Shoreline 179.6/1648 = 10.9%
- Proposed Lot Coverage 171.9/1909.3 = 9.0%
- Proposed Lot Coverage Within 60m of the Shoreline 171.9/1648 = 10.4%
- Lot Area 1909.3 sq. m
- Lot Area Within 60m of the Shoreline 1648 sq. m
- Existing Sleeping Cabin Area 62.4
- Existing Shed 7.6 Sq. m (Removed)
- Existing Garage Area 28.5 sq. m
- Existing Cottage Area 81.1 sq. m (Removed)
- Proposed Cottage Area 81.0 sq. m
- Proposed Attached Deck Area 56 sq. m (Replaces Existing)



STATUS: Building Permit  
 PROJECT: Chris and Julie Sims Cottage Renovation  
 SCALE: 1:200  
 DRAWN BY: WCN  
 DATE: February 27, 2024  
 CHECKED BY: [Signature]  
 PROJECT NO: 10000  
 SHEET NO: 0473

Chris and Julie Sims  
 Cottage Renovation  
 1080 Mortimers Point Road, Muskoka Lakes  
 Site Plan

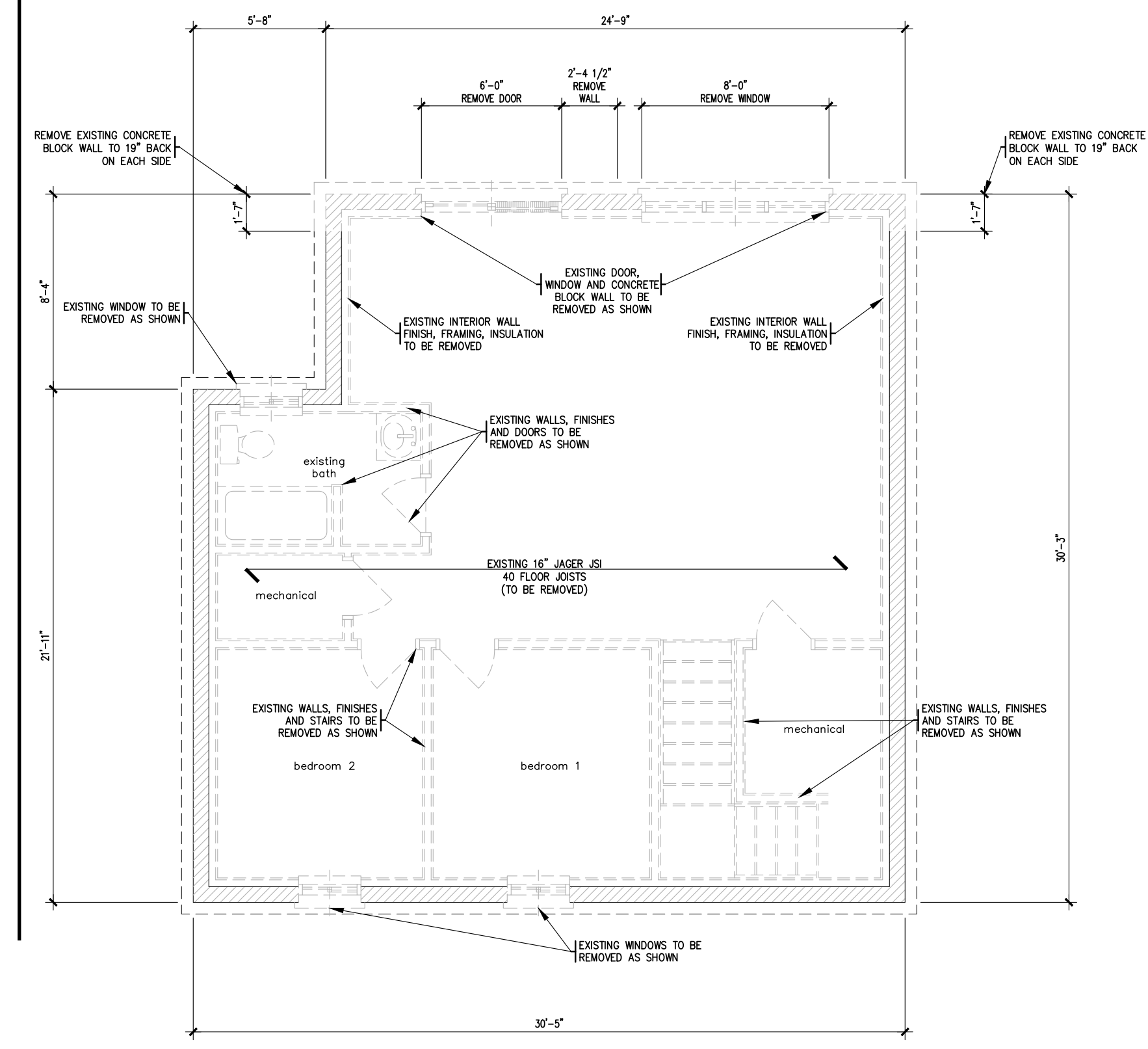
1 OF 4

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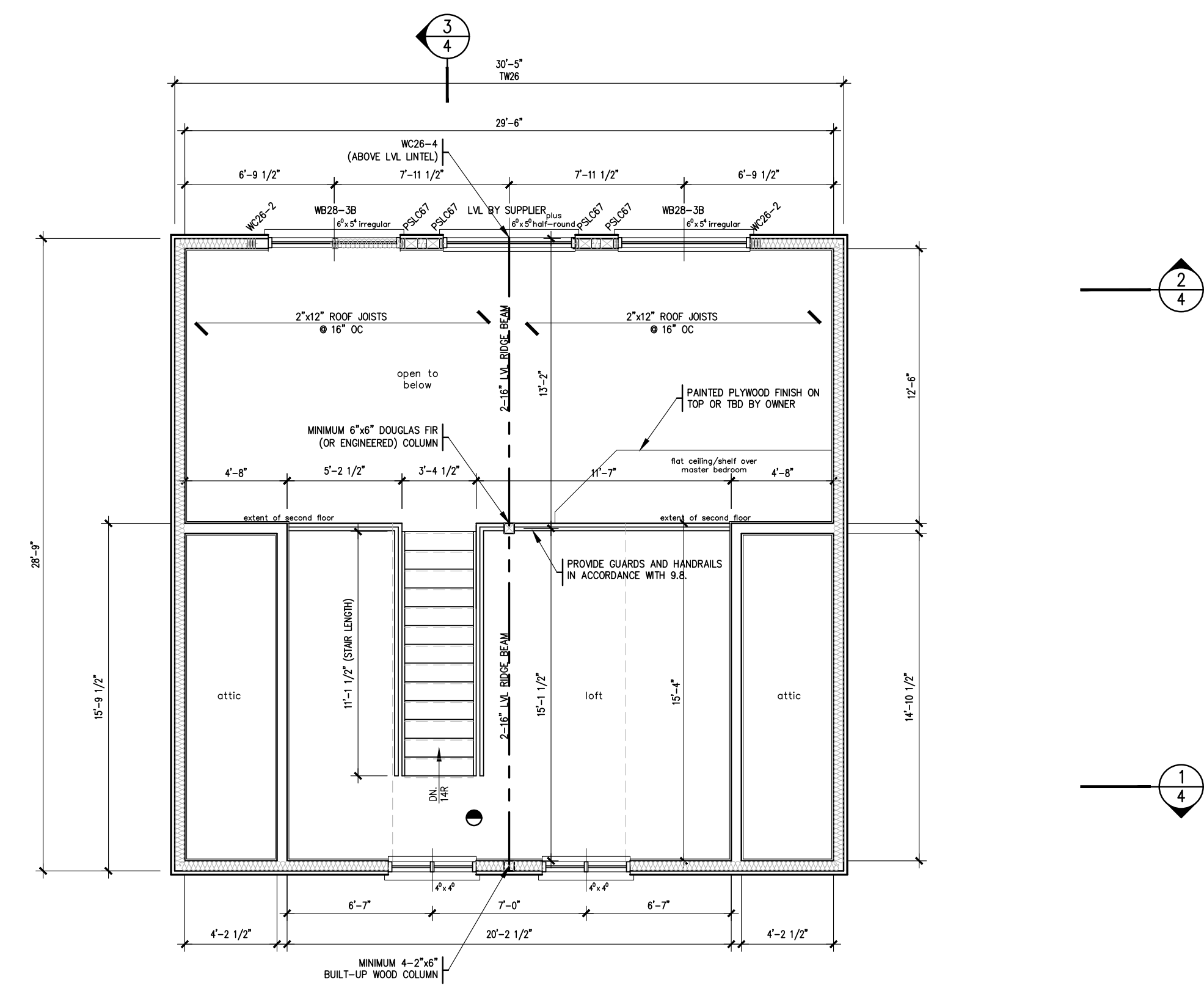


# Dwelling Floor Plans

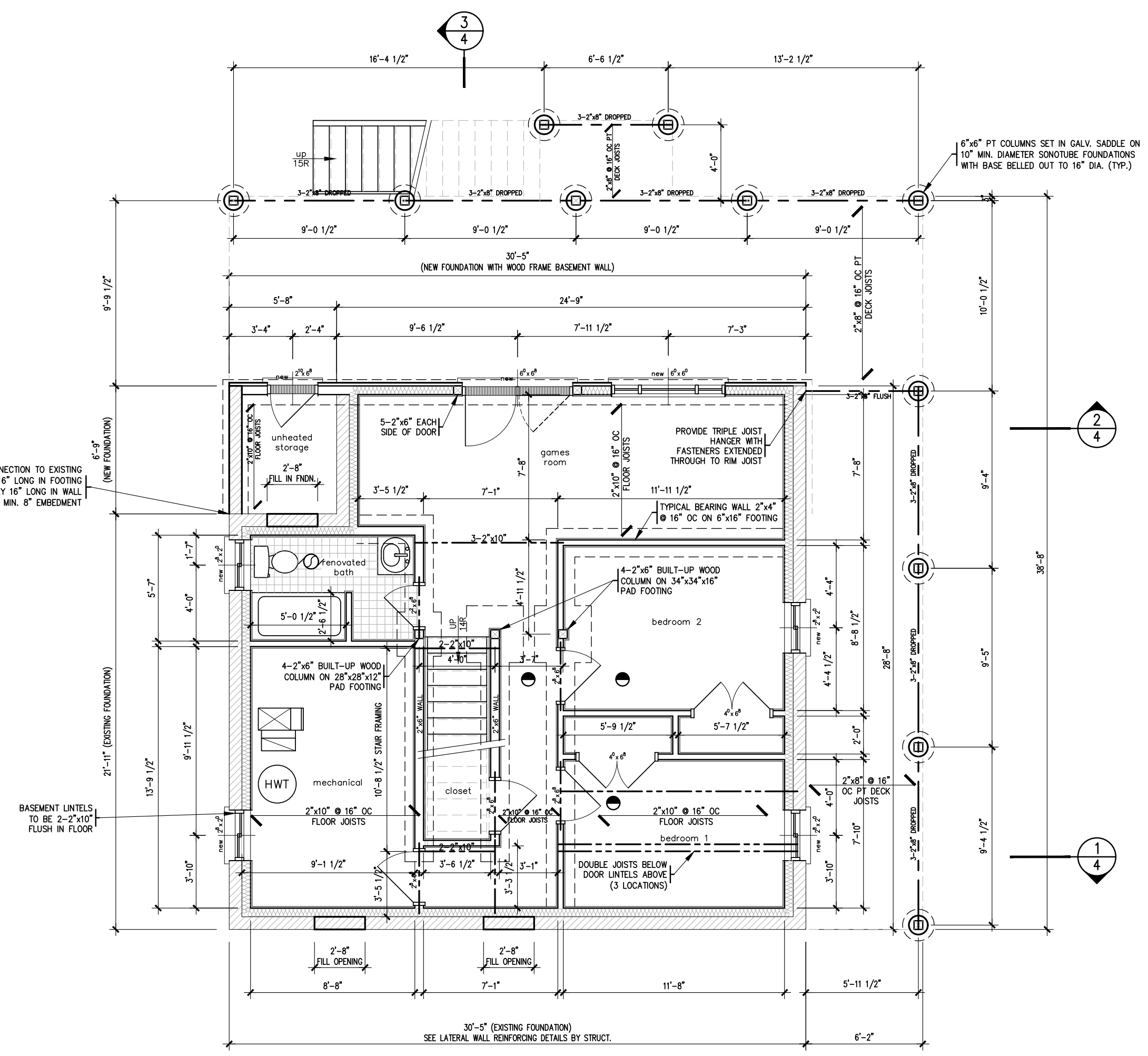
- M-E LEGEND
- - ALIBRE AND VISUAL INTERCONNECTED SMOKE/CO ALARM
  - - CEILING MOUNTED EXHAUST FAN



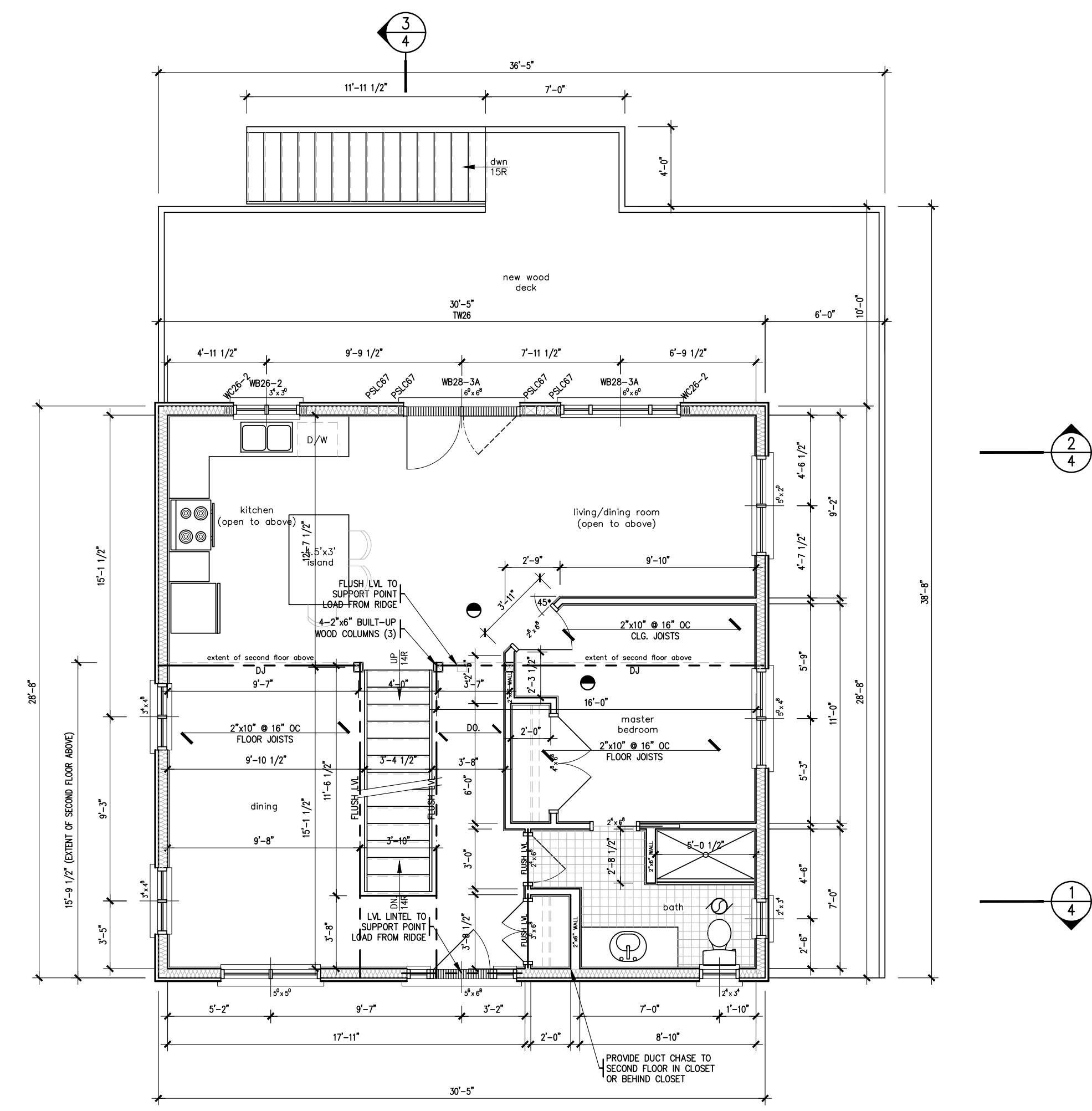
**EXISTING BASEMENT PLAN**  
EXISTING BUILDING AREA - 873 sq. ft.



**SECOND FLOOR PLAN**



**PROPOSED BASEMENT PLAN**  
PROPOSED BUILDING AREA - 872 sq. ft.



**FIRST FLOOR PLAN**

NOTE: ALL EXISTING FLOOR, WALLS, CEILING, ROOF, FINISHES, FIXTURES, MECHANICAL, ELECTRICAL, STAIRS, AND WOOD DECKING TO BE REMOVED FROM FIRST FLOOR. ENTIRE FIRST FLOOR IS NEW CONSTRUCTION.

Not to Scale  
For informational purposes only

**SUNRISE DRAFTING**

Chris and Julie Sims  
Cottage Renovation  
1080 Mounters Point Road, Muskegon Lakes

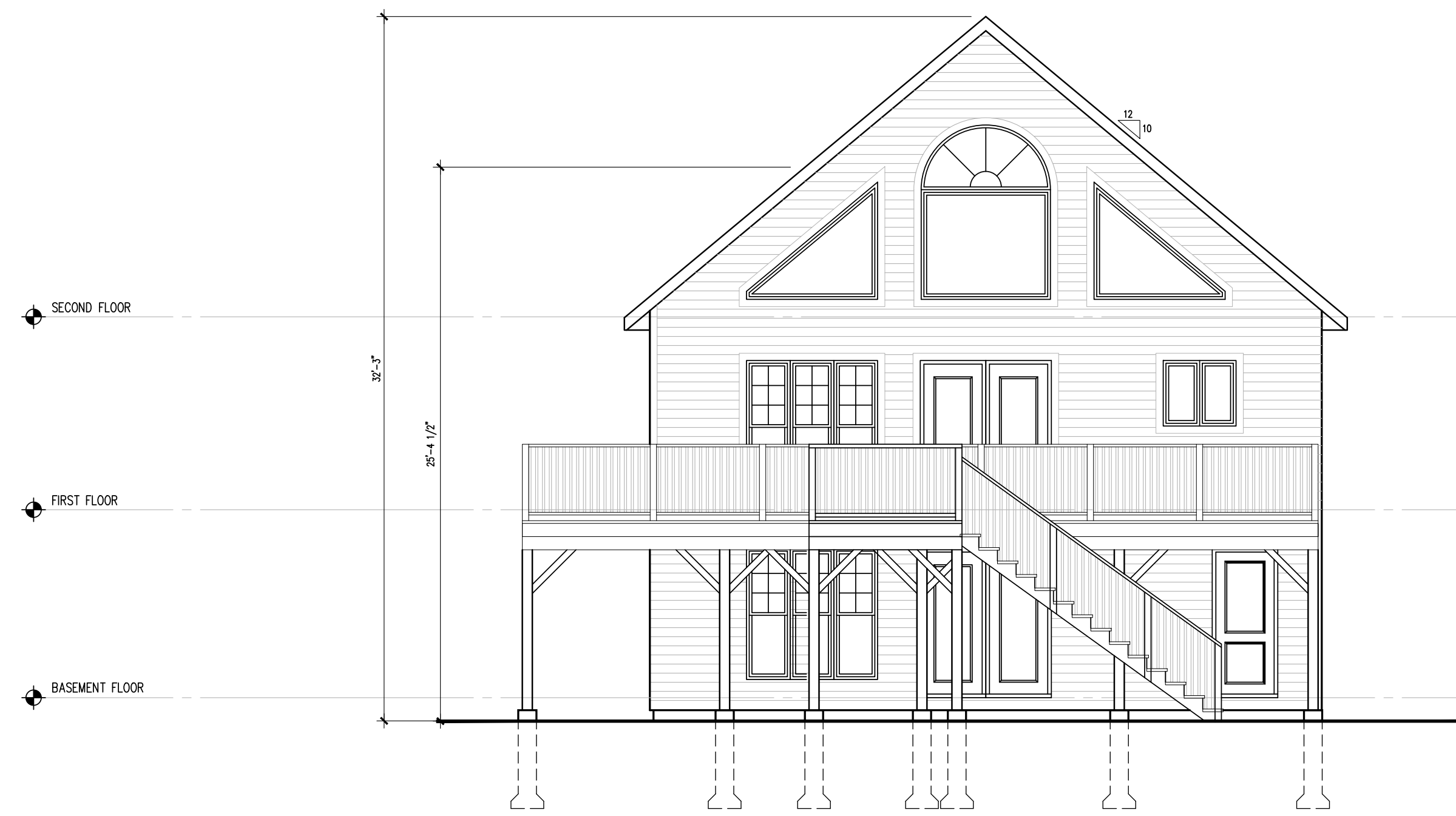
STATUS: Building Permit  
PROJECT: 2/16/21-1-07  
SCALE: 3/16"=1'-0"  
DATE: December 2023

Chris and Julie Sims  
1080 Mounters Point Road, Muskegon Lakes  
December 2023

2 OF 4

FILE: FOLDER: XXXX

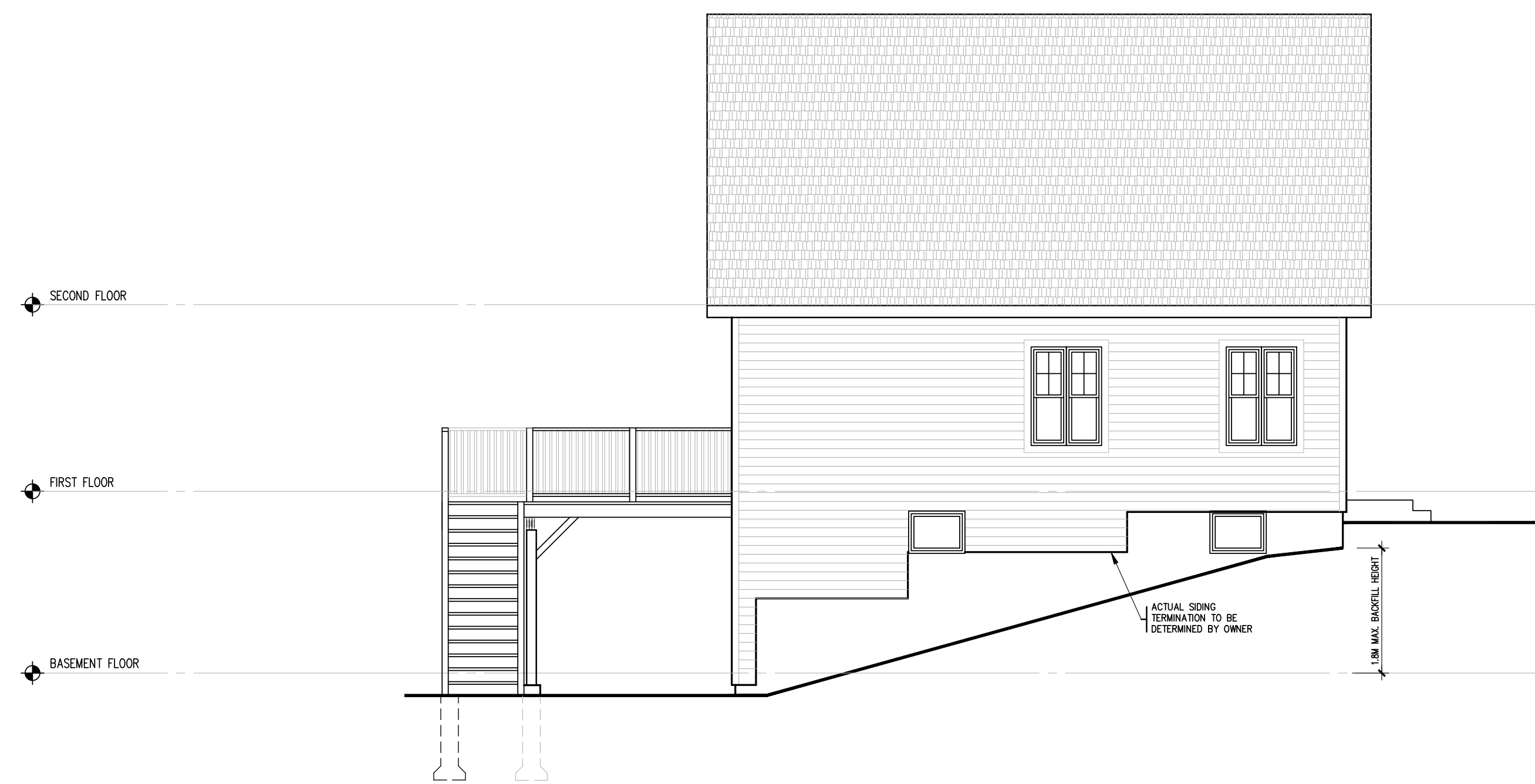
# Dwelling Elevations



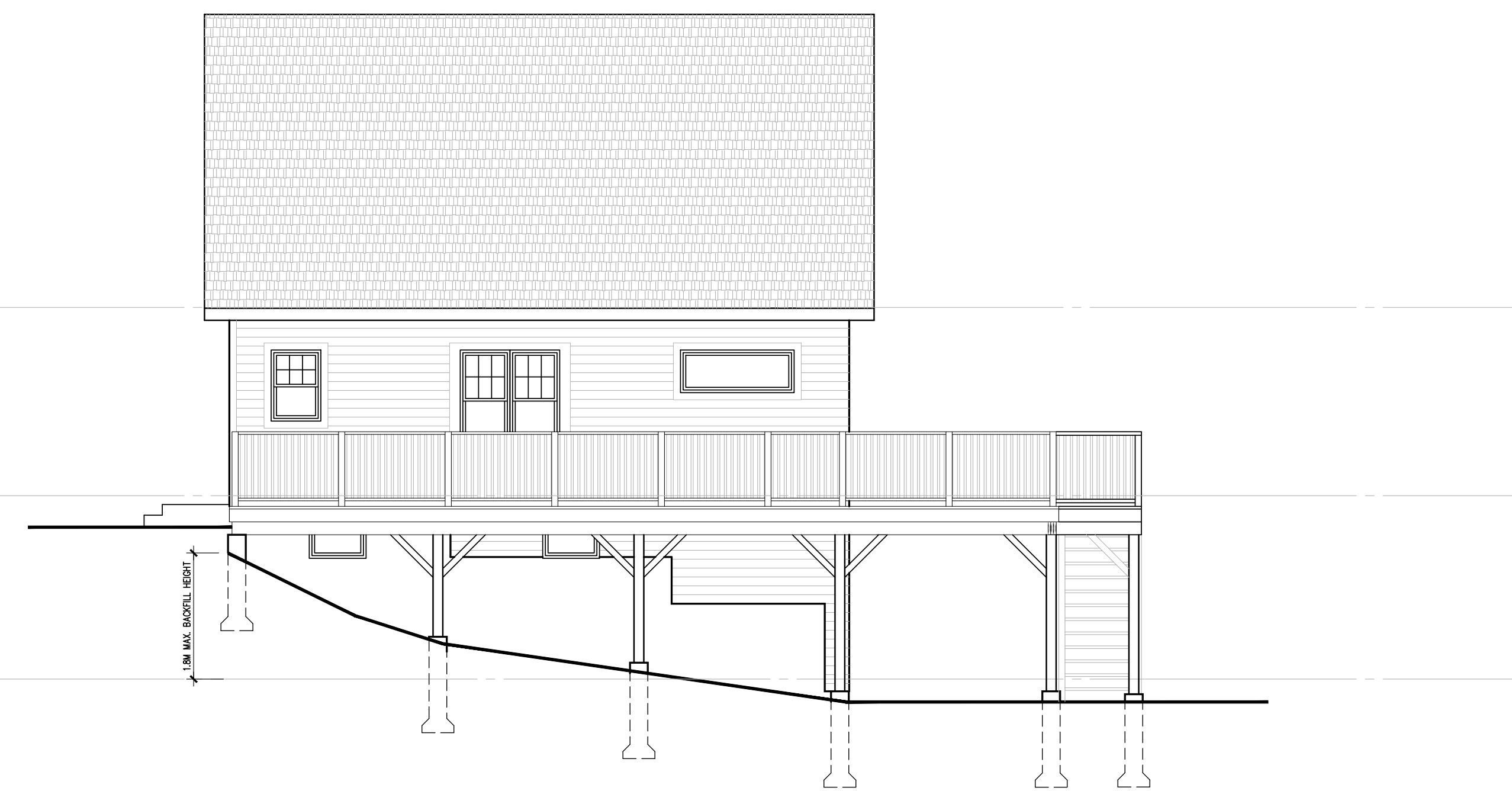
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

Not to Scale  
For informational purposes only

FILE: FOLDER: XXXX



DATE: 12/15/23  
SCALE: 3/16"=1'-0"  
PROJECT: Chris and Julie Sims Cottage Renovation  
DRAWN BY: JON WILSON  
CHECKED BY: JON WILSON  
DATE: December 2023  
REV: 1

STATUS: Building Permit  
PROJECT: Chris and Julie Sims Cottage Renovation  
DRAWN BY: JON WILSON  
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3 OF 4