



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES COMMITTEE OF ADJUSTMENT

FILE #: B/08/09/23/ML

ROLL #s: 4-7-052 and 4-7-052-01

NOTICE OF HEARING OF AN APPLICATION FOR CONSENT

To consider an application for consent for a proposed land severance pursuant to Section 53 of the Planning Act, R.S.O., 1990, Chapter P.13, as amended.

APPLICATIONS MADE BY: Victor D'Souza, 1117 Buckeye Road, Unit #4, Mac Tier, ON P0C 1H0

LOCATION OF PROPERTIES: Part Lots 1 and 2, Concession 12, Parts 1-3, Plan 35R-11940, (Medora), Civic Address: 1117 Buckeye Road, Unit #4, Zoning Schedule: 26

Part Lots 1 and 2, Concession 12, Parts 1-3, Plan 35R-11719, (Medora), Civic Address: Not Assigned, Zoning Schedule: 26

EXPLANATION OF THE PURPOSE AND EFFECT: Two Severance Applications (B/08/09/23/ML) have been made by the applicant to sever and add land to abutting lots.

In Application B/08/23/ML, the applicant proposes to sever a portion of property (Severed Lot) and add it to an abutting lot (Benefitting Lot) to the south in the ownership of Victor D'Souza. The Retained Lot contains a sleeping cabin and the Severed Lot is vacant. The Benefitting Lot contains a dwelling and accessory buildings and structures. Please see the consent sketch for Application B/08/23/ML.

In Application B/09/23/ML, the applicant proposes to sever a portion of property (Severed Lot) and add it to an abutting lot (Benefitting Lot) to the south in the ownership of Victor D'Souza. The Retained Lot contains a sundeck, the Severed Lot is vacant, and the Benefitting Lot contains a sleeping cabin. Please see the consent sketch for Application B/09/23/ML.

Please note that these applications constitute a change in common lot lines. No new lots are being created. Please see the sketches indicating existing and resultant lot configurations.

NOTICE: This Notice has been sent to you for your information and does not require any response unless you wish to make one. The above noted application will be heard by the Committee of Adjustment on the date and at the time shown below.

DATE: May 8, 2023

TIME: 9:00 A.M.

TAKE FURTHER NOTICE THAT this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. **The hearing will be held in the Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM hearing is included in this

Notice and can be found on our website at www.muskokalakes.ca.

PUBLIC HEARING: You or your representative are entitled to participate in this public hearing and make verbal representation by participating in person, in the ZOOM hearing, and/or make written representation prior to the meeting. This representation can be in support of or in opposition to the proposed Consent. If you wish to make written comments on this application they may be forwarded to the Secretary - Treasurer at the email address shown below.

Members of the public may also observe the proceedings by accessing the live webcast at: www.muskokalakes.ca If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent does not make written submissions to the Committee of Adjustment before it gives or refuses to give a provisional consent, the Ontario Land Tribunal may dismiss the appeal.

ADDITIONAL INFORMATION: There may be additional information relating to the proposed consent applications available from staff of the Planning Department through the email address below on week days between 8:15 a.m. and 4 p.m. or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0. Telephone: (705)765-3156 or FAX (705)765-6755. Please email any submissions or requests to: planning@muskokalakes.ca Please quote the Committee's file number noted above.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

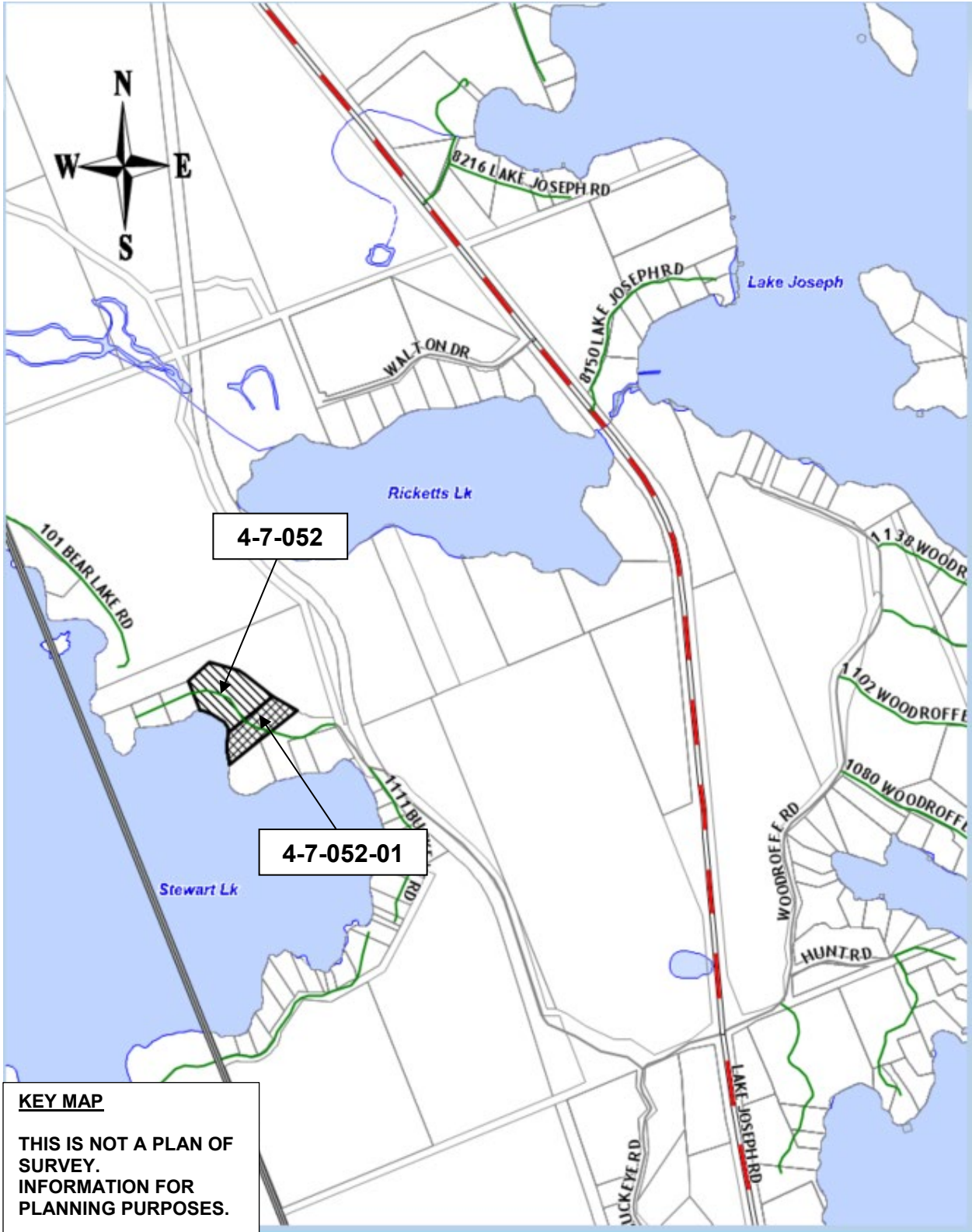
NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of the proposed consent, you must submit a written request to the Committee of Adjustment.

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 21st day of April, 2023

"Original Signed by R. Mulholland"
Rachel Mulholland
Acting Secretary-Treasurer
Committee of Adjustment

KEY MAP



EXISTING LOT STATISTICS

EXISTING LOT AREA STATISTICS		ADDRESS: NO CIVIC ADDRESS		ZONING: WR4		
ROLL #: 445304000705200		LEGAL: LOT 1 & 2 CON 12 MEDORA				
DEFINITION	AREA (ft ²) (m ²)	STRAIGHT LINE FRONTAGE		LOT NICKNAME:		
TOTAL LOT AREA	234,681 ft ² (21,803 m ²)	360' (110 m)± <small>MAX. CUMULATIVE WIDTH OF SHORELINE STRUCTURES (05%) = 54'</small>		LOT #1		
AREA WITHIN 60m OF H/W MARK	107,206 ft ² (9,960 m ²)	<small>MAX. BOATHOUSE WIDTH (02%) = 43.2'</small>				
EXISTING STRUCTURES		% COVERAGE	FRONT YARD SETBACK	INT. SIDE YARD SETBACK (W)	INT. SIDE YARD SETBACK (E)	REAR YARD SETBACK
NONE	MAXIMUM AVAILABLE	8.0%				
AVAILABLE TOTAL W/IN 200' *	8,577 ft ² (797 m ²)					
AVAILABLE TOTAL ENTIRE LOT	18,774 ft ² (1,744 m ²)					

EXISTING LOT AREA STATISTICS		ADDRESS: NO CIVIC ADDRESS		ZONING: WR4		
ROLL #: 445304000705201		LEGAL: LOT 1 & 2 CON 11 MEDORA, LOT 1 & 2 CON 12 MEDORA				
DEFINITION	AREA (ft ²) (m ²)	STRAIGHT LINE FRONTAGE		LOT NICKNAME:		
TOTAL LOT AREA	126,646 ft ² (11,765 m ²)	242' (73.76 m)± <small>MAX. CUMULATIVE WIDTH OF SHORELINE STRUCTURES (05%) = 36.3'</small>		LOT #2		
AREA WITHIN 60m OF H/W MARK	50,172 ft ² (4,661 m ²)	<small>MAX. BOATHOUSE WIDTH (02%) = 29.04'</small>				
EXISTING STRUCTURES		% COVERAGE	FRONT YARD SETBACK	INT. SIDE YARD SETBACK (W)	INT. SIDE YARD SETBACK (E)	REAR YARD SETBACK
CABIN	336 ft ² (31 m ²)					
EXISTING TOTAL W/IN 200' *	336 ft ² (31 m ²)	0.7%				
EXISTING TOTAL ENTIRE LOT	336 ft ² (31 m ²)	0.26%				

EXISTING LOT AREA STATISTICS		ADDRESS: 1117 BUCKEYE RD., UNIT #4		ZONING: WR4		
ROLL #: 445304000705202		LEGAL: LOT 1 CON 11 MEDORA LOT 1 CON 12 MEDORA				
DEFINITION	AREA (ft ²) (m ²)	STRAIGHT LINE FRONTAGE		LOT NICKNAME:		
TOTAL LOT AREA	78,636 ft ² (7,305 m ²)	374' (114 m)± <small>MAX. CUMULATIVE WIDTH OF SHORELINE STRUCTURES (05%) = 56.7'</small>		LOT #3		
AREA WITHIN 60m OF H/W MARK	73,711 ft ² (6,848 m ²)	<small>MAX. BOATHOUSE WIDTH (02%) = 44.9'</small>				
EXISTING STRUCTURES		% COVERAGE	FRONT YARD SETBACK	INT. SIDE YARD SETBACK (W)	INT. SIDE YARD SETBACK (E)	REAR YARD SETBACK
COTTAGE	2,400 ft ² (222.97 m ²)		??' (??m)±	??' (??m)±	??' (??m)±	??' (??m)±
CABIN #1	408 ft ² (37.90 m ²)		??' (??m)±	??' (??m)±	??' (??m)±	??' (??m)±
CABIN #2	387.5 ft ² (36.00 m ²)		??' (??m)±	??' (??m)±	??' (??m)±	??' (??m)±
SHED	256 ft ² (23.78 m ²)		??' (??m)±	??' (??m)±	??' (??m)±	??' (??m)±
BOATHOUSE	400 ft ² (37.16 m ²)					
EXISTING TOTAL W/IN 200' *	3,851.5 ft ² (357.81 m ²)	5.2%				
EXISTING TOTAL ENTIRE LOT	3,851.5 ft ² (357.81 m ²)	4.9%				

RESULTANT LOT STATISTICS

RESULTANT LOT AREA STATISTICS		ADDRESS: NO CIVIC ADDRESS		ZONING: WR4		
ROLL #: 445304000705200		LEGAL: LOT 1 & 2 CON 12 MEDORA				
DEFINITION	AREA (ft ²) (m ²)	STRAIGHT LINE FRONTAGE		LOT NICKNAME:		
TOTAL LOT AREA	203,553 ft ² (18,911 m ²)	299.83' (91.39 m)± <small>MAX. CUMULATIVE WIDTH OF SHORELINE STRUCTURES (05%) = 47.5'</small>		LOT #1		
AREA WITHIN 60m OF H/W MARK	90,718.8 ft ² (8,428 m ²)	<small>MAX. BOATHOUSE WIDTH (05%) = 39'</small>				
EXISTING STRUCTURES		% COVERAGE	FRONT YARD SETBACK	INT. SIDE YARD SETBACK (W)	INT. SIDE YARD SETBACK (E)	REAR YARD SETBACK
NONE	MAXIMUM AVAILABLE	8.0%				
AVAILABLE TOTAL W/IN 200' *	7,257 ft ² (674 m ²)					
AVAILABLE TOTAL ENTIRE LOT	16,284 ft ² (1,513 m ²)					

RESULTANT LOT AREA STATISTICS		ADDRESS: NO CIVIC ADDRESS		ZONING: WR4		
ROLL #: 445304000705201		LEGAL: LOT 1 & 2 CON 11 MEDORA, LOT 1 & 2 CON 12 MEDORA				
DEFINITION	AREA (ft ²) (m ²)	STRAIGHT LINE FRONTAGE		LOT NICKNAME:		
TOTAL LOT AREA	128,018 ft ² (11,893 m ²)	252' (76.8 m)± <small>MAX. CUMULATIVE WIDTH OF SHORELINE STRUCTURES (05%) = 37.8'</small>		LOT #2		
AREA WITHIN 60m OF H/W MARK	51,699 ft ² (4,803 m ²)	<small>MAX. BOATHOUSE WIDTH (02%) = 30.24'</small>				
EXISTING STRUCTURES		% COVERAGE	FRONT YARD SETBACK	INT. SIDE YARD SETBACK (W)	INT. SIDE YARD SETBACK (E)	REAR YARD SETBACK
CABIN	336 ft ² (31 m ²)					
EXISTING TOTAL W/IN 200' *	336 ft ² (31 m ²)	0.6%				
EXISTING TOTAL ENTIRE LOT	336 ft ² (31 m ²)	0.26%				
AVAILABLE TOTAL W/IN 200' *	4,136 ft ² (384 m ²)	8%				
AVAILABLE TOTAL ENTIRE LOT	10,242 ft ² (951 m ²)	8%				

RESULTANT LOT AREA STATISTICS		ADDRESS: 1117 BUCKEYE RD., UNIT #4		ZONING: WR4		
ROLL #: 445304000705202		LEGAL: LOT 1 CON 11 MEDORA LOT 1 CON 12 MEDORA				
DEFINITION	AREA (ft ²) (m ²)	STRAIGHT LINE FRONTAGE		LOT NICKNAME:		
TOTAL LOT AREA	108,392 ft ² (10,070 m ²)	389.97' (118.9 m)± <small>MAX. CUMULATIVE WIDTH OF SHORELINE STRUCTURES (05%) = 58.5'</small>		LOT #3		
AREA WITHIN 60m OF H/W MARK	88,571 ft ² (8,228.6 m ²)	<small>MAX. BOATHOUSE WIDTH (02%) = 46.8'</small>				
EXISTING STRUCTURES		% COVERAGE	FRONT YARD SETBACK	INT. SIDE YARD SETBACK (W)	INT. SIDE YARD SETBACK (E)	REAR YARD SETBACK
COTTAGE	2,400 ft ² (223 m ²)		??' (??m)±	??' (??m)±	??' (??m)±	??' (??m)±
CABIN #1	408 ft ² (38 m ²)		??' (??m)±	??' (??m)±	??' (??m)±	??' (??m)±
CABIN #2	387.5 ft ² (36 m ²)		??' (??m)±	??' (??m)±	??' (??m)±	??' (??m)±
SHED	256 ft ² (23 m ²)		??' (??m)±	??' (??m)±	??' (??m)±	??' (??m)±
BOATHOUSE	400 ft ² (37 m ²)					
EXISTING TOTAL W/IN 200' *	3,851.5 ft ² (357 m ²)	4.3%				
EXISTING TOTAL ENTIRE LOT	3,851.5 ft ² (357 m ²)	3.6%				
TOTAL AVAILABLE ENTIRE LOT	8,671 ft ² (805 m ²)	8.0%				
TOTAL AVAILABLE W/IN 200' H/W	7,085 ft ² (658 m ²)	8.0%				



Mail 36 Beach Road
Utterson, Ontario POB 1M0

Office 3 Armstrong Point Rd.
Port Carling, Ontario POB 1J0

705.640.3800
info@dekoningsgroup.com

PROFESSIONAL ENGINEER

1117 BUCKEYE RD

1117 BUCKEYE RD.
MACTIER, ON POC 1H0
TOWNSHIP OF MUSKOKA LAKES

Client:
VICTOR D'SOUZA

REV.	DESCRIPTION	DATE
1	REVIEW	2022.09.20
2	REVIEW	2022.09.29
3	REVIEW	2022.10.19
4	REVIEW	2023.02.07
5	REVIEW	2023.03.21
6	REVIEW	2023.04.14

EXISTING & RESULTANT LOT STATISTICS

P/N 22-255-01
Project Date SEPT 2022
Drawn / Checked RMD / NdK

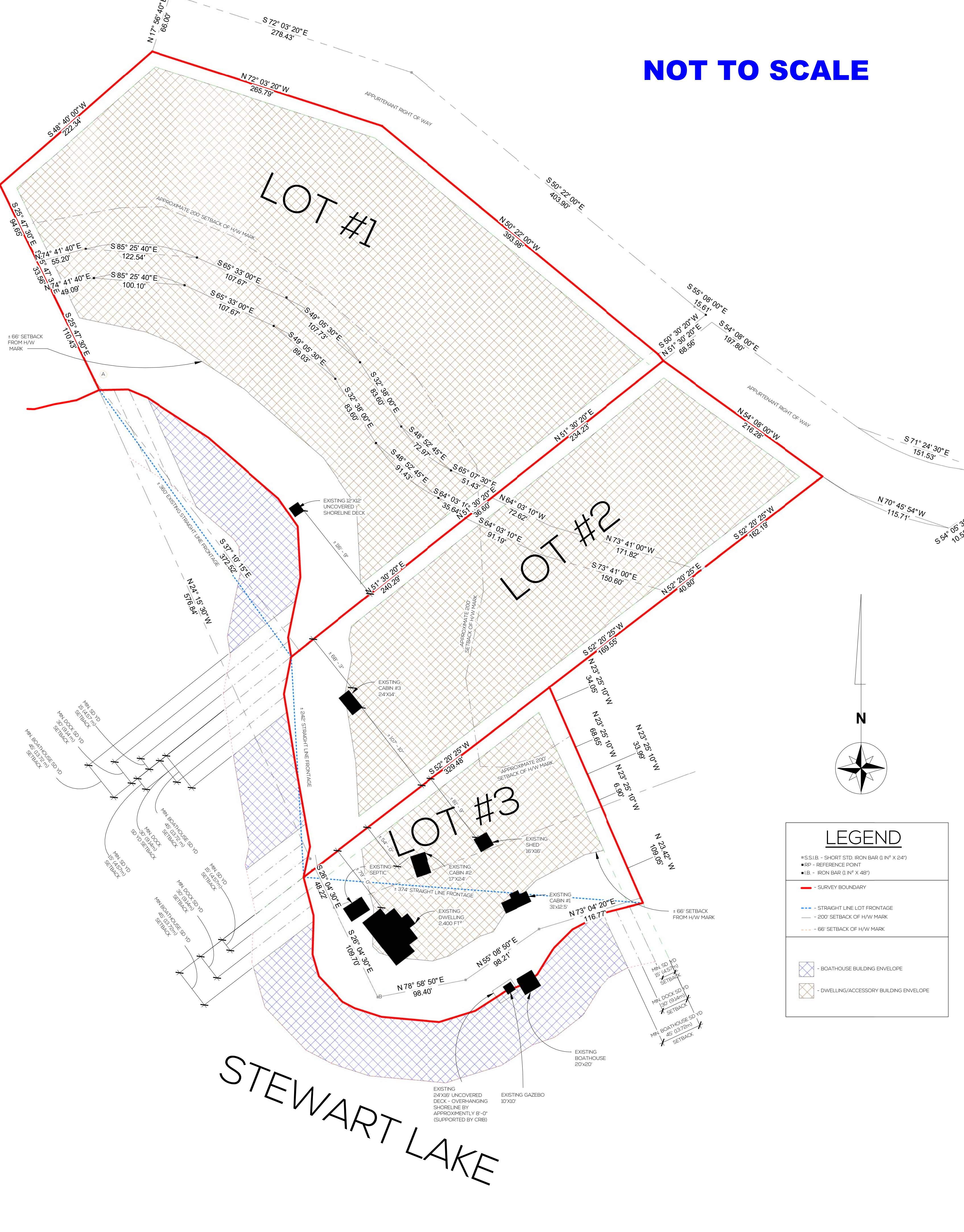
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Scale 1/4" = 1'-0"

DESIGNSET: 2022.09.15

NOT TO SCALE

ZONING DETAILS: TOWNSHIP OF MUSKOKA LAKES	
ZONING	WR4
MIN. LOT AREA	Existing when by-law passed.
MIN. LOT FRONTAGE	Existing when by-law passed.
MAX. LOT COVERAGE	8%
MIN. FRONT YARD SETBACK	20.1 M (66 FT)
MIN. INT. SIDE YARD SETBACK	4.6 M (15 FT)
MIN. EXT. SIDE YARD SETBACK	9.1 M (30 FT)
MIN. REAR YARD SETBACK	4.6 M (15 FT)
MAX. HEIGHT	10.7 M (35 FT)
MAX. HEIGHT ACCESSORY	6.1 M (20 FT)
MIN. GROSS FLOOR AREA	69.7M ² (750 FT ²)



EXISTING LOT AREA STATISTICS		ADDRESS: NO CIVIC ADDRESS		ZONING: WR4		
ROLL #: 445304000705200		LEGAL: LOT 1 & 2 CON 12 MEDORA		LOT NICKNAME: LOT #1		
DEFINITION	AREA (ft ²) (m ²)	STRAIGHT LINE FRONTAGE		LOT NICKNAME:		
TOTAL LOT AREA	234,681 ft ² (21,803 m ²)	360' (110 m)±		LOT #1		
AREA WITHIN 60m OF H/W MARK	107,206 ft ² (9,960 m ²)	MAX. CUMULATIVE WIDTH OF SHORELINE STRUCTURES (S53) = 54'		MAX. BOATHOUSE WIDTH (S23) = 43.2'		
EXISTING STRUCTURES		% COVERAGE	FRONT YARD SETBACK	INT. SIDE YARD SETBACK (W)	INT. SIDE YARD SETBACK (E)	REAR YARD SETBACK
NONE	MAXIMUM AVAILABLE	8.0%				
AVAILABLE TOTAL W/IN 200' *		8,577 ft ² (797 m ²)				
AVAILABLE TOTAL ENTIRE LOT		18,774 ft ² (1,744 m ²)				

EXISTING LOT AREA STATISTICS		ADDRESS: NO CIVIC ADDRESS		ZONING: WR4		
ROLL #: 445304000705201		LEGAL: LOT 1 & 2 CON 11 MEDORA, LOT 1 & 2 CON 12 MEDORA		LOT NICKNAME: LOT #2		
DEFINITION	AREA (ft ²) (m ²)	STRAIGHT LINE FRONTAGE		LOT NICKNAME:		
TOTAL LOT AREA	126,646 ft ² (11,765 m ²)	242' (73.76 m)±		LOT #2		
AREA WITHIN 60m OF H/W MARK	50,172 ft ² (4,661 m ²)	MAX. CUMULATIVE WIDTH OF SHORELINE STRUCTURES (S53) = 36.3'		MAX. BOATHOUSE WIDTH (S23) = 29.04'		
EXISTING STRUCTURES		% COVERAGE	FRONT YARD SETBACK	INT. SIDE YARD SETBACK (W)	INT. SIDE YARD SETBACK (E)	REAR YARD SETBACK
CABIN	336 ft ² (31 m ²)					
EXISTING TOTAL W/IN 200' *		0.7%				
EXISTING TOTAL ENTIRE LOT		0.26%				

EXISTING LOT AREA STATISTICS		ADDRESS: 1117 BUCKEYE RD., UNIT #4		ZONING: WR4		
ROLL #: 445304000705202		LEGAL: LOT 1 CON 11 MEDORA LOT 1 CON 12 MEDORA		LOT NICKNAME: LOT #3		
DEFINITION	AREA (ft ²) (m ²)	STRAIGHT LINE FRONTAGE		LOT NICKNAME:		
TOTAL LOT AREA	78,636 ft ² (7,305 m ²)	374' (114 m)±		LOT #3		
AREA WITHIN 60m OF H/W MARK	73,711 ft ² (6,848 m ²)	MAX. CUMULATIVE WIDTH OF SHORELINE STRUCTURES (S53) = 56.1'		MAX. BOATHOUSE WIDTH (S23) = 44.9'		
EXISTING STRUCTURES		% COVERAGE	FRONT YARD SETBACK	INT. SIDE YARD SETBACK (W)	INT. SIDE YARD SETBACK (E)	REAR YARD SETBACK
COTTAGE	2,400 ft ² (222.97 m ²)		??' (??m)±	??' (??m)±	??' (??m)±	??' (??m)±
CABIN #1	408 ft ² (37.90 m ²)		??' (??m)±	??' (??m)±	??' (??m)±	??' (??m)±
CABIN #2	387.5 ft ² (36.00 m ²)		??' (??m)±	??' (??m)±	??' (??m)±	??' (??m)±
SHED	256 ft ² (23.78 m ²)		??' (??m)±	??' (??m)±	??' (??m)±	??' (??m)±
BOATHOUSE	400 ft ² (37.16 m ²)					
EXISTING TOTAL W/IN 200' *		3,851.5 ft ² (357.81 m ²)		5.2%		
EXISTING TOTAL ENTIRE LOT		3,851.5 ft ² (357.81 m ²)		4.9%		

1117 BUCKEYE RD.
 1117 BUCKEYE RD.,
 MACTIER, ON POC.1HO
 TOWNSHIP OF MUSKOKA LAKES

REV.	DESCRIPTION	DATE
1	REVIEW	2022.09.20
2	REVIEW	2022.09.29
3	REVIEW	2022.10.19
4	REVIEW	2023.02.07
5	REVIEW	2023.03.21
6	REVIEW	2023.04.14

SITE PLAN - EXISTING

P/N: 22-255-01
 Project Date: SEPT 2022
 Drawn / Checked: RMD / NdK

SP1.0
 Scale: As indicated

1 SITE - EXISTING
 1" = 60'-0"

DESIGNSET: 2022.09.15

NOT TO SCALE

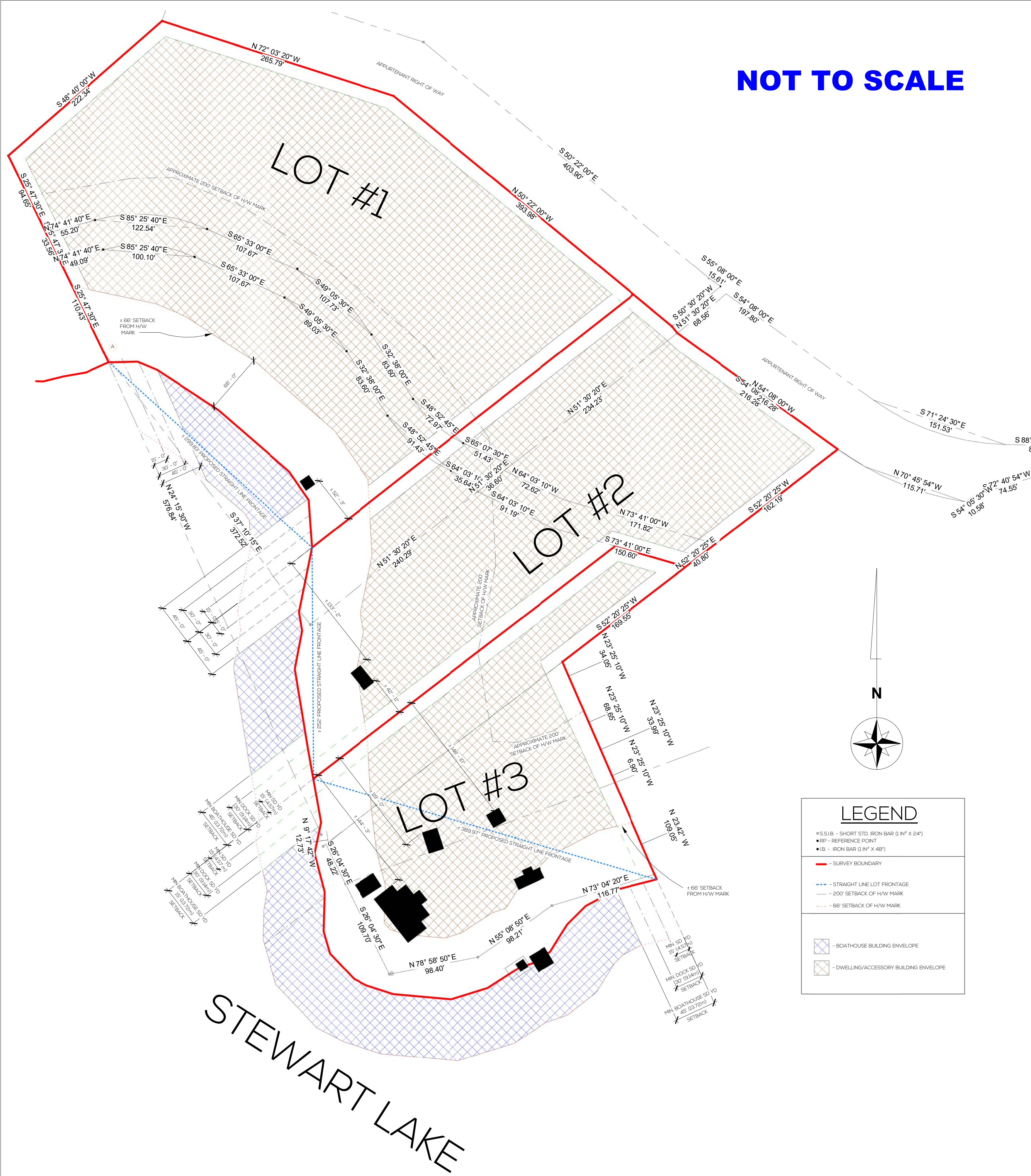


Mail 36 Beach Road
 Utterson, Ontario POB 1M0
 Office 3 Armstrong Point Rd.
 Port Carling, Ontario POB 1J0

705.640.3800
 info@dekoninggroup.com

PROFESSIONAL ENGINEER

ZONING DETAILS:	
TOWNSHIP OF MUSKOKA LAKES	
ZONING	WR4
MIN. LOT AREA	Existing when by-law passed.
MIN. LOT FRONTAGE	Existing when by-law passed.
MAX. LOT COVERAGE	8%
MIN. FRONT YARD SETBACK	20.1 M (66 FT)
MIN. INT. SIDE YARD SETBACK	4.6 M (15 FT)
MIN. EXT. SIDE YARD SETBACK	9.1 M (30 FT)
MIN. REAR YARD SETBACK	4.6 M (15 FT)
MAX. HEIGHT	10.7 M (35 FT)
MAX. HEIGHT ACCESSORY	6.1 M (20 FT)
MIN. GROSS FLOOR AREA	69.7M ² (750 FT ²)



LEGEND

- S.S.I.B. - SHORT STD. IRON BAR (1/2" X 24")
- R.P. - REFERENCE POINT
- I.B. - IRON BAR (1/2" X 48")
- SURVEY BOUNDARY
- STRAIGHT LINE LOT FRONTAGE
- 200' SETBACK OF H/W MARK
- 66' SETBACK OF H/W MARK
- BOATHOUSE BUILDING ENVELOPE
- DWELLING/ACCESSORY BUILDING ENVELOPE

RESULTANT LOT AREA STATISTICS		ADDRESS: NO CIVIC ADDRESS		ZONING: WR4	
ROLL #: 445304000705200		LEGAL: LOT 1 & 2 CON 12 MEDORA			
DEFINITION	AREA (ft ²) (m ²)	STRAIGHT LINE FRONTAGE		LOT NICKNAME:	
TOTAL LOT AREA	203,553 ft ² (18,911 m ²)	299.83' (91.39 m)±		LOT #1	
AREA WITHIN 60m OF H/W MARK	90,718.8 ft ² (8,428 m ²)	MAX. CUMULATIVE WIDTH OF SHORELINE STRUCTURES (05%) = 47.5'			
EXISTING STRUCTURES		% COVERAGE	FRONT YARD SETBACK	INT. SIDE YARD SETBACK (W)	INT. SIDE YARD SETBACK (E)
NONE	MAXIMUM AVAILABLE	8.0%			REAR YARD SETBACK
AVAILABLE TOTAL W/IN 200' *	7,257 ft ² (674 m ²)				
AVAILABLE TOTAL ENTIRE LOT	16,284 ft ² (1,513 m ²)				

RESULTANT LOT AREA STATISTICS		ADDRESS: NO CIVIC ADDRESS		ZONING: WR4	
ROLL #: 445304000705201		LEGAL: LOT 1 & 2 CON 11 MEDORA, LOT 1 & 2 CON 12 MEDORA			
DEFINITION	AREA (ft ²) (m ²)	STRAIGHT LINE FRONTAGE		LOT NICKNAME:	
TOTAL LOT AREA	128,018 ft ² (11,893 m ²)	252' (76.8 m)±		LOT #2	
AREA WITHIN 60m OF H/W MARK	51,699 ft ² (4,803 m ²)	MAX. CUMULATIVE WIDTH OF SHORELINE STRUCTURES (05%) = 37.8'			
EXISTING STRUCTURES		% COVERAGE	FRONT YARD SETBACK	INT. SIDE YARD SETBACK (W)	INT. SIDE YARD SETBACK (E)
CABIN	336 ft ² (31 m ²)				REAR YARD SETBACK
EXISTING TOTAL W/IN 200' *	336 ft ² (31 m ²)	0.6%			
EXISTING TOTAL ENTIRE LOT	336 ft ² (31 m ²)	0.26%			
AVAILABLE TOTAL W/IN 200' *	4,136 ft ² (384 m ²)	8%			
AVAILABLE TOTAL ENTIRE LOT	10,242 ft ² (951 m ²)	8%			

RESULTANT LOT AREA STATISTICS		ADDRESS: 1117 BUCKEYE RD., UNIT #4		ZONING: WR4	
ROLL #: 445304000705202		LEGAL: LOT 1 CON 11 MEDORA LOT 1 CON 12 MEDORA			
DEFINITION	AREA (ft ²) (m ²)	STRAIGHT LINE FRONTAGE		LOT NICKNAME:	
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AREA WITHIN 60m OF H/W MARK	88,571 ft ² (8,228.6 m ²)	MAX. CUMULATIVE WIDTH OF SHORELINE STRUCTURES (05%) = 58.5'			
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CABIN #1	408 ft ² (38 m ²)		??' (??m)±	??' (??m)±	??' (??m)±
CABIN #2	387.5 ft ² (36 m ²)		??' (??m)±	??' (??m)±	??' (??m)±
SHED	256 ft ² (23 m ²)		??' (??m)±	??' (??m)±	??' (??m)±
BOATHOUSE	400 ft ² (37 m ²)				
EXISTING TOTAL W/IN 200' *	3,851.5 ft ² (357 m ²)	4.3%			
EXISTING TOTAL ENTIRE LOT	3,851.5 ft ² (357 m ²)	3.6%			
TOTAL AVAILABLE ENTIRE LOT	8,671 ft ² (805 m ²)	8.0%			
TOTAL AVAILABLE W/IN 200' H/W	7,085 ft ² (658 m ²)	8.0%			

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 MACTIER, ON POC.1HO
 TOWNSHIP OF MUSKOKA LAKES

REV.	DESCRIPTION	DATE
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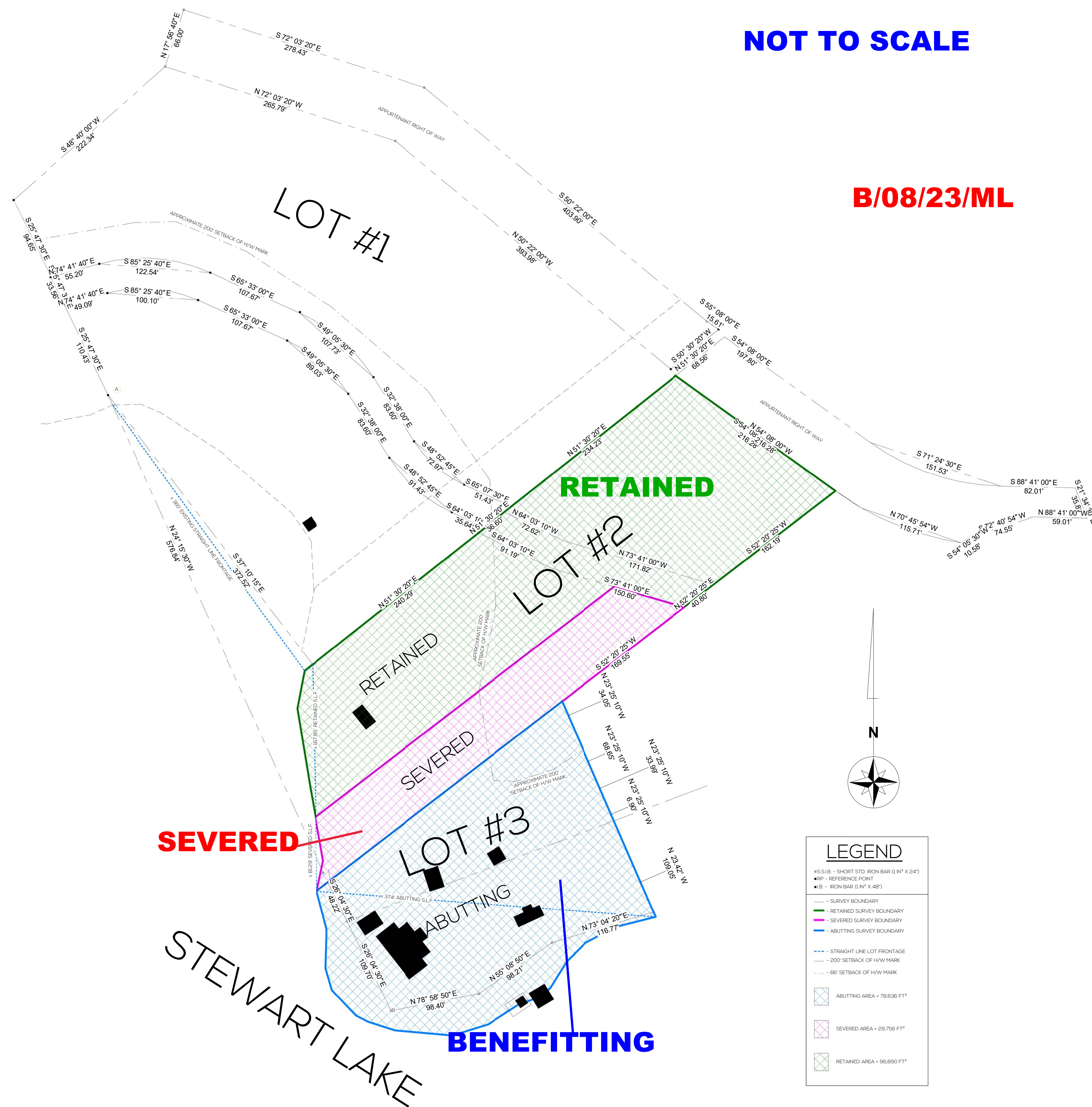
SITE PLAN - RESULTANT

P/N 22-255-01
 Project Date SEPT 2022
 Drawn / Checked RMD / NdK

SP2.0
 Scale As indicated

NOT TO SCALE

B/08/23/ML



1117 BUCKEYE RD.
1117 BUCKEYE RD.
MACTIER, ON POC 1HO
TOWNSHIP OF MUSKOKA LAKES

Client:
VICTOR D'SOUZA

REV.	DESCRIPTION	DATE
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1	REVIEW	2022.09.20
2	REVIEW	2022.09.29
3	REVIEW	2022.10.19
4	REVIEW	2023.02.07
5	REVIEW	2023.03.21
6	REVIEW	2023.04.14

PROPOSED SEVERANCE #1

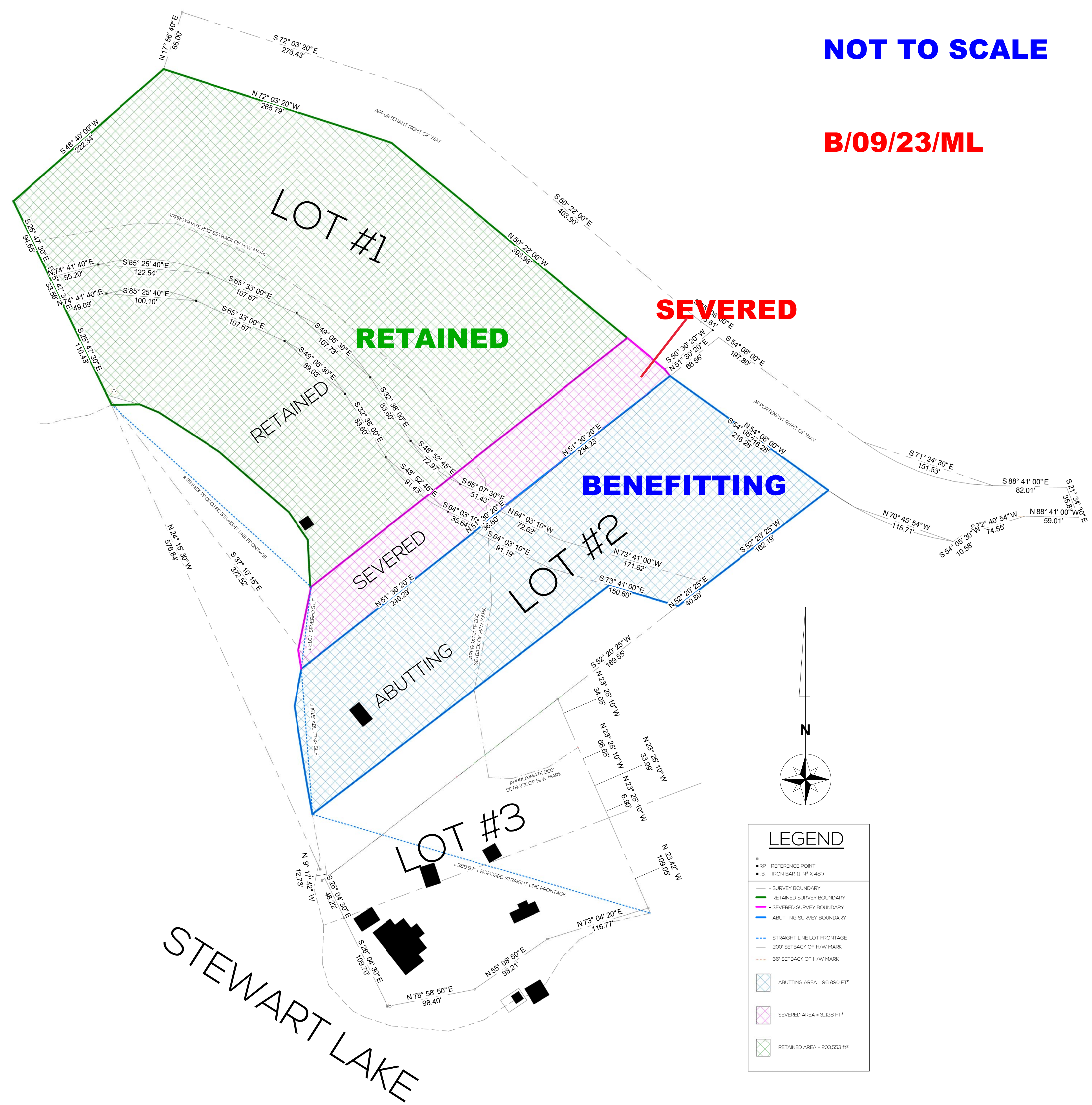
P/N 22-255-01
Project Date SEPT 2022
Drawn / Checked RMD / NdK

SP3.0
Scale As indicated

DESIGNSET: 2022.09.15

NOT TO SCALE

B/09/23/ML



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REV.	DESCRIPTION	DATE
1	REVIEW	2022.09.20
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5	REVIEW	2023.03.21
6	REVIEW	2023.04.14

PROPOSED SEVERANCE #2

P/N: 22-255-01
Project Date: SEPT 2022
Drawn / Checked: RMD / NdK

SP4.0
Scale: As indicated

DESIGNSET: 2022.09.15