



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, March 11th, 2024 at 9:00 a.m.

File #.: A-11/24
Roll #: 6-18-018
Civic Address: 1024 Sunset Bay Road
Owner: Linda Woolsey, 6 Fry Court, Markham, L3P 4G9
Legal Description: Lot 16, Concession D, Lot 26, Plan M-436, (Medora)
Lake/River: Lake Muskoka (Category 1 Lake)
Zoning: Waterfront Residential (WR1)
Zoning Schedule: 41

EXPLANATION OF THE PURPOSE AND EFFECT: The applicant proposes to demolish an existing two storey dwelling and a boatport and proposes to construct a new two storey dwelling.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.3.6 & 4.1.3.7	Maximum Lot Coverage Within 200 Feet	10% (2,092.5 sq. ft.)	10.9% (2,289 sq. ft.)	196.5 sq. ft.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

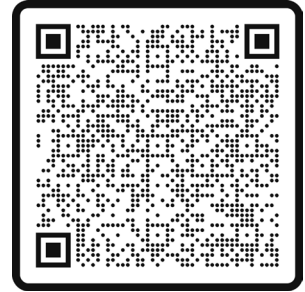
TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.**

ZOOM Guide

More information about viewing and/or participating in the zoom hearing can be found on our website: <https://www.muskokalakes.ca/zoom/>

Electronic Version of Notice of Hearing

Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code:



Submit Comments in Writing

Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.



Active Verbal Participation in Person or on Zoom

Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit: www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.



Watch the Meeting Online

You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

For more information, please contact the Planning Department weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

FAILURE TO PARTICIPATE: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

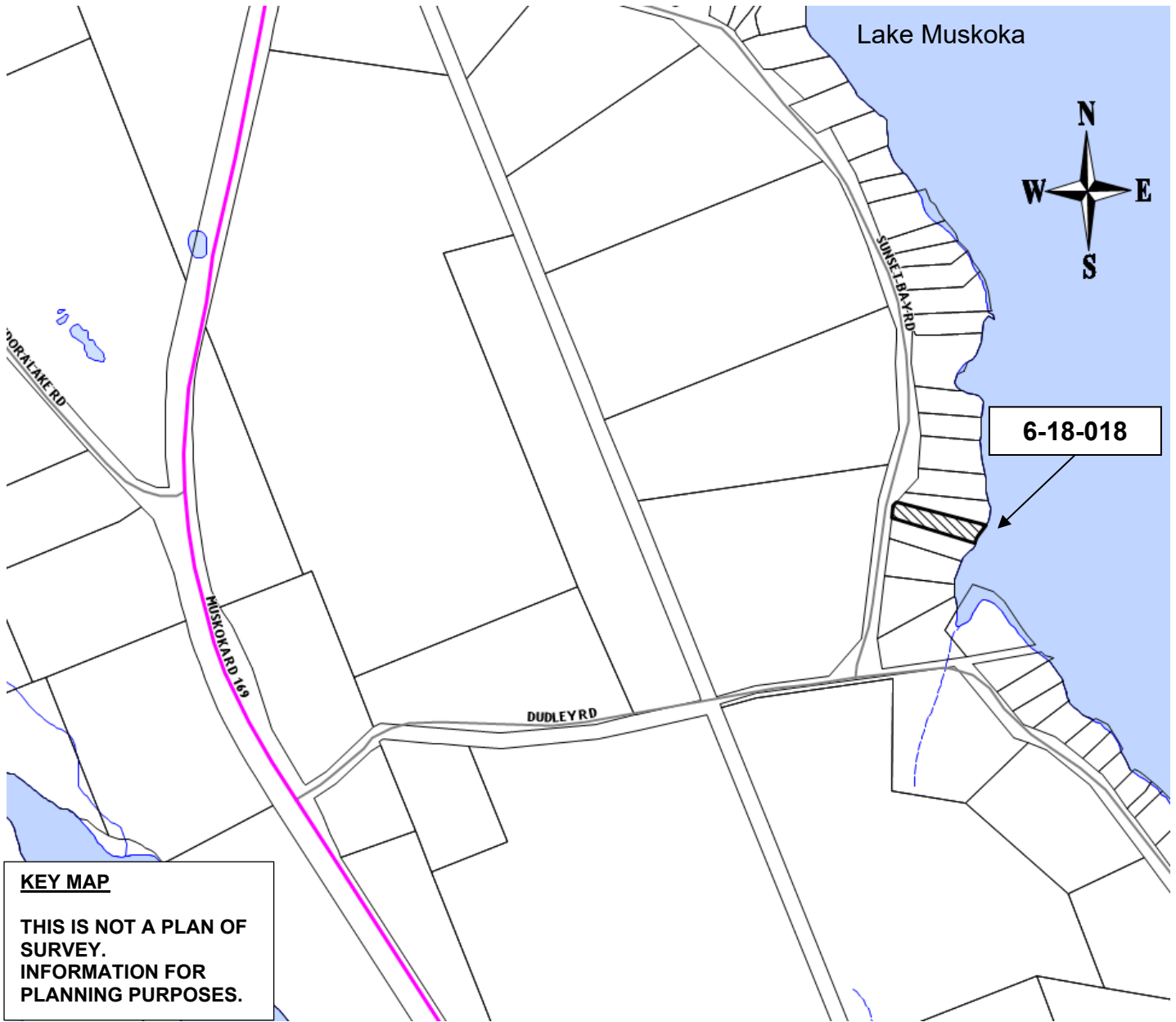
DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, no one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 29th day of February, 2024.

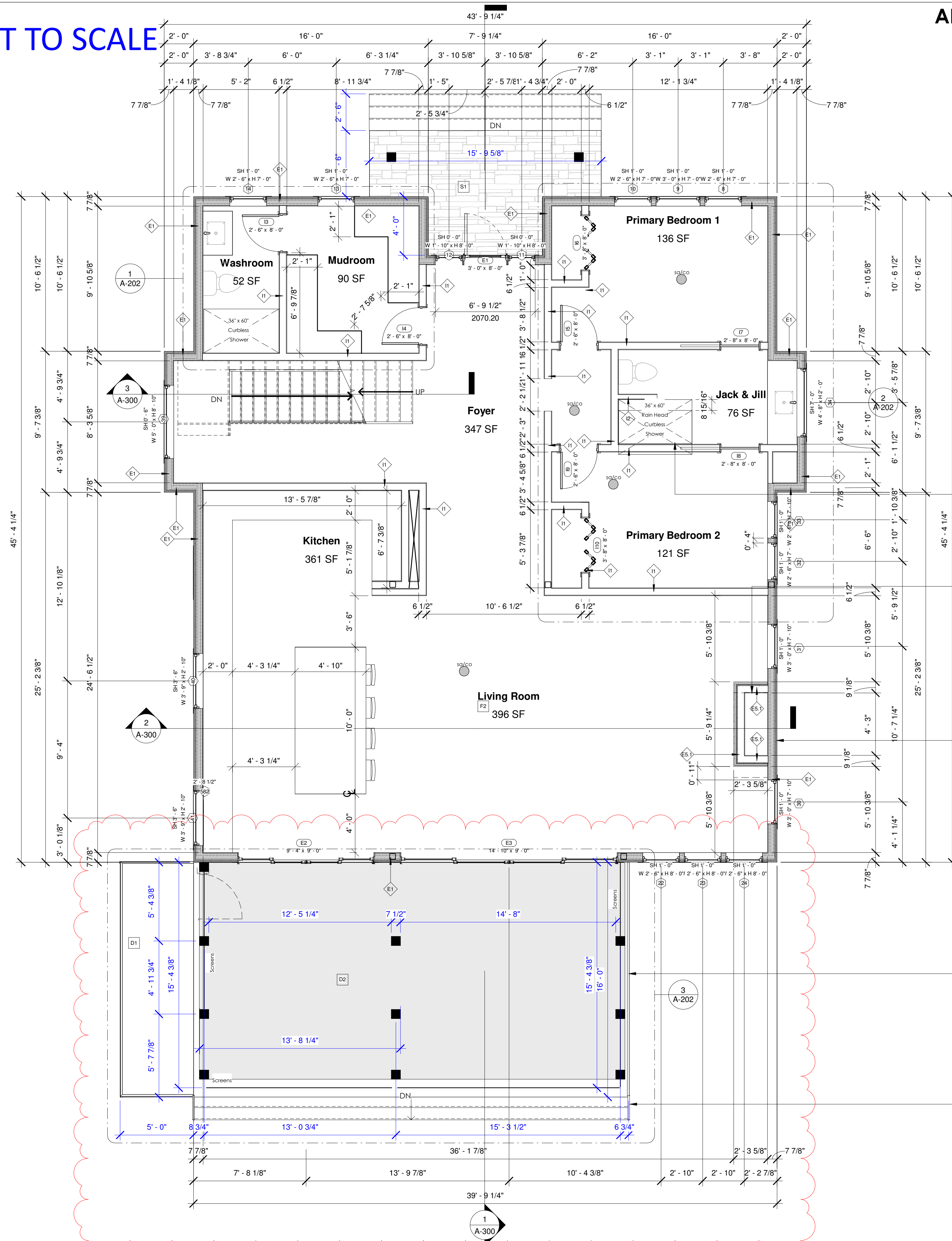
"Original Signed by C. Ward"
Chelsea Ward,
Secretary-Treasurer
Committee of Adjustment

KEY MAP



NOT TO SCALE

ALL WALLS DEMONSTRATED IN THE ARCHITECTURAL PLANS ARE SHOWN FOR ILLUSTRATIVE PURPOSES, FOR STRUCTURAL REINFORCEMENT REFER TO S-SERIES DRAWINGS.



Wall Schedule

Type Mark	Assembly Components
Exterior Wall	
E1	1/2" Gypsum Wall Board, 6 mil polyethylene vapour retarder/air barrier, 2x6 SPF No.1/2 studs @ 16" o.c. with double top plate, Fiberglass insulation (fill cavity), 5/8" Exterior grade plywood sheathing, Sheathing membrane, 1x3 Strapping, Wood Siding (Installed per manufacturer's Specifications)
E5.1	1/2" Gypsum Wall Board, 6 mil polyethylene vapour retarder/air barrier, 2x6 SPF No.1/2 studs @ 16" o.c. with double top plate, 5/8" Exterior grade plywood sheathing, Sheathing membrane, Drainage layer, Stone tile applied to mortar bed with metal lath (installed as per manufacturer's specifications)
Foundation	
F2	Nudura 8" (200mm) core with minimum R20 insulation, c/w taper top course
Interior Wall	
B0	1/2" gypsum board laminated
B1	1/2" gypsum board, 2x2 stud @ 16" oc Mw damproof poly below plate
B2	1/2" gypsum board, 2x4 stud @ 16" oc Mw damproof poly below plate
I1	1/2" Gypsum wall board, 2x6 SPF No.1/2 studs @ 16" o.c. with double top plate, 1/2" Gypsum wall board
I2	1/2" Gypsum wall board, 2x4 SPF No.1/2 studs @ 16" o.c. with double top plate, 1/2" Gypsum wall board

Floor Schedule

Mark	Type	Assembly Components	Area
D1	Exterior Deck	Moisture resistant deck boards, Pressure treated floor joists as per Structural plan	80 SF
D2	Interior - Main Level - Concrete Finish	1" Concrete Topper, 3/4" Plywood Sheathing (Glued and Nailed) On Eng. Floor Joists Per Page S-100-103, Ceiling Finish (By Owner)	474 SF
F1	Basement	5" 32MPa Concrete slab-on-grade c/w 5-8% Air Entrainment, Reinforce Slab with 6" wire mesh on 6 mil. Poly Vapour Barrier on 2" Rigid dow sm (xps) insulation on 12" Compacted free draining granular fill.	1671 SF
F2	Interior - Main Level - Concrete Finish	1" Concrete Topper, 3/4" Plywood Sheathing (Glued and Nailed) On Eng. Floor Joists Per Page S-100-103, Ceiling Finish (By Owner)	1743 SF
F3	Interior - Second Level - Wood Finish	Floor Finish (By Owner) On 3/4" Plywood Sheathing (Glued and Nailed) On Eng. Floor Joists Per Page S-100-103, Ceiling Finish (By Owner)	1846 SF
S1	Stone Patio	Cut or Field Stone w/ 1/2" - 1 1/2" Mortar Joints on 5" Concrete Slab, Reinforce if Required on 6" Compacted Aggregate on Compacted Subgrade or Undisturbed Soil	103 SF

Door Schedule

Mark	Function	Description	Height	Width	Level
E1	Exterior	Out-Swing Patio Door	96"	36"	Proposed Main Level
E2	Exterior	Exterior 4 Panel Sliding Door	108"	112"	Proposed Main Level
E3	Exterior	Exterior 4 Panel Sliding Door	108"	178"	Proposed Main Level
E5	Interior	Interior Sgl 2-Panel Door	96"	32"	T/O Proposed Slab
E6	Interior	Interior Sgl 2-Panel Door	96"	30"	T/O Proposed Slab
I1	Interior	Interior Sgl 2-Panel Door	96"	36"	T/O Proposed Slab
I2	Interior	Interior Sgl 2-Panel Door	96"	36"	T/O Proposed Slab
I3	Interior	Interior Sgl 2-Panel Door	96"	30"	Proposed Main Level
I4	Interior	Interior Sgl 2-Panel Door	96"	30"	Proposed Main Level
I5	Interior	Interior Sgl 2-Panel Door	96"	30"	Proposed Main Level
I6	Interior	Bifold Stile and Rail Wood Door	96"	44"	Proposed Main Level
I7	Interior	Interior Sgl 2-Panel Door	96"	32"	Proposed Main Level
I8	Interior	Interior Sgl 2-Panel Door	96"	32"	Proposed Main Level
I9	Interior	Interior Sgl 2-Panel Door	96"	30"	Proposed Main Level
I10	Interior	Bifold Stile and Rail Wood Door	96"	44"	Proposed Main Level
I11	Interior	Interior Sgl 2-Panel Door	80"	30"	Proposed Second Level
I12	Interior	Interior Sgl 2-Panel Door	80"	30"	Proposed Second Level
I13	Interior	Bifold Stile and Rail Wood Door	80"	44"	Proposed Second Level
I14	Interior	Interior Sgl 2-Panel Door	80"	32"	Proposed Second Level
I15	Interior	Interior Sgl 2-Panel Door	80"	30"	Proposed Second Level
I16	Interior	Bifold Stile and Rail Wood Door	80"	44"	Proposed Second Level
I17	Interior	Bifold Stile and Rail Wood Door	80"	44"	Proposed Second Level
I18	Interior	Interior Sgl 2-Panel Door	80"	30"	Proposed Second Level
I19	Interior	Interior Sgl 2-Panel Door	80"	30"	Proposed Second Level
I20	Interior	Bifold Stile and Rail Wood Door	80"	44"	Proposed Second Level
I21	Interior	Bifold Stile and Rail Wood Door	80"	44"	Proposed Second Level
I22	Interior	Interior Sgl 2-Panel Door	80"	30"	Proposed Second Level
I23	Interior	Bifold Stile and Rail Wood Door	80"	44"	Proposed Second Level
I24	Interior	Interior Sgl 2-Panel Door	80"	30"	Proposed Second Level
I25	Interior	Interior Sgl 2-Panel Door	80"	30"	Proposed Second Level
I26	Interior	Bifold Stile and Rail Wood Door	80"	44"	Proposed Second Level
I27	Interior	Interior Sgl 2-Panel Door	80"	30"	Proposed Second Level

WATERPROOF FINISH SHALL BE PROVIDED TO A HEIGHT OF NOT LESS THAN:
 (a) 1 800 mm ABOVE THE FLOOR IN SHOWER STALLS,
 (b) 1 200 mm ABOVE THE RIMS OF BATHTUBS EQUIPPED WITH SHOWERS, AND
 (c) 400 mm ABOVE THE RIMS OF BATHTUBS NOT EQUIPPED WITH SHOWERS, TYPICAL FOR ALL SHOWERS

CLEARANCE BETWEEN INT. CHIMNEY AND COMBUSTIBLE MATERIAL IN ACCORDANCE WITH 9.21:
 MIN. 4" CLEARANCE TO COMBUSTIBLE FRAMING, MIN. 1/2" CLEARANCE TO COMBUSTIBLE FLOORING, SUBFLOORING, AND CEILING FINISHES.
 MINIMUM FLUE DIAMETER OF 12" (300mm) BASED ON FIREPLACE OPENING AND CHIMNEY HEIGHT DESIGN.
 CONTRACTOR TO NOTIFY DESIGNER OF ANY CHANGES TO FIREPLACE UNITS
 GAS FIREPLACE VENTED DIRECTLY THROUGH EXTERIOR WALL. MIN. 24" CLEARANCE REQUIRED FROM COMBUSTIBLE MATERIAL, VERTICALLY AND HORIZONTALLY

BALCONY GUARDS NOT LESS THAN 1070mm (3'-4") HIGH AS PER OBC 9.8.8.3. ALL OPENINGS IN GUARDS TO BE LESS THAN 10mm (4") IN ALL DIMENSIONS AS PER OBC 9.8.8.5. GUARDS DESIGN MUST NOT FACILITATE CLIMBING AS PER OBC 9.8.8.6. TYPICAL GUARD AT PERIMETER OF DECK

PROVIDE STAIRS AS GRADE PERMITS. STAIRS TO BE INSTALLED IN CONFORMANCE WITH NOTES ON SHEET A-022

ALL DIMENSIONS IN ARCHITECTURAL DRAWINGS ARE SHOWN TO THE FINISHES. PLEASE REFER TO STRUCTURAL DRAWINGS FOR FRAMING DIMENSIONS.

FOR INFORMATIONAL PURPOSES ONLY

No.	Description	Date
1	Issued For Permit	March 29, 2023
5	For Township Preconsultation	Date 5

PERMIT #:

Address
1024 Sunset Bay Rd, Township of Muskoka Lakes

Client Name
Woolsey Cottage

Designer
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATIONS INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code.

Signature: [Handwritten Signature]

NM 43743
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code.

Spencer Douglas LTD 117413
FIRM NAME FIRM BCIN

Sheet Name
Main Floor Plan

Project Number 22-0601
Date 1/25/2024 3:40:22 PM
Drawn By NM
Checked By NM

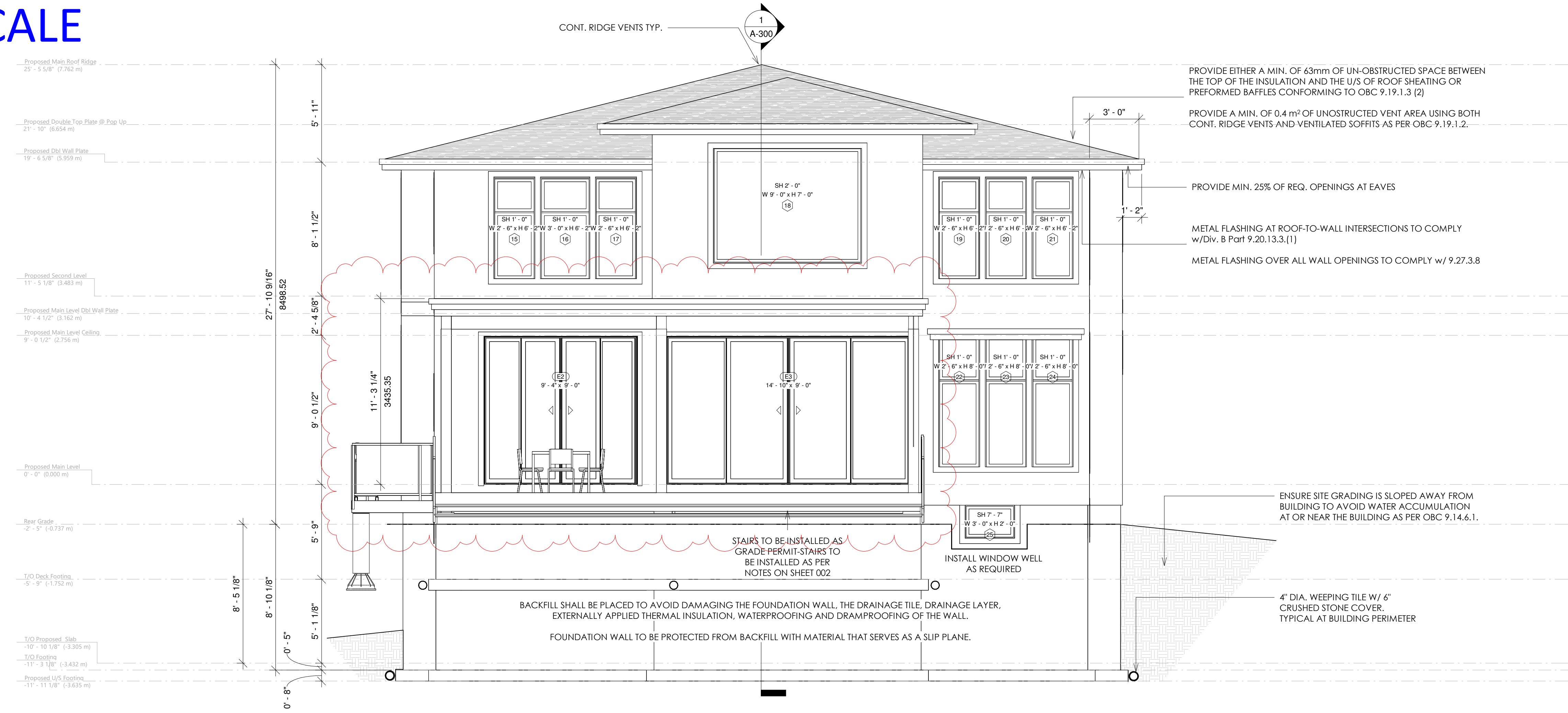
A-102

Scale 1/4" = 1'-0"

NOT TO SCALE

Spencer Douglas
PLANNING ■ DESIGN

No.	Description	Date
1	Issued For Permit	March 29, 2023
4	Revised For Permit	October 2, 2023
5	For Township Preconsultation	Date 5



1 P Front Elevation
1/4" = 1'-0"



2 P Rear Elevation
1/4" = 1'-0"

FOR INFORMATIONAL PURPOSES ONLY

PERMIT #:

Address
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NM 43743
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code.

Spencer Douglas LTD 117413
FIRM NAME FIRM BCIN

Sheet Name
Elevations

Project Number 22-0601

Date 1/25/2024 3:40:23 PM

Drawn By NM

Checked By NM

A-200

Scale 1/4" = 1'-0"