

**NOTICE OF COMPLETE APPLICATION & NOTICE OF PUBLIC MEETING  
CONCERNING A PROPOSED AMENDMENT  
ZONING BY-LAW #2023-041  
OF THE CORPORATION OF THE TOWNSHIP MUSKOKA LAKES**

TAKE NOTICE THAT THE PLANNING COMMITTEE OF THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES WILL HOLD A PUBLIC MEETING IN PERSON AND ELECTRONICALLY FROM THE COUNCIL CHAMBERS, MUNICIPAL OFFICE, PORT CARLING, ONTARIO

**May 11, 2023 at 9:00 am**

TO CONSIDER a proposed amendment to Zoning By-law 2014-14 of the Corporation of the Township of Muskoka Lakes pursuant to the provisions of Section 34 of the *Planning Act, R.S.O., 1990*.

TAKE FURTHER NOTICE THAT this public meeting will be held in a hybrid forum with both electronic participation via ZOOM, and in-person participation for those wishing to attend in person. **The meeting will be held in the Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario and will commence at 9:00 a.m. More information about viewing and/or participating via ZOOM is included in this Notice and can be found on our website at [www.muskokalakes.ca](http://www.muskokalakes.ca).** Members of the public may also observe the proceedings by accessing the live webcast at [www.muskokalakes.ca](http://www.muskokalakes.ca). If the live webcast fails, the meeting recording will be posted at <https://muskokalakes.civicweb.net/Portal/>.

This notice has been circulated to all property owners to which the proposed by-law would apply, to every owner of land within 240 metres (800 feet) of the area to which the proposed by-law would apply, and to the appropriate officials and agencies according to *Ontario Regulation 404/83* under the *Planning Act, R.S.O., 1990*.

An explanation of the purpose and effect of this by-law, describing the lands to which the by-law applies, and a key map showing the location of the lands are attached.

All inquiries concerning the proposed amendment should be directed to the Planning Department. ANY PERSON may make verbal representation by participating either in person or via the ZOOM meeting and/or may make written representation prior to the meeting. This representation can be in support of or in opposition to the proposed zoning by-law amendment.

If a person or public body would otherwise have an ability to appeal the decision of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If you wish to be notified of the decision of the Township of Muskoka Lakes on the proposed zoning by-law amendment, you must make a written request to the Township of Muskoka Lakes.

ADDITIONAL INFORMATION relating to the proposed zoning by-law amendment may be available upon request. **Please direct all inquiries to the Planning Department:**

The Corporation of the Township of Muskoka Lakes  
1 Bailey Street, P.O. Box 129, Port Carling, Ontario P0B 1J0  
Telephone: (705) 765-3156, Fax: (705) 765-6755, Email: [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)

DATED at the Corporation of the Township of Muskoka Lakes this **21<sup>st</sup>** day of **April, 2023**.

Crystal Paroschy, Clerk  
of the Corporation of the  
Township of Muskoka Lakes

**ZBA#:** ZBA-11/23  
**ROLL#:** 3-1-063  
**NAME:** BARNETT  
**CIVIC/911 ADDRESS:** 1052 LONGHURST ROAD, UNIT #20

**EXPLANATION OF THE PURPOSE AND EFFECT OF  
ZONING BY-LAW AMENDMENT**

**ZBA-11/23, BY-LAW 2023-041, BARNETT AND ESTATE OF MARVIN BARNETT,  
Roll # 3-1-063**

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The land affected by this amendment is described as Part of Lot 30, Concession 7, (in the former Township of Watt), now in the Township of Muskoka Lakes. The subject land is known municipally as 1052 Longhurst Road, Unit #20 and is currently in the ownership of Susan Barnett and the Estate of Marvin Barnett.

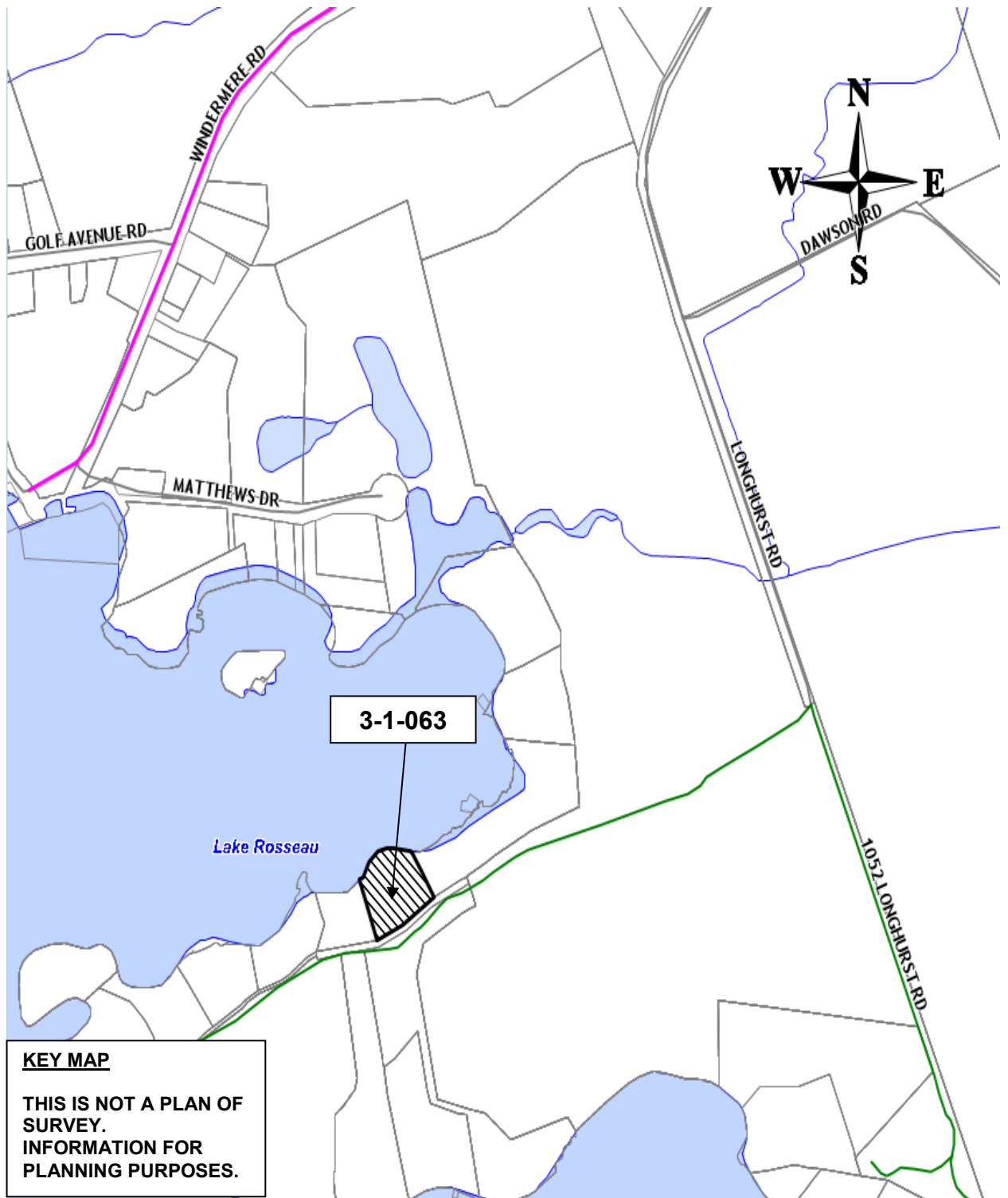
The subject land contains a dwelling with associated sundecks, a garage, a storage shed, and a two storey boathouse with an associated dock. The applicant proposes to demolish a single storey boatport forming part of the first storey of the existing boathouse and an unroofed structure forming part of the second storey of the existing boathouse. The applicant proposes to redevelop the existing dock and replace the existing boathouse. The height of the second storey is proposed to increase.

The purpose of By-law 2023-041 is to provide an exemption from Section 4.1.7 of By-law 2014-14, as amended, being the maximum height requirement of 16 feet for a boathouse on a lot with less than 300 feet of lot frontage on a Category 1 Lake. The subject property is zoned Waterfront Residential (WR1-7) and has 278 feet of lot frontage on a Category 1 Lake (Lake Rosseau). The second storey portion of the proposed boathouse is to be 25 feet in height. Please note the height of the second storey portion of the existing boathouse is 17.2 feet.

In summary, By-law 2023-041 will have the effect of permitting a boathouse to be 25 feet in height.

See Key Map on the Following Page

**KEY MAP**

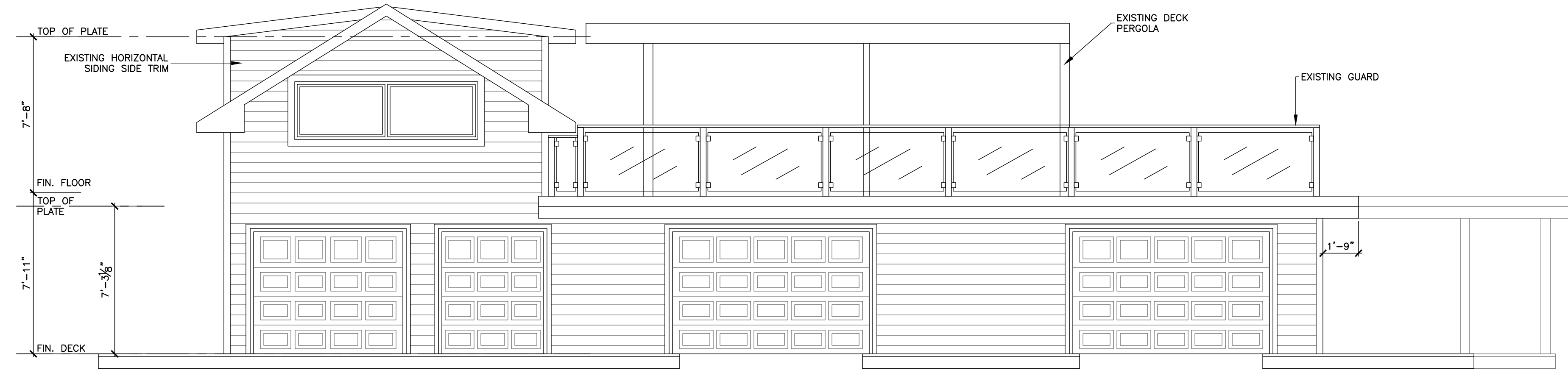


**KEY MAP**  
**THIS IS NOT A PLAN OF SURVEY.  
INFORMATION FOR PLANNING PURPOSES.**

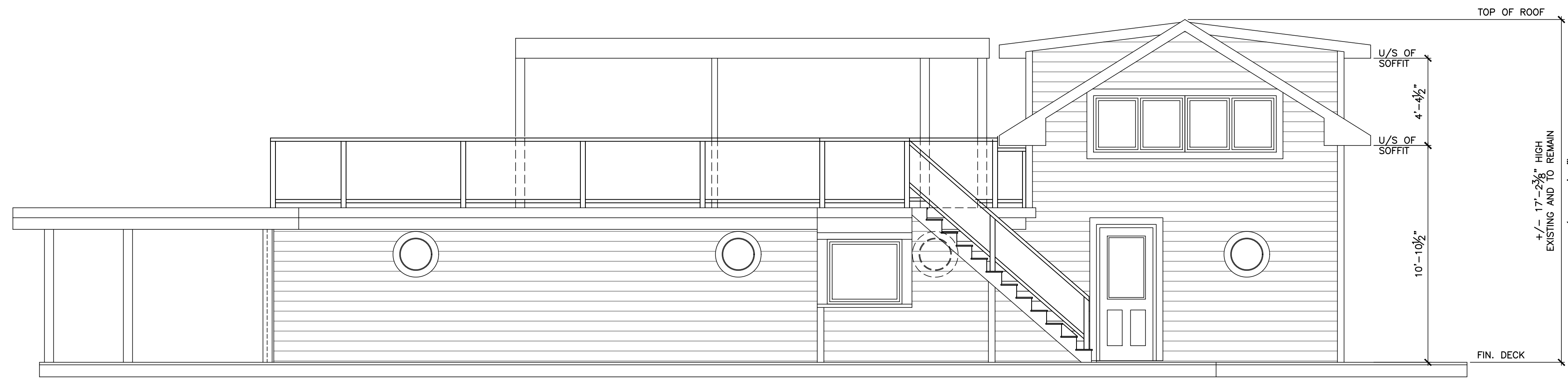




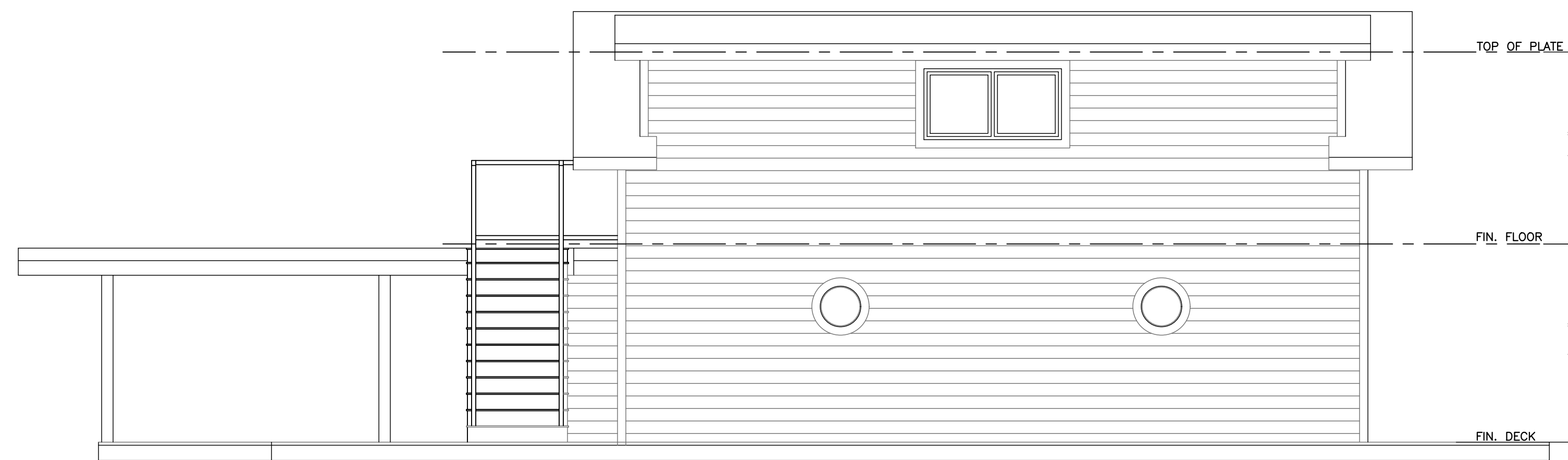
FOR INFORMATIONAL  
PURPOSES ONLY



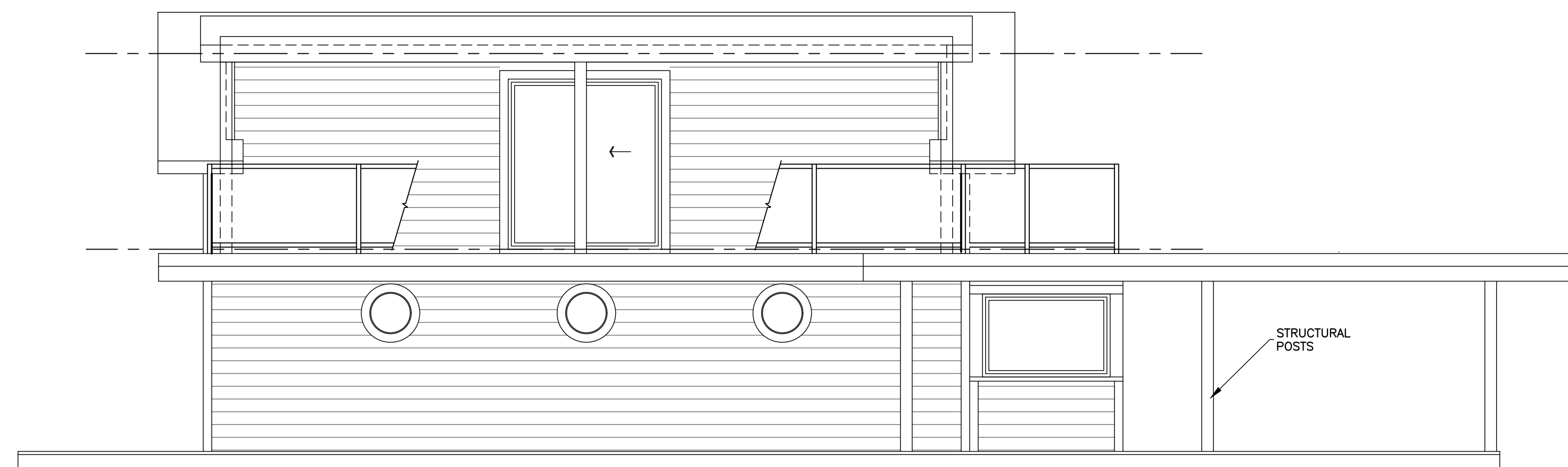
**EXISTING EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

NOT TO SCALE



**DE KONING GROUP**

Mail: 36 Beach Road  
Utterson, Ontario  
POB 1M0

Office: 3-1A Lee Valley Drive  
Port Carling, Ontario  
POB 1J0

705.640.3800  
info@deKoninggroup.com

No.	Revision/Issue Column	Date
4	ISSUED FOR REVIEW	SEP.21.2022
3	ISSUED FOR REVIEW	JUL.25.2022
2	ISSUED FOR REVIEW	APR.04.2022
1	ISSUED FOR REVIEW	JAN.14.2022

CLIENT

**HORIZON BUILDING**

PROJECT

**BARNETT BOATHOUSE  
(BOATHOUSE & DECK RENO)  
#20-1052 LONGHURST  
TOWNSHIP OF MUSKOKA LAKES**

DRAWING

**EXISTING ELEVATIONS**

APPROVED

**ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION**

DATE	JANUARY 2022
PROJECT	22-67-01
DESIGNED	BB
REVIEWED	N&K
SCALE	AS SHOWN
SHEET	A1

**DE KONING GROUP**

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CLIENT

HORIZON BUILDING

PROJECT

**BARNETT BOATHOUSE  
(BOATHOUSE & DECK RENO)**  
#20-1052 LONGHURST  
TOWNSHIP OF MUSKOKA LAKES

DRAWING

PROPOSED ELEVATIONS

APPROVED

ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION

DATE      JANUARY 2022

PROJECT      22-67-01

DESIGNED      BB

REVIEWED      NIK

SCALE      AS SHOWN

SHEET

A2.1

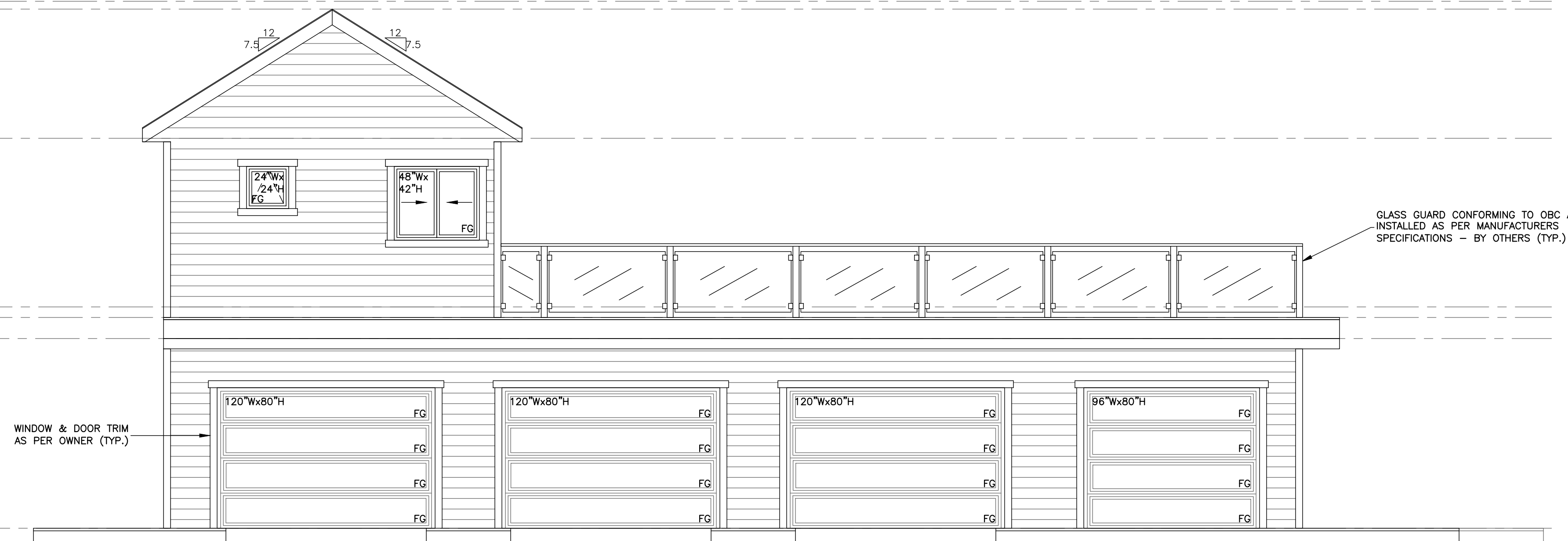
MAX. BOATHOUSE HEIGHT  
ZONE WR1-7; LAKE ROSSEAU (300'-400' FRONTAGE)  
ELEVATION = 25'-0"  
PROPOSED BOATHOUSE HEIGHT (LAKE ROSSEAU)  
ELEVATION = 24'-7 1/2"

TOP OF TOP PLATE  
ELEVATION = 18'-6"

T.O. SUBFLOOR  
ELEVATION = 10'-6"

T.O. DECK  
ELEVATION = 10'-0"  
T.O. TOP PLATE  
ELEVATION = 9'-0"

T.O. FINISHED DECK  
ELEVATION = 0'-0"



**PROPOSED EAST ELEVATION**

SCALE: 1/4" = 1'-0"

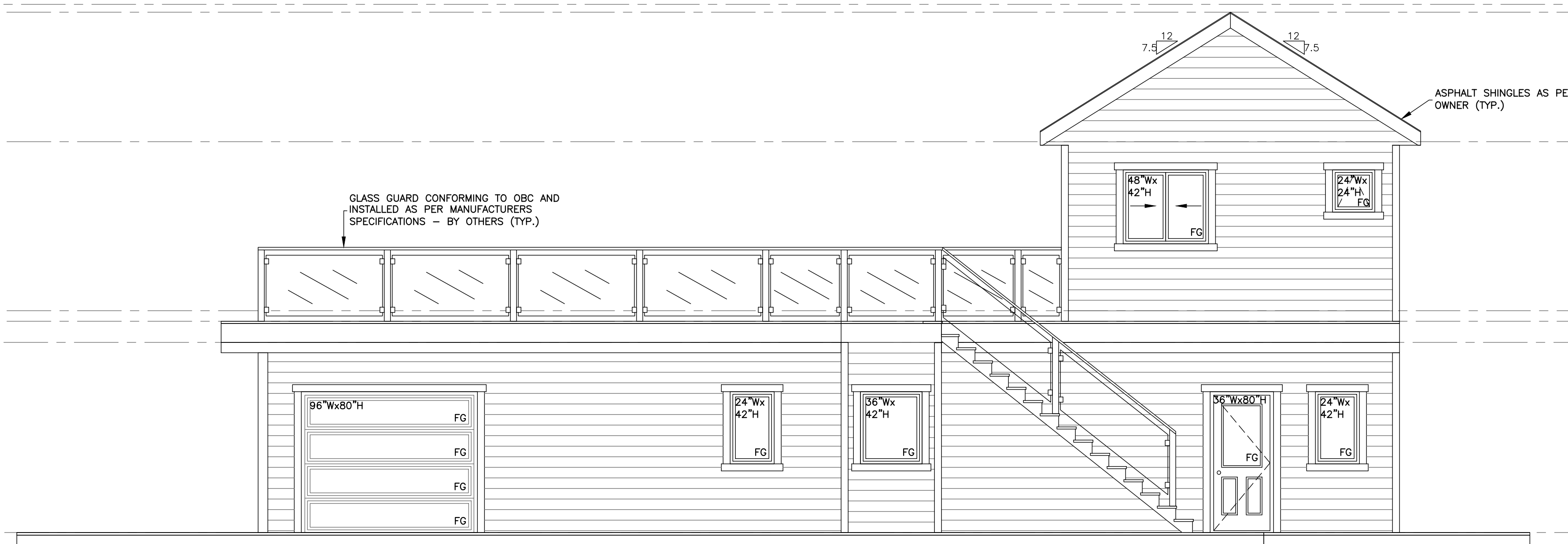
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T.O. DECK  
ELEVATION = 10'-0"  
T.O. TOP PLATE  
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T.O. FINISHED DECK  
ELEVATION = 0'-0"



**PROPOSED WEST ELEVATION**

SCALE: 1/4" = 1'-0"

**NOT TO SCALE**

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1	ISSUED FOR REVIEW	JAN.14.2022

No. Revision/Issue Column Date

CLIENT  
**HORIZON BUILDING**

PROJECT  
**BARNETT BOATHOUSE  
(BOATHOUSE & DECK RENO)  
#20-1052 LONGHURST  
TOWNSHIP OF MUSKOKA LAKES**

DRAWING  
**PROPOSED ELEVATIONS**

APPROVED  
**ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION**

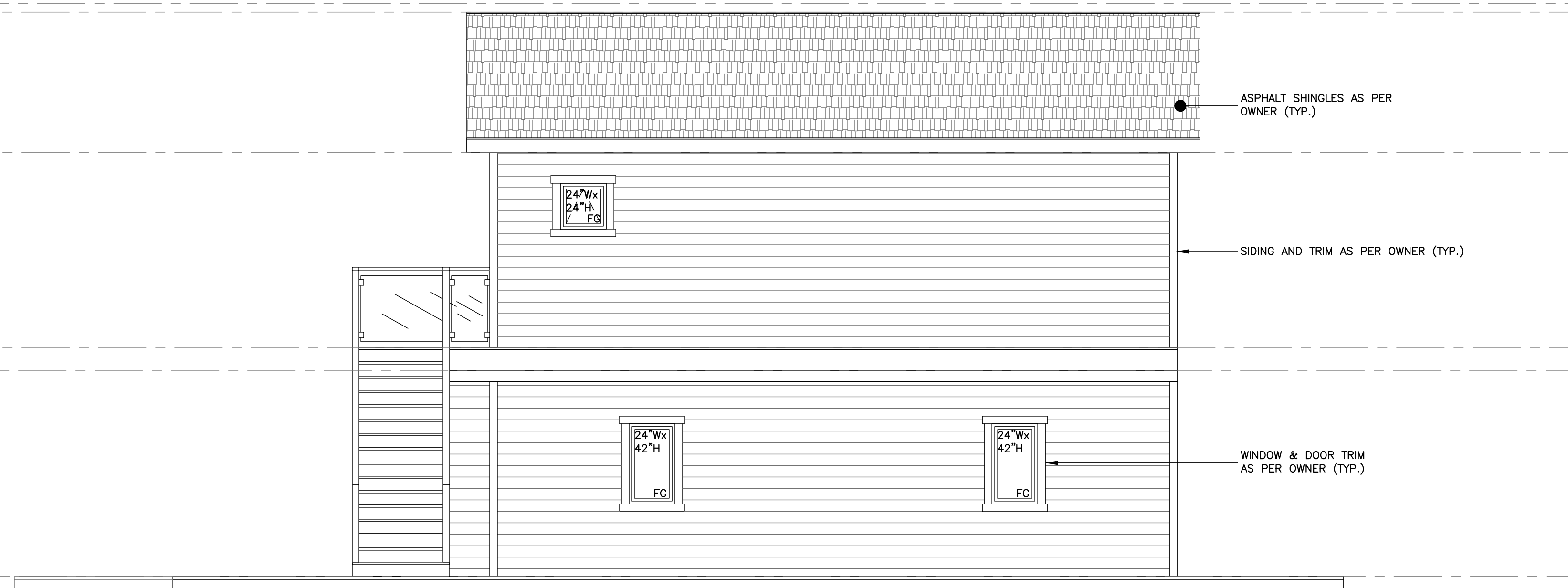
DATE	JANUARY 2022
PROJECT	22-67-01
DESIGNED	BB
REVIEWED	NJK
SCALE	AS SHOWN
SHEET	A2.2

MAX. BOATHOUSE HEIGHT  
ZONE WR1-7: LAKE ROSSEAU (300'-400' FRONTAGE)  
ELEVATION = 25'-0"  
PROPOSED BOATHOUSE HEIGHT (LAKE ROSSEAU)  
ELEVATION = 24'-7 1/2"

TOP OF TOP PLATE  
ELEVATION = 18'-6"

T.O. SUBFLOOR  
ELEVATION = 10'-6"  
T.O. DECK  
ELEVATION = 10'-0"  
T.O. TOP PLATE  
ELEVATION = 9'-0"

T.O. FINISHED DECK  
ELEVATION = 0'-0"



**PROPOSED SOUTH ELEVATION**

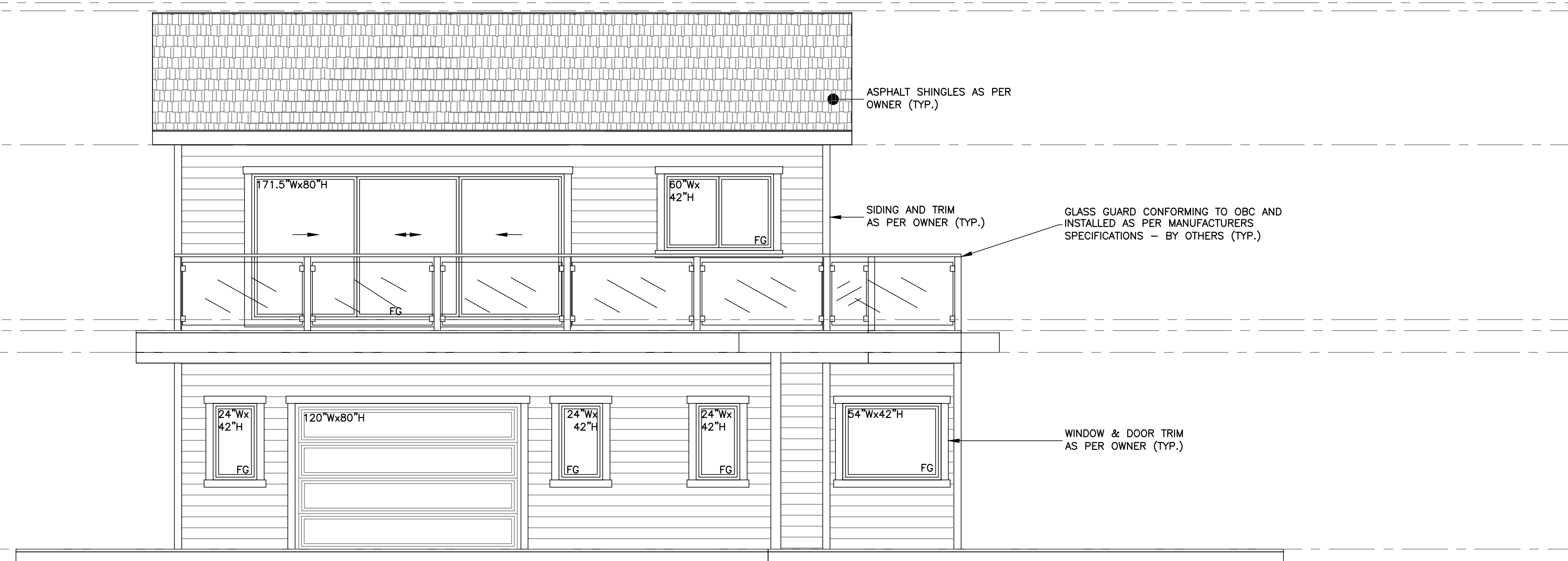
SCALE: 1/4" = 1'-0"

MAX. BOATHOUSE HEIGHT  
ZONE WR1-7: LAKE ROSSEAU (300'-400' FRONTAGE)  
ELEVATION = 25'-0"  
PROPOSED BOATHOUSE HEIGHT (LAKE ROSSEAU)  
ELEVATION = 24'-7 1/2"

TOP OF TOP PLATE  
ELEVATION = 18'-6"

T.O. SUBFLOOR  
ELEVATION = 10'-6"  
T.O. DECK  
ELEVATION = 10'-0"  
T.O. TOP PLATE  
ELEVATION = 9'-0"

T.O. FINISHED DECK  
ELEVATION = 0'-0"



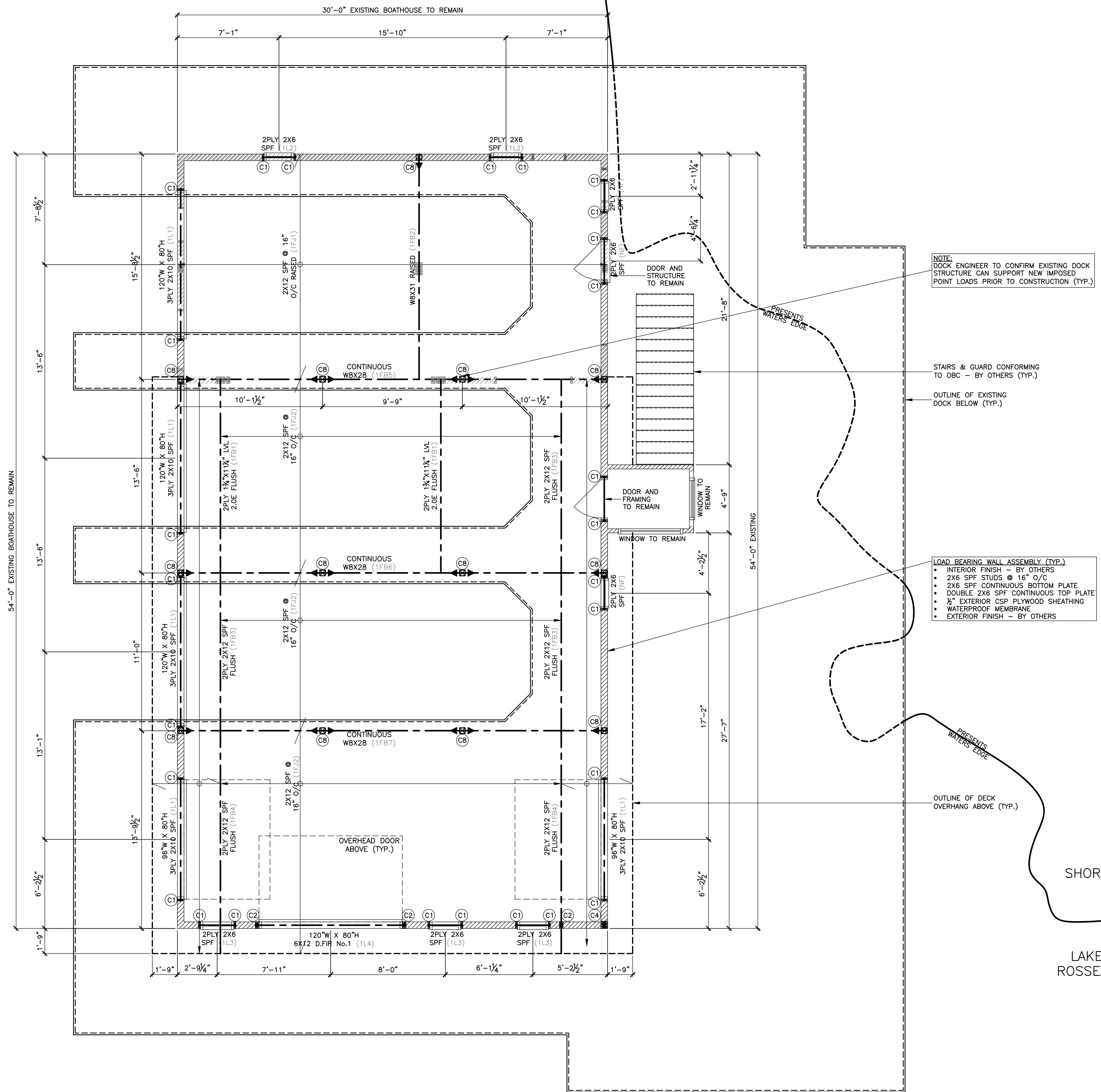
**PROPOSED NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

**NOT TO SCALE**



# FOR INFORMATIONAL PURPOSES ONLY



COLUMN SCHEDULE			
#	SIZE	MATERIAL	GRADE
C1	1PLY - 2X6	SPF	No.1/No.2
C2	2PLY - 2X6	SPF	No.1/No.2
C3	3PLY - 2X6	SPF	No.1/No.2
C4	4PLY - 2X6	SPF	No.1/No.2
C5	5PLY - 2X6	SPF	No.1/No.2
C6	7PLY - 2X6	SPF	No.1/No.2
C7	8X8	D.FIR	No.1
C8	5"x5"x4" HSS	STEEL	350W



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2	ISSUED FOR REVIEW	APR 04 2022
1	ISSUED FOR REVIEW	JAN 14 2022

CLIENT  
**HORIZON BUILDING**

PROJECT  
**BARNETT BOATHOUSE  
(BOATHOUSE & DECK RENO)  
#20-1052 LONGHURST  
TOWNSHIP OF MUSKOKA LAKES**

DRAWING  
**PROPOSED MAIN FLOOR &  
SECOND FLOOR FRAMING PLAN**

APPROVED  
**ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION**

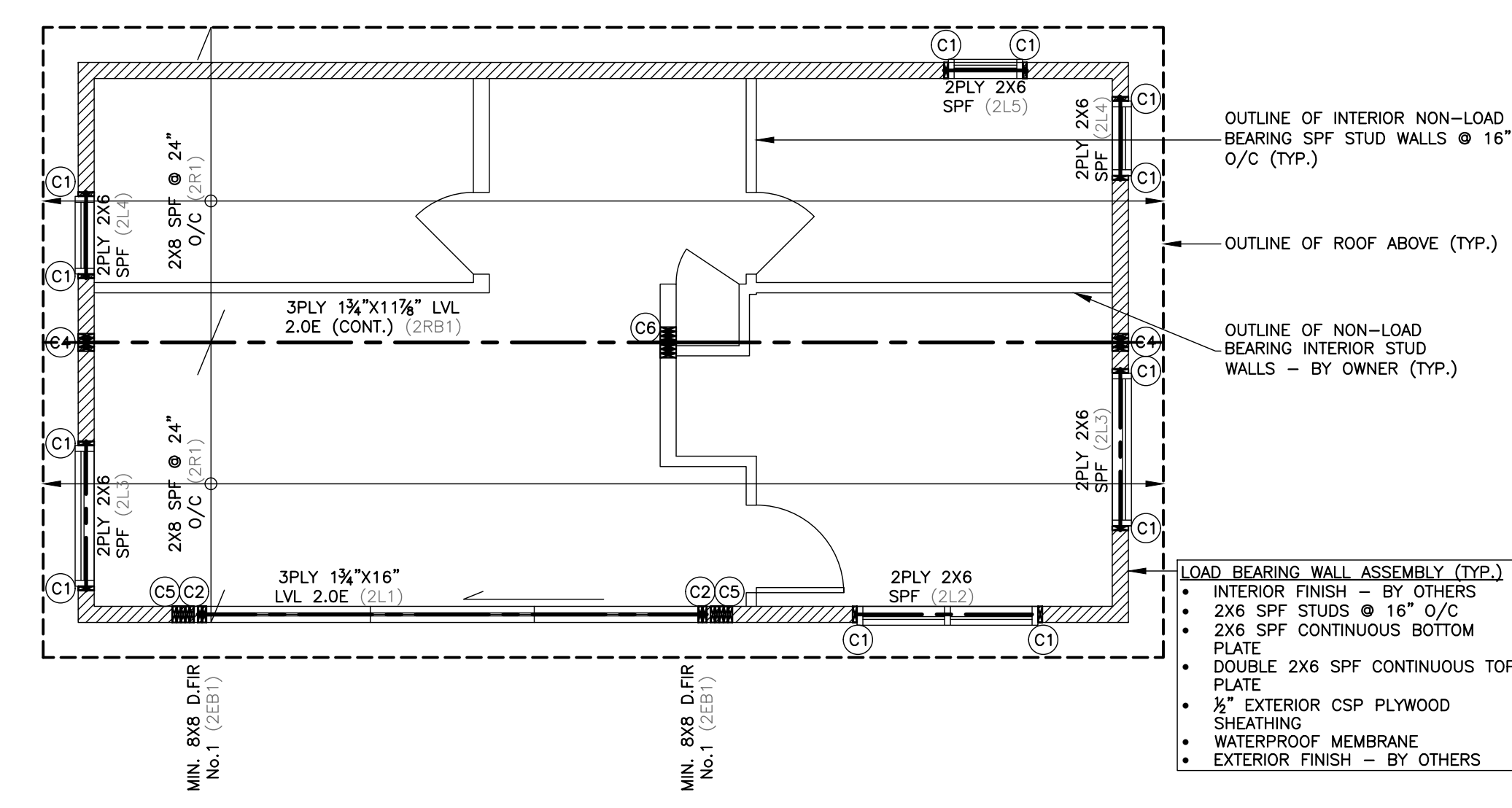
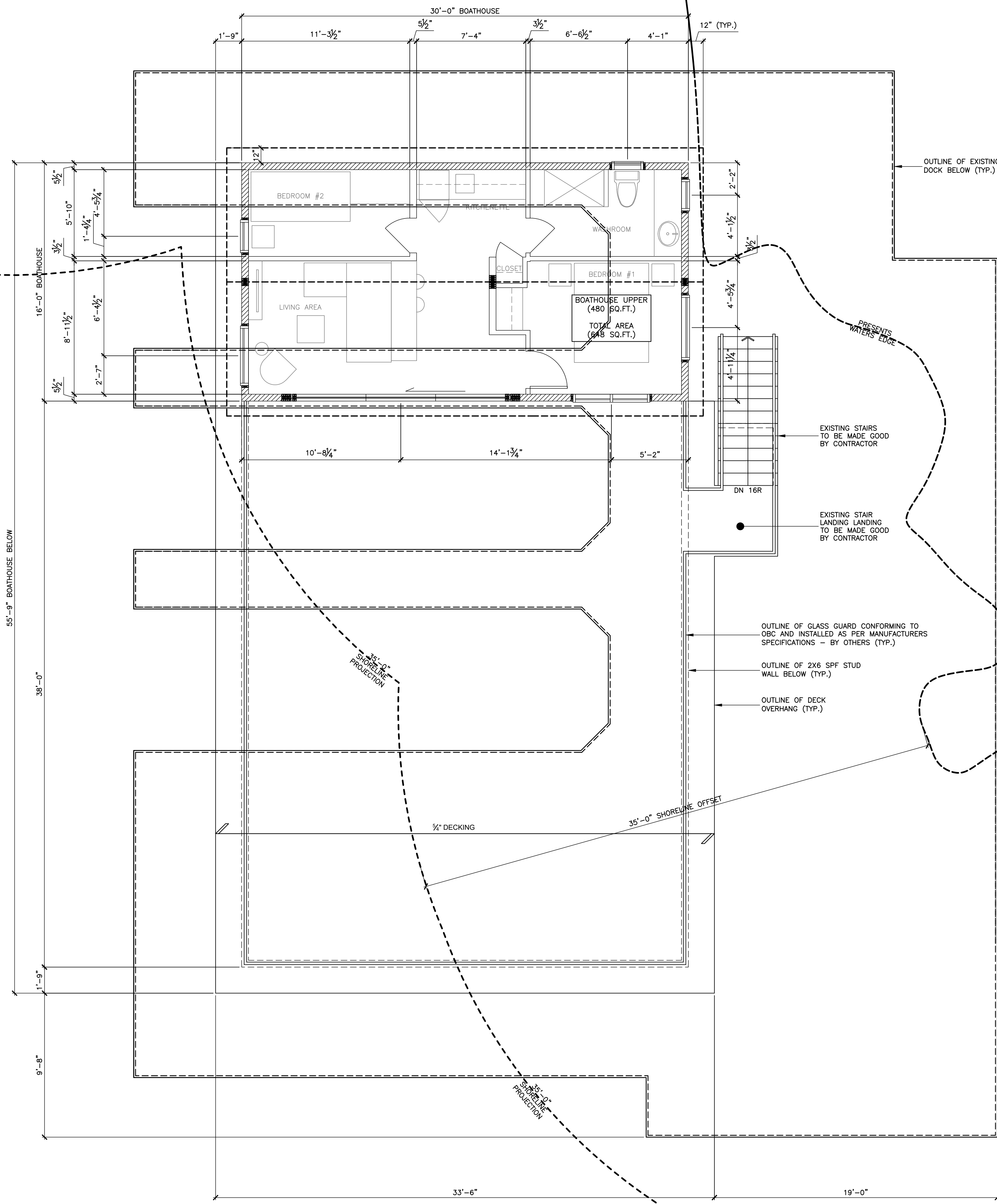
DATE	JANUARY 2022
PROJECT	22-67-01
DESIGNED	BB
REVIEWED	NMK
SCALE	AS SHOWN
SHEET	S2.2

**PROPOSED BOATHOUSE & SECOND FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

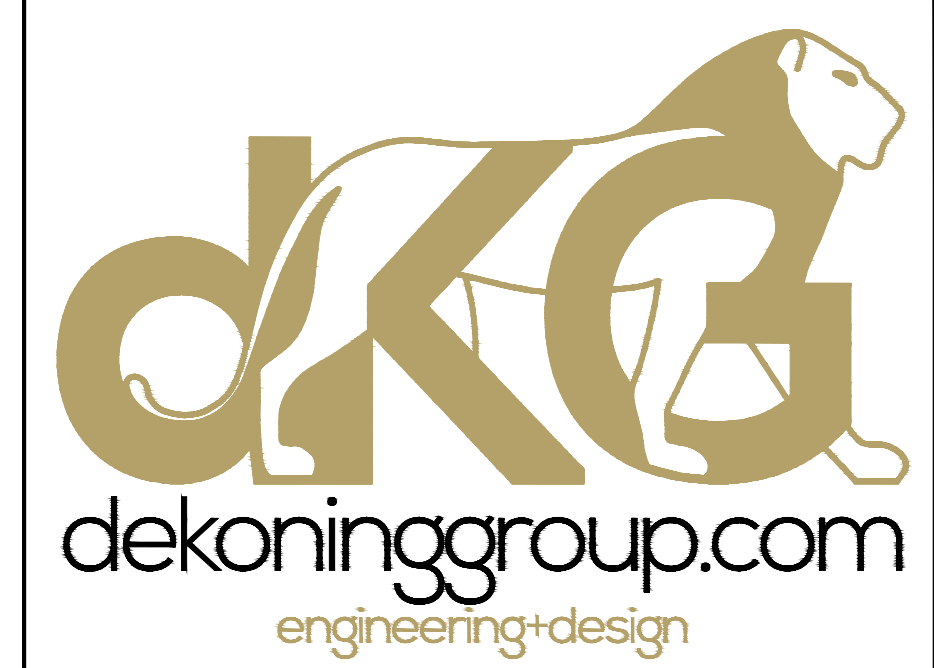
**NOT TO SCALE**



# FOR INFORMATIONAL PURPOSES ONLY



COLUMN SCHEDULE			
#	SIZE	MATERIAL	GRADE
C1	1PLY - 2X6	SPF	No.1/No.2
C2	2PLY - 2X6	SPF	No.1/No.2
C3	3PLY - 2X6	SPF	No.1/No.2
C4	4PLY - 2X6	SPF	No.1/No.2
C5	5PLY - 2X6	SPF	No.1/No.2
C6	7PLY - 2X6	SPF	No.1/No.2
C7	8X8	D.FIR	No.1
C8	5"x5"x4"	HSS	STEEL



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6	ISSUED FOR REVIEW	APR.20.2023
5	ISSUED FOR REVIEW	MAR.20.2023
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3	ISSUED FOR REVIEW	JUL.25.2022
2	ISSUED FOR REVIEW	APR.04.2022
1	ISSUED FOR REVIEW	JAN.14.2022

CLIENT

**HORIZON BUILDING**

PROJECT

**BARNETT BOATHOUSE  
(BOATHOUSE & DECK RENO)**  
#20-1052 LONGHURST  
TOWNSHIP OF MUSKOKA LAKES

DRAWING

**PROPOSED SECOND FLOOR &  
ROOF FRAMING PLAN**

APPROVED

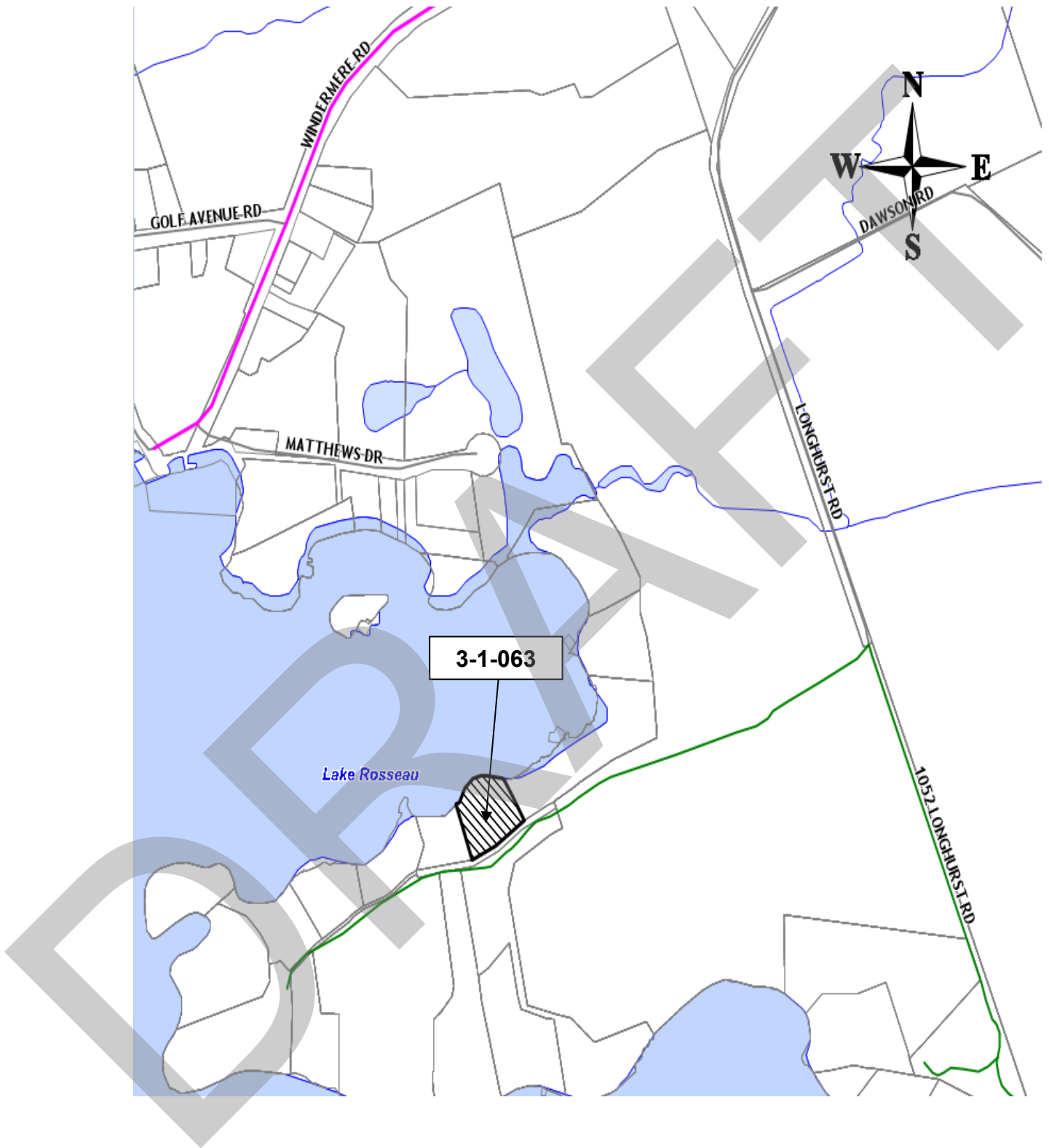
**ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION**

DATE	JANUARY 2022
PROJECT	22-67-01
DESIGNED	BB
REVIEWED	NK
SCALE	AS SHOWN
SHEET	S2.3

**NOT TO SCALE**



**SCHEDULE I TO BY-LAW 2023-041**





# SCHEDULE II TO BY-LAW 2023-041



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info@dekoninggroup.com

6	ISSUED FOR ZONING BYLAW AMENDMENT	APR.19.2023
5	ISSUED FOR ZONING BYLAW AMENDMENT	APR.18.2023
4	ISSUED FOR ZONING BYLAW AMENDMENT	APR.17.2023
3	ISSUED FOR ZONING BYLAW AMENDMENT	APR.06.2023
2	ISSUED FOR PERMIT	FEB.02.2023
1	ISSUED FOR PERMIT	JAN.31.2023

CLIENT  
**HORIZON BUILDING**

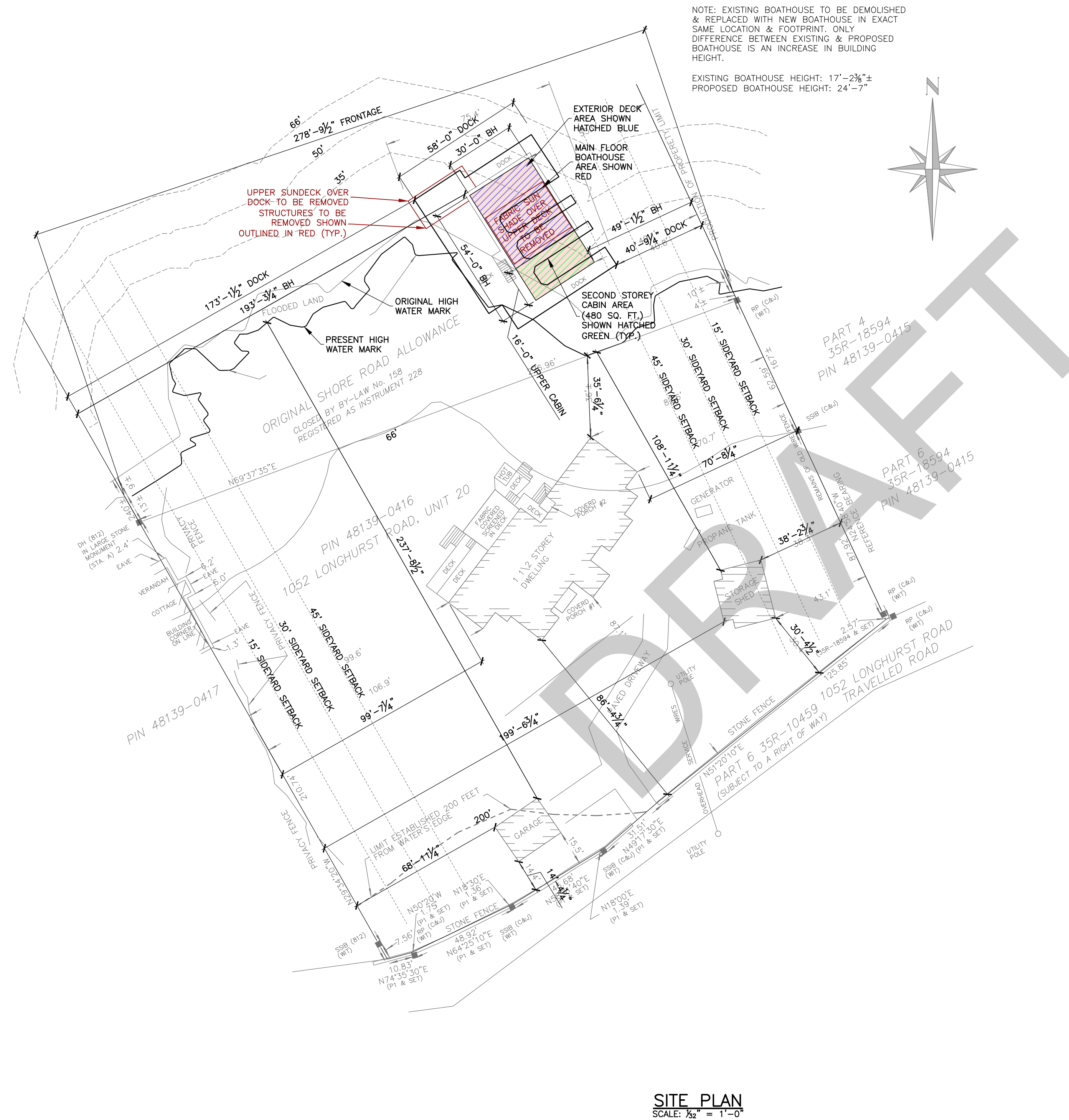
PROJECT  
**BARNETT BOATHOUSE  
(BOATHOUSE AND DECK RENO)  
#20-1052 LONGHURST  
TOWNSHIP OF MUSKOKA LAKES**

DRAWING  
**SITE PLAN**

APPROVED  
**ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION**

DATE	JANUARY 2022
PROJECT	22-67-01
DESIGNED	JTL
REVIEWED	N&K
SCALE	AS SHOWN

SHEET  
**SP1**



NOT TO SCALE

# SCHEDULE III TO BY-LAW 2023-041



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Mail: 36 Beach Road  
 Office: 3-1A Lee Valley Drive  
 Utterson, Ontario  
 Port Carling, Ontario  
 POB 1M0  
 POB 1J0

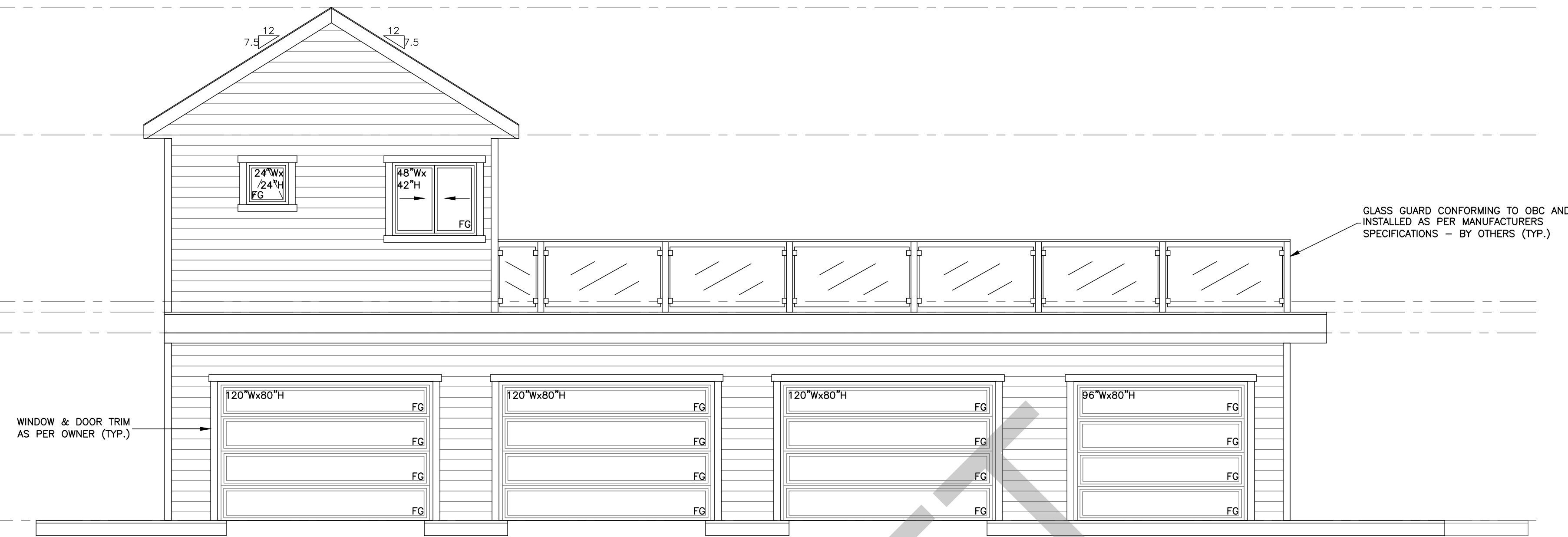
705.640.3800  
 info@dekoningsgroup.com

MAX. BOATHOUSE HEIGHT  
 ZONE WR1-7; LAKE ROSSEAU (300'-400' FRONTAGE)  
 ELEVATION = 25'-0"  
 PROPOSED BOATHOUSE HEIGHT (LAKE ROSSEAU)  
 ELEVATION = 24'-7 1/2"

TOP OF TOP PLATE  
 ELEVATION = 18'-6"

T.O. SUBFLOOR  
 ELEVATION = 10'-6"  
 T.O. DECK  
 ELEVATION = 10'-0"  
 T.O. TOP PLATE  
 ELEVATION = 9'-0"

T.O. FINISHED DECK  
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PROPOSED EAST ELEVATION

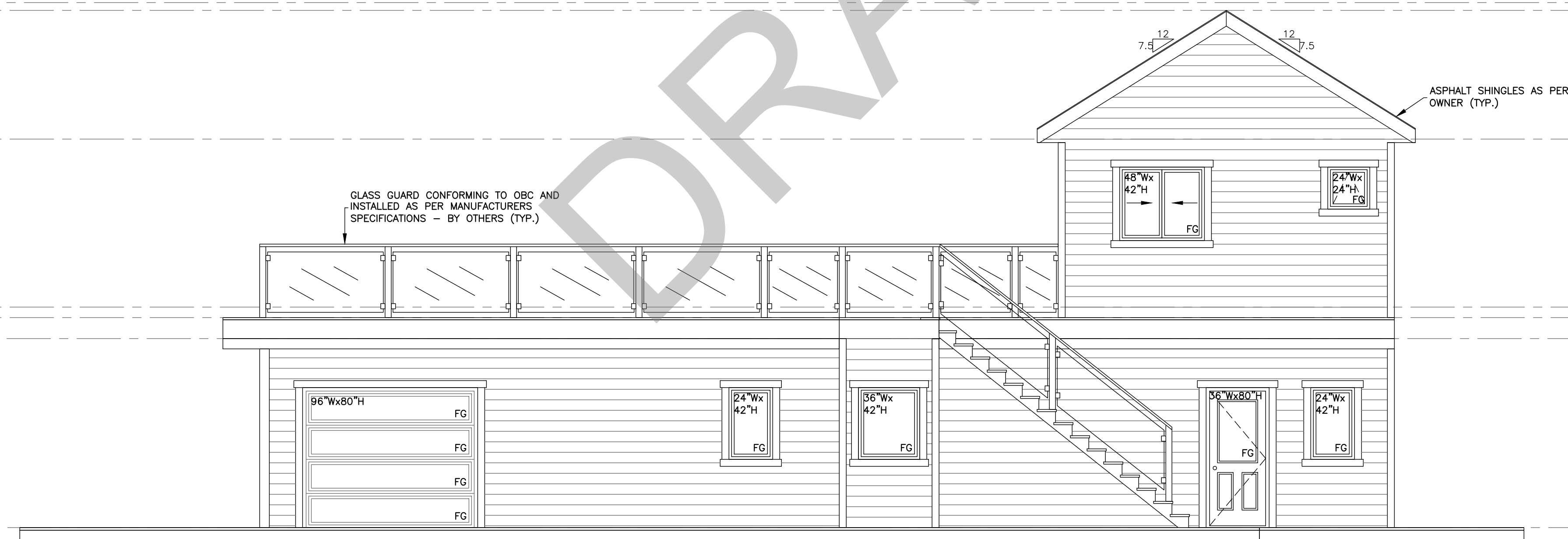
SCALE: 1/4" = 1'-0"

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PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

NOT TO SCALE

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CLIENT  
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 #20-1052 LONGHURST  
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DRAWING  
 PROPOSED ELEVATIONS

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SHEET	A2.1



# SCHEDULE III TO BY-LAW 2023-041



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CLIENT

HORIZON BUILDING

PROJECT

BARNETT BOATHOUSE  
(BOATHOUSE & DECK RENO)  
#20-1052 LONGHURST  
TOWNSHIP OF MUSKOKA LAKES

DRAWING

PROPOSED ELEVATIONS

APPROVED

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DATE JANUARY 2022

PROJECT 22-67-01

DESIGNED BB

REVIEWED NIK

SCALE AS SHOWN

SHEET

A2.2

MAX. BOATHOUSE HEIGHT  
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ELEVATION = 10'-0"  
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ELEVATION = 10'-6"

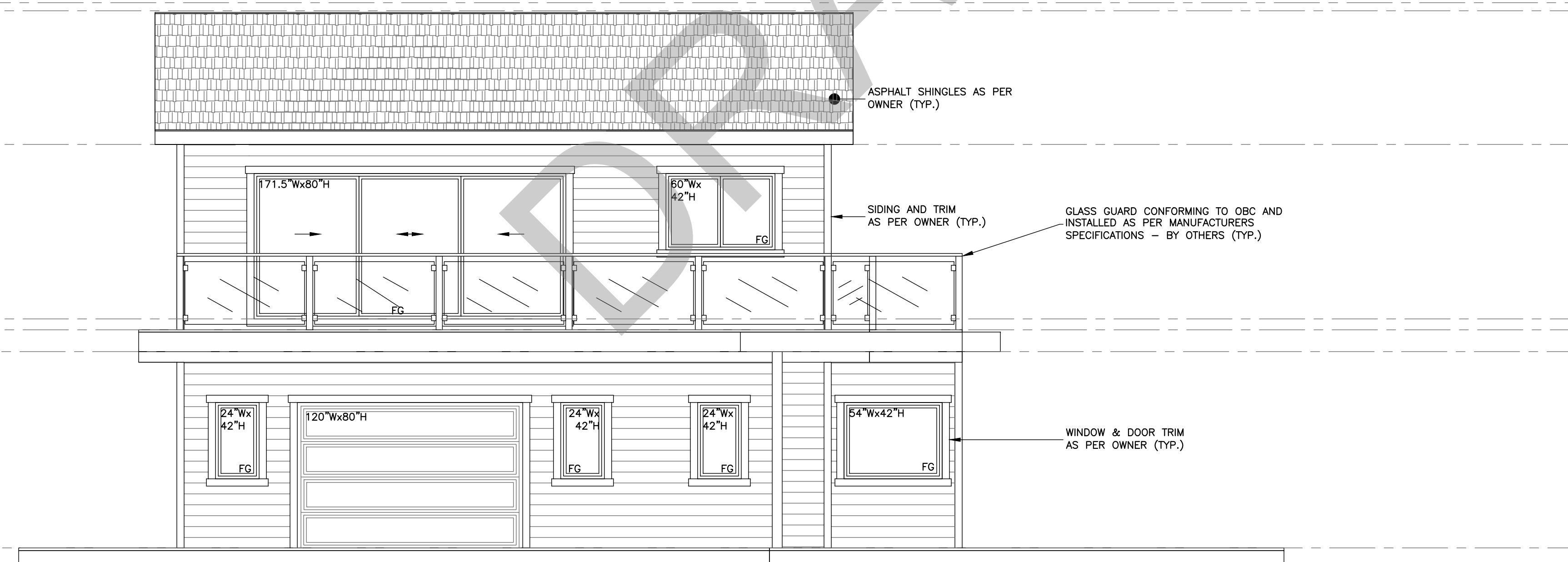
T.O. DECK  
ELEVATION = 10'-0"  
T.O. TOP PLATE  
ELEVATION = 9'-0"

T.O. FINISHED DECK  
ELEVATION = 0'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

NOT TO SCALE