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THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, March 11th, 2024 at 9:00 a.m.

File #.: A-07/24

Roll #: 9-2-037

Civic Address: 1519 Muskoka Road 118 West, Unit #1

Owner: Glenn Hrabovsky, 555 Avonwick Avenue, Mississauga, ON, L5R 3M9

Legal Description: Lot 12, Concession 5, Lot 22, Plan 13, Parts 16 and 26, Plan RD-868, (Monck)

Lake/River: Lake Muskoka (Category 1 Lake)

Zoning: Waterfront Residential (WR1)

Zoning Schedule: 45

EXPLANATION OF THE PURPOSE AND EFFECT: The applicant proposes to demolish an existing one storey dwelling, shed and sleeping cabin and propose to construct a new dwelling and a two storey garage.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.3 & 4.1.3.6	Maximum Lot Coverage (Entire Lot)	10% (1,631 sq. ft.)	10.9% (1,784 sq. ft.)	153 sq. ft.
B	4.1.3.6 & 4.1.3.7	Maximum Lot Coverage (Within 200 Feet of the High Water Mark)	10% (1,185.9 sq. ft.)	11% (1,304 sq. ft.)	118.1 sq. ft.
C	4.1.3	Minimum Side Yard Setback (Easterly - Dwelling)	15 ft.	6 ft.	9 ft.
D	4.1.3	Minimum Side Yard Setback (Easterly - Sundeck)	15 ft.	6 ft.	9 ft.

E	4.1.3	Minimum Side Yard Setback (- Easterly Garage)	15 ft.	10 ft.	5 ft.
F	3.4.1 e.	Minimum Lot Frontage	100 ft.	51 ft.	Construct a Two Storey Garage with Storage in the Upper Level on an Undersized Lot

Please note that Variance ‘F’ will permit to the proposed garage to be constructed on an undersized lot. It will not deem the lot a ‘building lot’.

A key map of the subject property and the applicant’s site plan and any drawings are included in this notice.

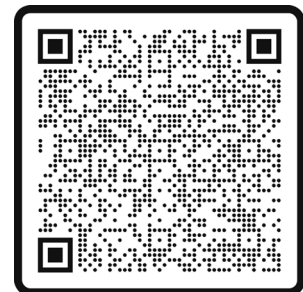
TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.**

ZOOM Guide

More information about viewing and/or participating in the zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

Electronic Version of Notice of Hearing

Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code:



Submit Comments in Writing

Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this



Active Verbal Participation in Person or on Zoom

Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit:

www.muskokalakes.ca/zoom



Watch the Meeting Online

You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

<p>Notice of Hearing will be used to assist staff and Council to process this application and will be made public.</p>	<p>If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.</p>	
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For more information, please contact the Planning Department weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

FAILURE TO PARTICIPATE: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

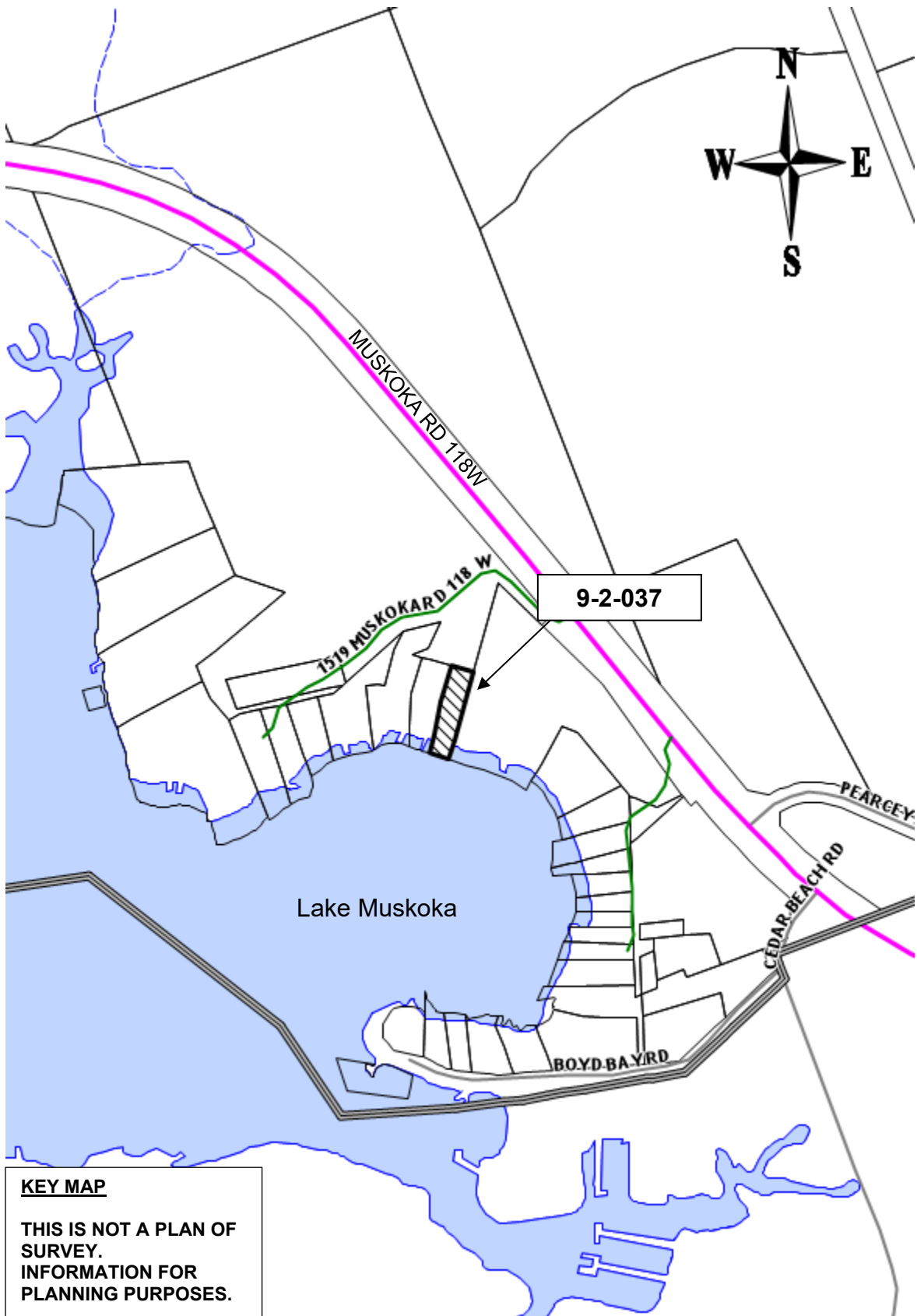
DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, no one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 27th day of February, 2024.

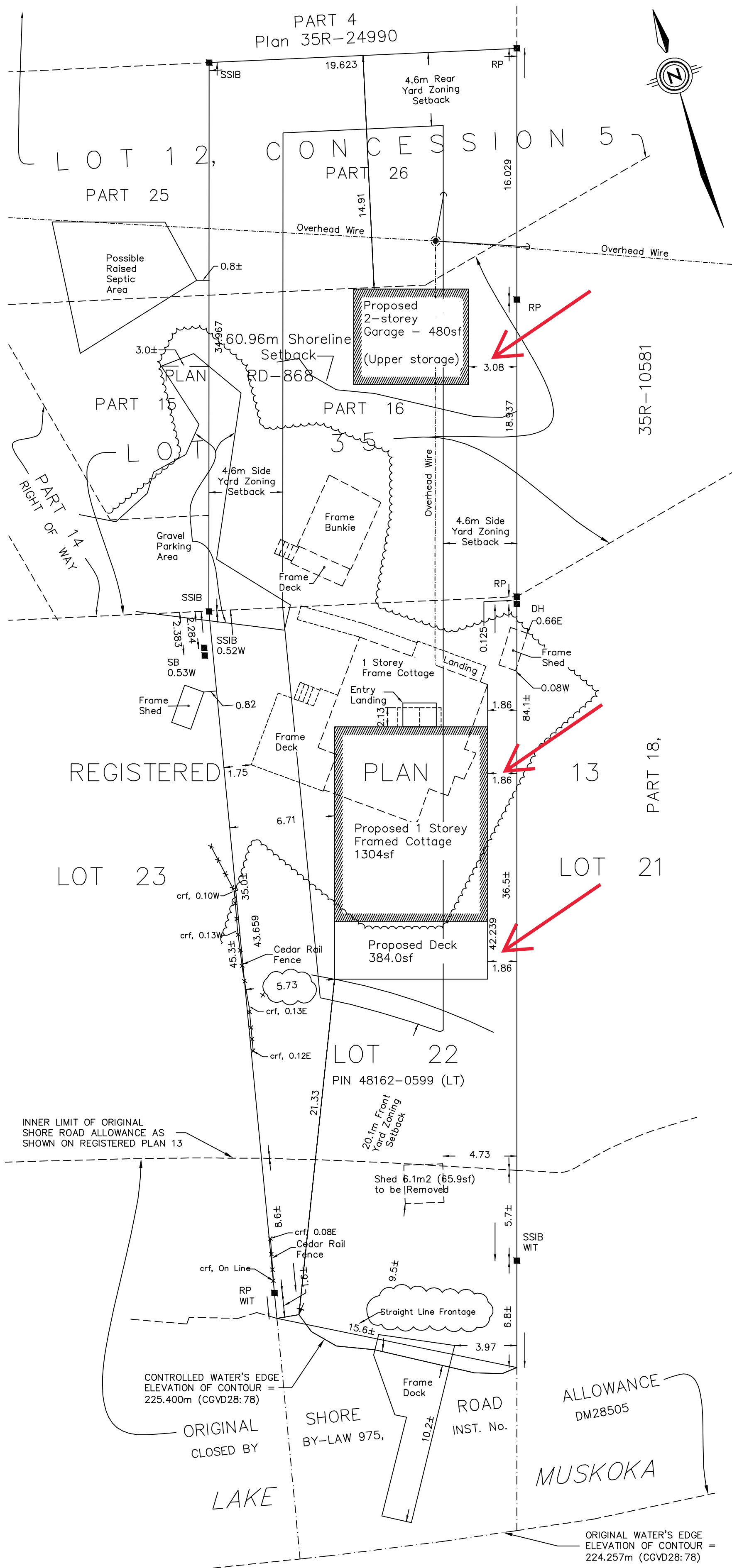
"Original Signed by C. Ward"
Chelsea Ward,
Secretary-Treasurer
Committee of Adjustment

KEY MAP



KEY MAP

**THIS IS NOT A PLAN OF
SURVEY.
INFORMATION FOR
PLANNING PURPOSES.**



LEGEND:

- DENOTES WOOD POLE
- DENOTES GUY LINE ANCHOR
- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- DENOTES BUSHLINE
- DENOTES ROCK POST
- DENOTES SHORT STANDARD IRON BAR
- DENOTES SUBDIVISION BAR
- DENOTES WITNESS
- DENOTES CEDAR RAIL FENCE
- DENOTES DRILL HOLE
- DENOTES CANADIAN GEODETIC VERTICAL DATUM OF 1928, ADJUSTMENT 1978
- DENOTES SITE BENCHMARK LOCATION
- DENOTES DRY LAND PORTION OF PIN 48162-0599 (LT)
- DENOTES FLOODED LAND PORTION OF PIN 48162-0599 (LT)

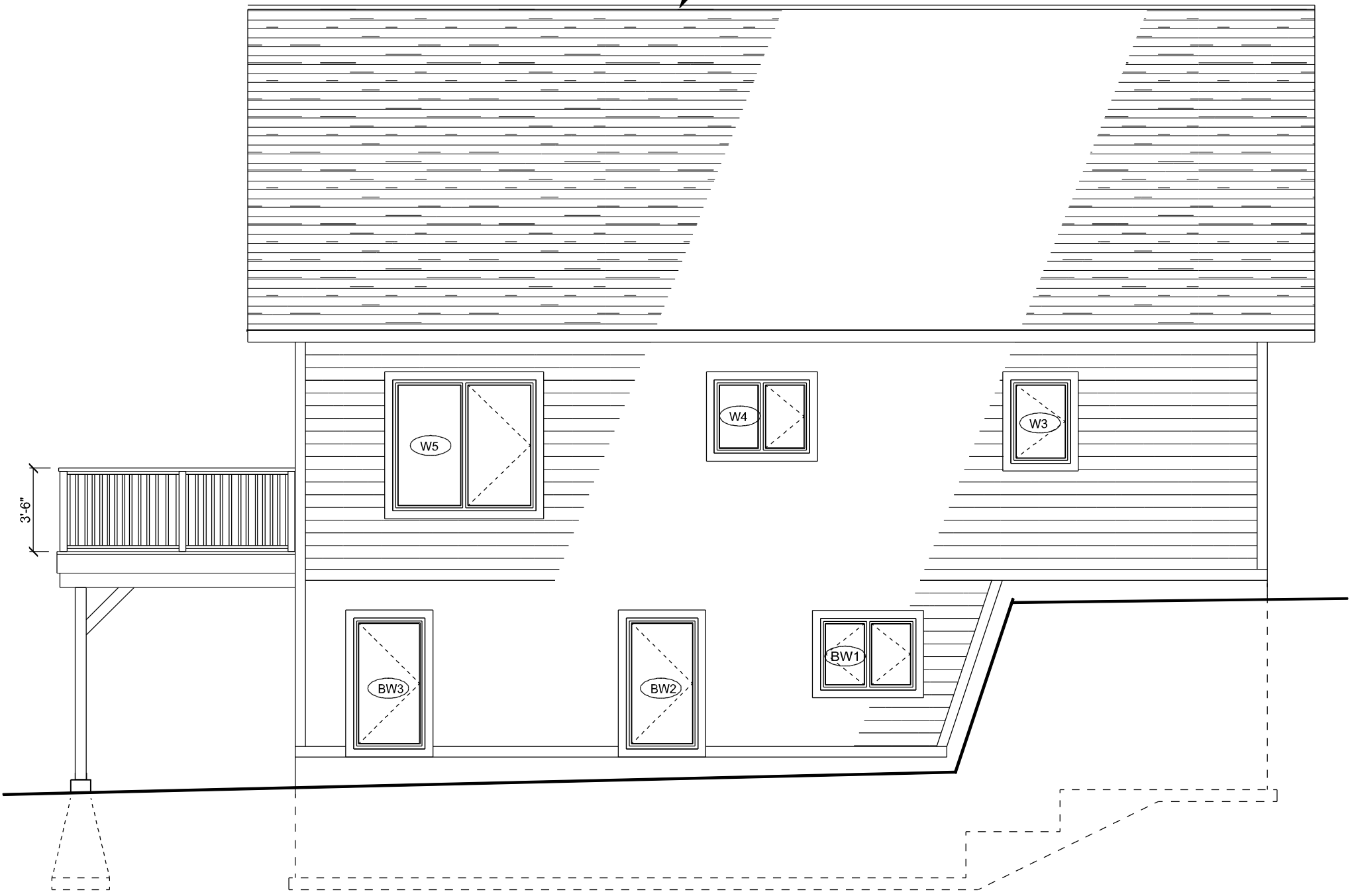
SCALE = 1:200
 HRABOVSKY COTTAGE RE-BUILD
 1519 MUSKOKA ROAD 118W
 COTTAGE 1
 ZONING: WR1 (no constraints)
 REVISED: DEC-14-2023
 REVISED: FEB-02-2024
 REVISED: FEB-26-2024

SCHEDULE:

LOT AREA (DRYLAND) - 1515.4m ² (16311.63sf)
AREA AT 60.96m (DRYLAND) - 1101.8m ² (11859.6sf)
Proposed Cottage = 121.14m ² (1304sf)
Proposed Deck = 35.7m ² (384.3sf) Not part of lot coverage
Proposed 2-Storey Garage = 44.6m ² (480sf)(Upper storage)
LOT COVERAGE TOTAL LOT = 165.74m² (1784sf) - 10.93%
LOT COVERAGE @ 60.96m = 121.14m² (1304sf) - 10.99%
Remove Existing Cottage = 82.3m ² (885.9sf)
Remove Existing Cottage Deck = 22.2m ² (238.9sf)
Remove Existing Bunkie = 17.9m ² (192.6sf)
Remove Existing Bunkie Deck = 4.3m ² (46.9sf)
Remove Existing Shed = 6.1m ² (65.6sf)
Remove Existing Shed = 2.8m ² (30.1sf)

NOT TO SCALE

CONTINUOUS RIDGE VENT



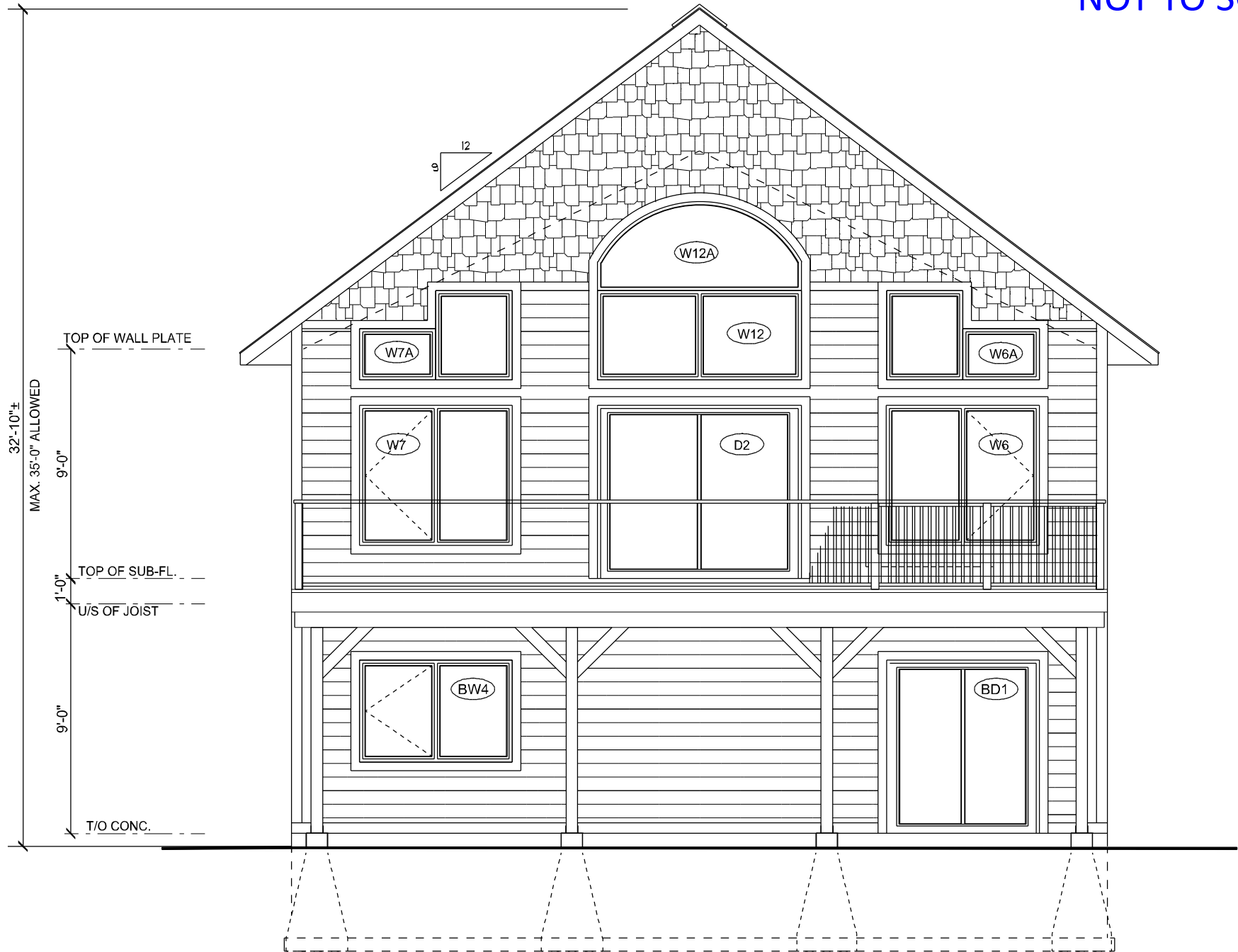
EAST ELEVATION

FEB-02-2024

SCALE: 3/16" = 1'-0"

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE



SOUTH ELEVATION (Lake)

FEB-02-2024

SCALE: 3/16" = 1'-0"

FOR INFORMATIONAL PURPOSES ONLY