



Box 129, Port Carling, ON, POB 1JO
Telephone (705) 765-3156
Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

COMMITTEE OF ADJUSTMENT

FILE # A-11-23
ROLL # 7-3-037

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

Planning Act, R.S.O., 1990, c.P.13,45(5), R.R.O., 1980, Reg. 787

APPLICATION MADE BY: Peter Ringler and Marie-Claude Morrissette, 4271 Taywood Drive, Burlington, ON L7M 4V1

LOCATION OF PROPERTY: Part Lot 35, Concession 7, Lots 15 and 15A, Plan M-16 (Wood), Civic Address: 1034 Centre Avenue, Unit #1, Zoning Schedule: 41

EXPLANATION OF THE PURPOSE AND EFFECT: The subject property is zoned Waterfront Residential (WR5) and is located on a Category 2 River (Moon River).

The applicants propose to construct a second storey dwelling addition and a two storey garage with a storage area in the upper level.

Relief is requested from Section 4.1.3 and 4.1.3.6 of By-law 2014-14, as amended, being the maximum permitted coverage of buildings (lot coverage) on a lot on a Category 2 River. The maximum permitted lot coverage of buildings on a lot is 8%. In this case, the lot area is 44,430 square feet. Therefore, the maximum permitted lot coverage on the lot is 3,554 square feet. The coverage of existing and proposed buildings on the lot is 3,815 square feet or 8.6%. The requested variance is 261 square feet or 0.6%.

Relief is also requested from Section 4.1.3.6 and 4.1.3.7 of By-law 2014-14, as amended, being the maximum permitted coverage of buildings (lot coverage) on a lot within 200 feet from the high water mark on a Category 2 River. The maximum permitted lot coverage of buildings within 200 feet from the high water mark is 8%. In this case, the lot area within 200 feet from the high water mark is 43,375 square feet. Therefore, the maximum permitted lot coverage within 200 feet from the high water mark is 3,470 square feet. The coverage of existing and proposed buildings within 200 feet from the high water mark is 3,815 square feet or 8.8%. The requested variance is 345 square feet or 0.8%.

Relief is also requested from Sections 4.1.3 and 4.1.3.5 of By-law 2014-14, as amended, being the minimum front yard setback requirement for a dwelling addition. In this case, the required front yard setback is the front yard setback of the existing dwelling or a minimum of 50 feet, whichever is greater. The existing dwelling has a front yard setback of 24 feet (at the closest point), and therefore, the minimum front yard setback requirement is 50 feet. The proposed

dwelling addition is to be set back 24 feet (at the closest point) from the front lot line/high water mark. The requested variance is 26 feet.

NOTICE: This notice has been sent to you for your information and does not require any response unless you wish to make one. The above noted application will be heard by the Committee of Adjustment on the date and at the time shown below.

DATE: May 8, 2023

TIME: 9:00 A.M.

TAKE FURTHER NOTICE THAT this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wishing to attend in person. **The hearing will be held in the Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM hearing is included in this Notice and can be found on our website at www.muskokalakes.ca.

PUBLIC HEARING: You or your representative are entitled to participate in this public hearing and make verbal representation by participating in person, in the ZOOM hearing, and/or make written representation prior to the meeting. This representation can be in support of or in opposition to the proposed Consent. If you wish to make written comments on this application they may be forwarded to the Secretary - Treasurer at the email address shown below.

Members of the public may also observe the proceedings by accessing the live webcast at: www.muskokalakes.ca If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

ADDITIONAL INFORMATION: There may be additional information relating to the proposed variance application available from staff of the Planning Department through the email address below on week days between 8:15 a.m. and 4 p.m. or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0. Telephone: (705)765-3156 or FAX (705)765-6755. Please email any submissions or requests to: planning@muskokalakes.ca Please quote the Committee's file number noted above.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

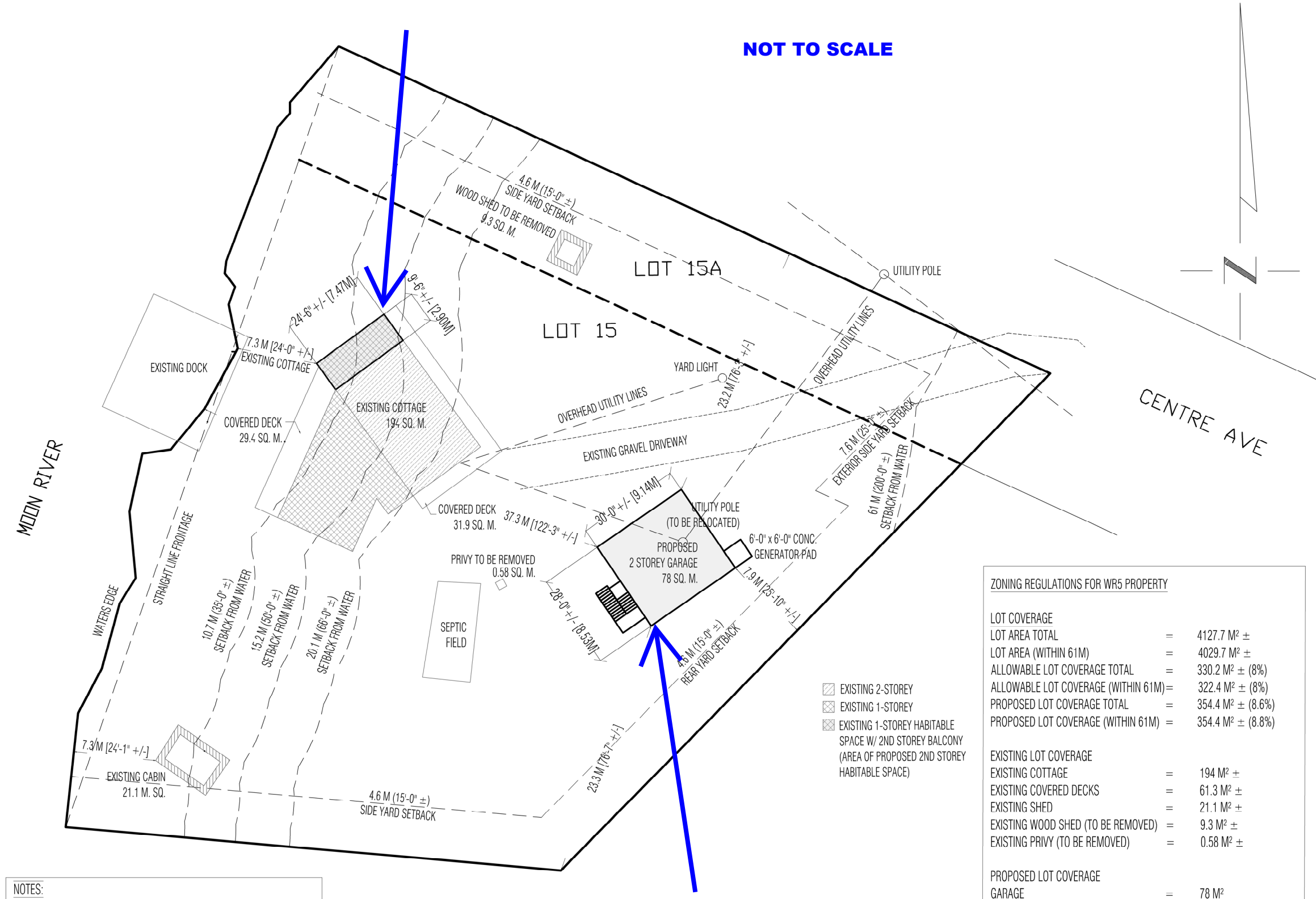
NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 26th day of April, 2023.

"Original Signed by R. Mulholland"
Rachel Mulholland
Acting Secretary-Treasurer
Committee of Adjustment

NOT TO SCALE



NOTES:
DRAWING IS FOR REFERENCE ONLY; THE MEASUREMENTS PROVIDED ARE BASED ON ORIGINAL SURVEY. LOCATIONS OF BUILDINGS AND PATHWAYS MAY HAVE BEEN MODIFIED TO ILLUSTRATE PROPOSED DEVELOPMENT. THIS DOCUMENT HAS NOT BEEN PREPARED BY A REGISTERED ONTARIO LAND SURVEYOR.

- EXISTING 2-STOREY
- EXISTING 1-STOREY
- EXISTING 1-STOREY HABITABLE SPACE W/ 2ND STOREY BALCONY (AREA OF PROPOSED 2ND STOREY HABITABLE SPACE)

ZONING REGULATIONS FOR WR5 PROPERTY

LOT COVERAGE		
LOT AREA TOTAL	=	4127.7 M ² ±
LOT AREA (WITHIN 61M)	=	4029.7 M ² ±
ALLOWABLE LOT COVERAGE TOTAL	=	330.2 M ² ± (8%)
ALLOWABLE LOT COVERAGE (WITHIN 61M)	=	322.4 M ² ± (8%)
PROPOSED LOT COVERAGE TOTAL	=	354.4 M ² ± (8.6%)
PROPOSED LOT COVERAGE (WITHIN 61M)	=	354.4 M ² ± (8.8%)
EXISTING LOT COVERAGE		
EXISTING COTTAGE	=	194 M ² ±
EXISTING COVERED DECKS	=	61.3 M ² ±
EXISTING SHED	=	21.1 M ² ±
EXISTING WOOD SHED (TO BE REMOVED)	=	9.3 M ² ±
EXISTING PRIVY (TO BE REMOVED)	=	0.58 M ² ±
PROPOSED LOT COVERAGE		
GARAGE	=	78 M ²
SETBACKS		
SIDE YARD SETBACK	=	4.6 M
REAR YARD SETBACK	=	4.6 M
FRONT YARD (SHORELINE) SETBACK	=	20.1 M
STRAIGHT LINE FRONTAGE	=	91.4 M



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REVISIONS		
#	Description	Date

RINGLER NEW GARAGE SITE PLAN

Address: 1034-1 CENTRE AVE
BALA, ONTARIO

Project Number: 22-104

Date: APRIL 18, 2023

Drawn By: K.M.B.

SP-0

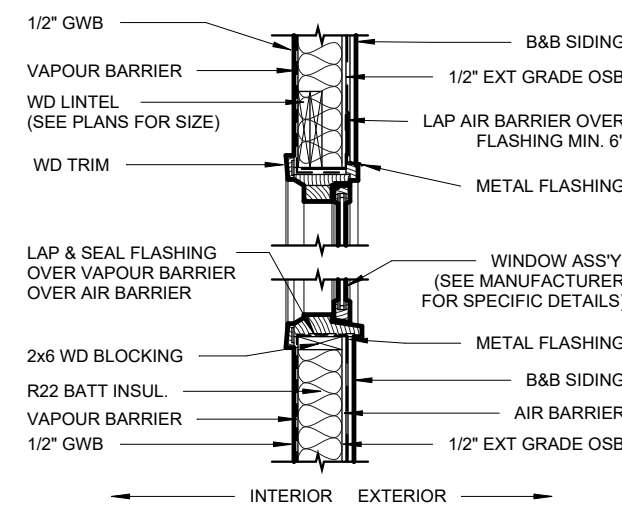
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NOT TO SCALE

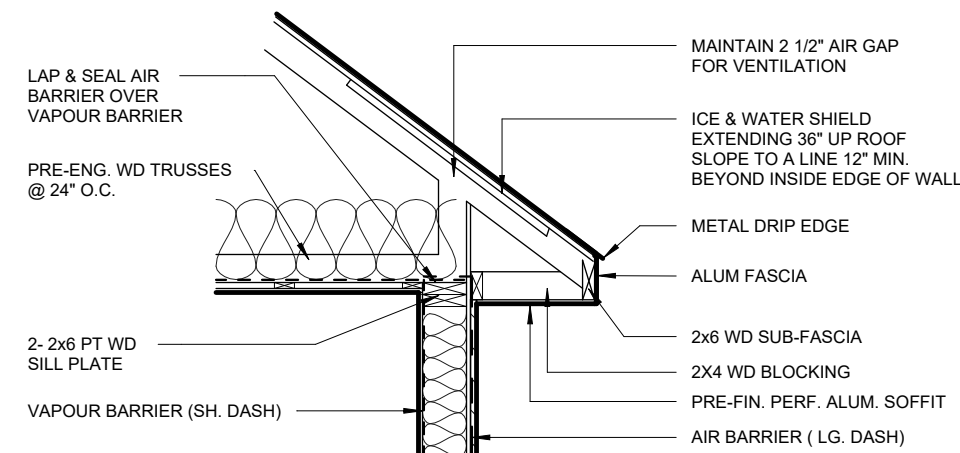
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③ WINDOW SECTION
1/2" = 1'-0"



④ EAVE DETAIL - TRUSS
1/2" = 1'-0"

WALL SCHEDULE	
NO.	DESCRIPTION
P1	1/2" GWB 2x4 WD STUDS @ 16" O.C. 1/2" GWB
P2	1/2" GWB 2x4 WD STUDS @ 16" O.C.
W1	CONC PARGING (ABOVE GRADE) 6" ICF W/ REINFORCEMENT AS PER DETAIL
W2	B&B SIDING AIR BARRIER 1/2" EXT. GR. OSB WALL SHEATHING 2x6 WD STUDS @ 16" O.C. R22 BATT INSUL VAPOUR BARRIER 1/2" GWB

LINTEL SCHEDULE		
NO.	DESCRIPTION	QTY
L0	LVL SPECIFIED BY MANUFACTURER AND/OR ENGINEER	1
L1	2- 2x6 SPF#1/2	11
L2	2- 2x8 SPF#1/2	2

SYMBOLS:

- SA SMOKE/STROBE/CARBON MONOXIDE
- EX EXHAUST FAN

DESIGN LOADS:

DATA LOCATION: GRAVENHURST, ON

- SNOW & RAIN LOADS:
 - SNOW: 2.7 kPa (56.39 PSF)
 - RAIN: 0.4 kPa (8.4 PSF)
 - COMPOSITE: 1.9 kPa (40.00 PSF)
 - HOURLY WIND PRESSURE:
 - 1/10: 0.28 kPa
 - 1/50: 0.36 kPa
 - ROOF LOADS:
 - DEAD: 0.57 kPa (12 PSF)
 - SNOW: 2.0 kPa (41.67 PSF)
 - 1ST FLOOR LOADS:
 - DEAD: 0.72 kPa (15 PSF)
 - LIVE: 1.92 kPa (40 PSF)
 - BASEMENT LOADS:
 - DEAD: 2.4 kPa (50 PSF)
 - LIVE: 1.9 kPa (40 PSF)
 - BEARING CAPACITY 150 kPa (3130 PSF) ASSUMED
- NOTE: CONTRACTOR TO VERIFY BEARING CAPACITY

NOTES:

- DO NOT SCALE DRAWING.
- ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
- ALL DIMENSIONS ARE TAKEN FROM BLOCK FACE, FOUNDATION FACE, STUD FACE, DECK FACE, COLUMN FACE OR COLUMN CENTERLINE.
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- ALL DRAWINGS ARE PROPERTY OF DUE NORTH DESIGN & DRAFTING INC. AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

1ST FLOOR: 840 SQ. FT.
LOFT: 650 SQ. FT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS TO MEET THE REQUIREMENTS PER SUBSECTION 3.2.4. OF DIVISION C. OF THE ONTARIO BUILDING CODE.

ISSUED FOR PERMIT

Jessica Allen
DUE NORTH DESIGN & DRAFTING IN 117244

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR CLIENT REVIEW	FEB 22, 2023
2	ISSUED FOR PERMIT	APRIL 17, 2023

RINGLER

NEW GARAGE

2ND FLOOR PLAN

Address 1034-1 Centre Ave,
Bala, ON

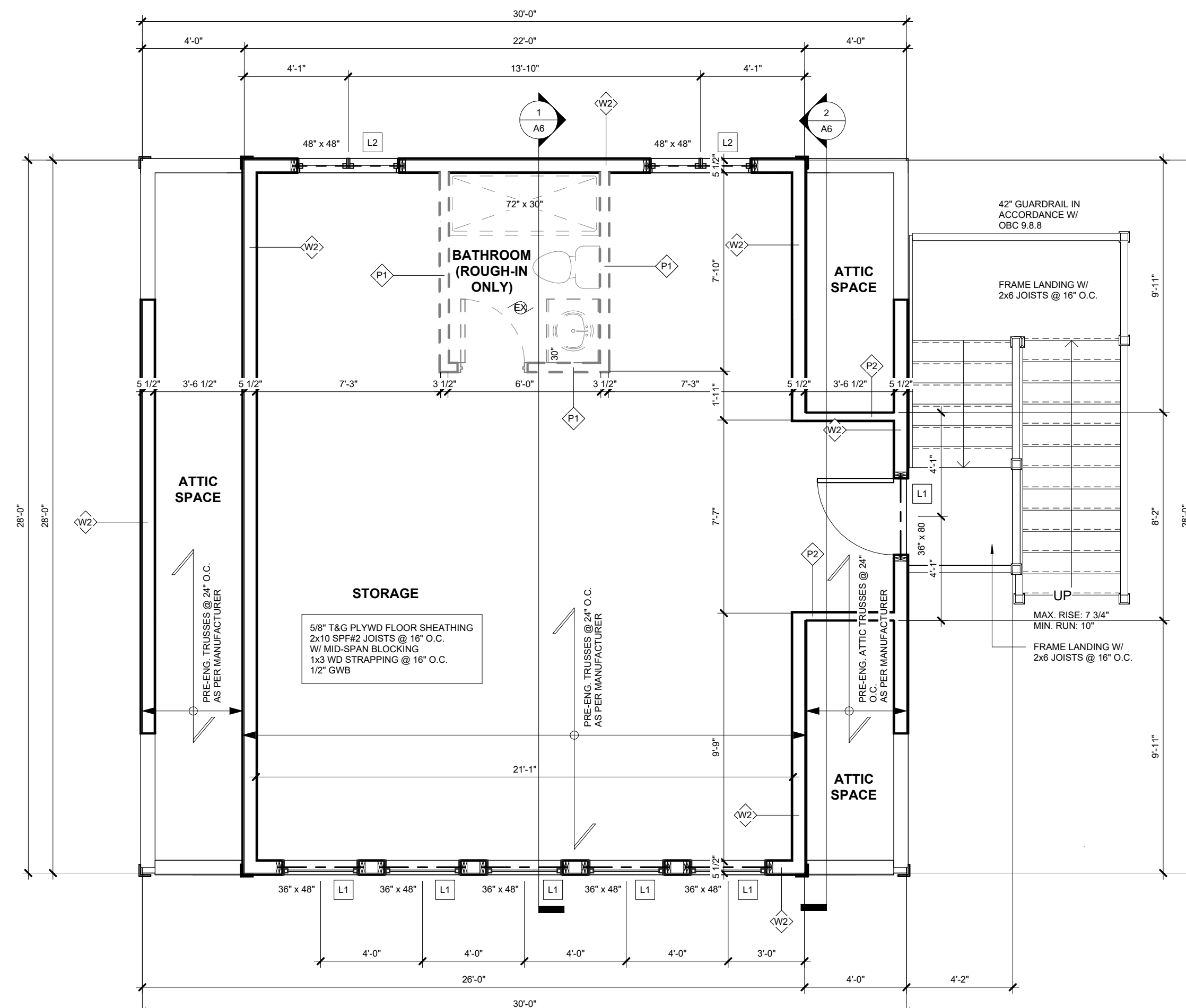
Project Number 22-83

Date APRIL 17, 2023

Drawn by K.M.B.

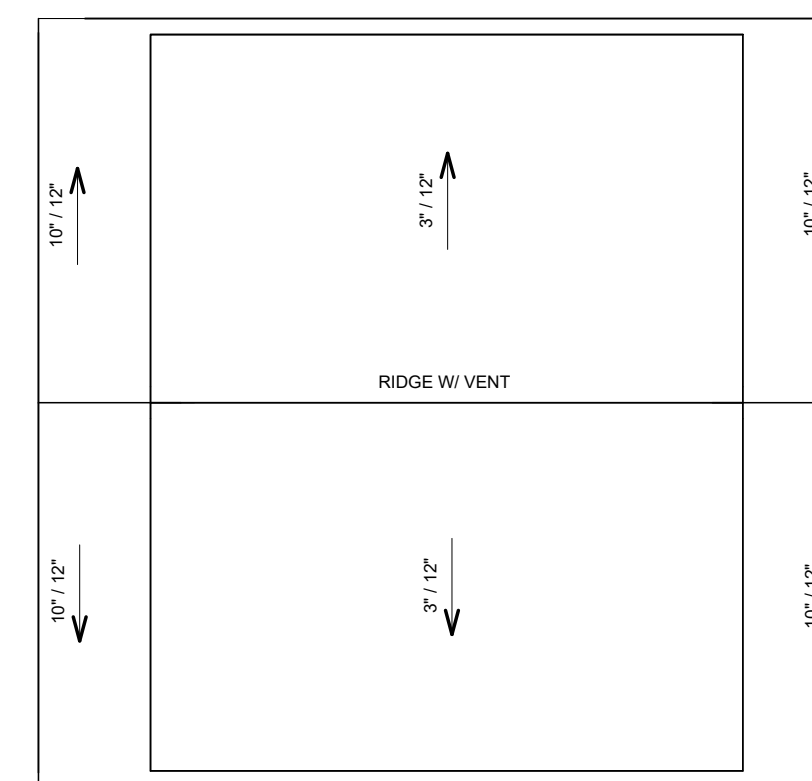
A3

Scale As indicated Rev. 2



① LOFT FLOOR
1/4" = 1'-0"

② ROOF PLAN
1/8" = 1'-0"



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ISSUED FOR PERMIT

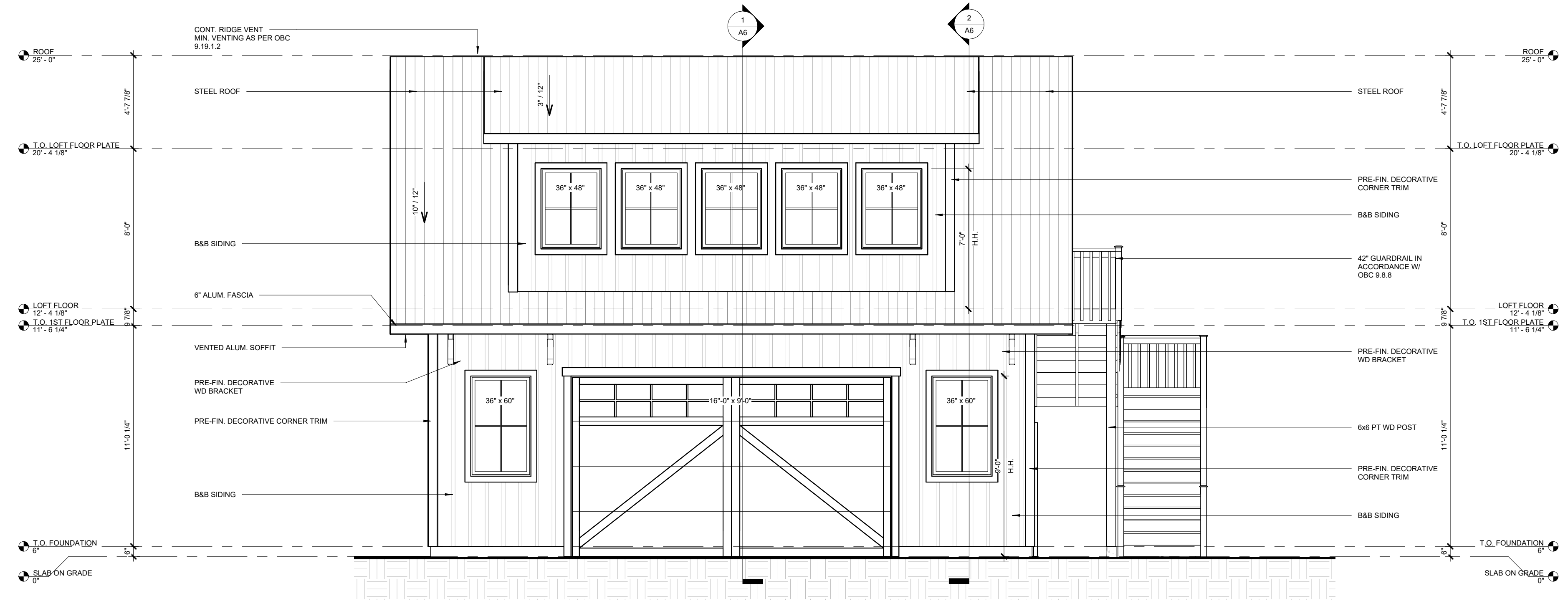
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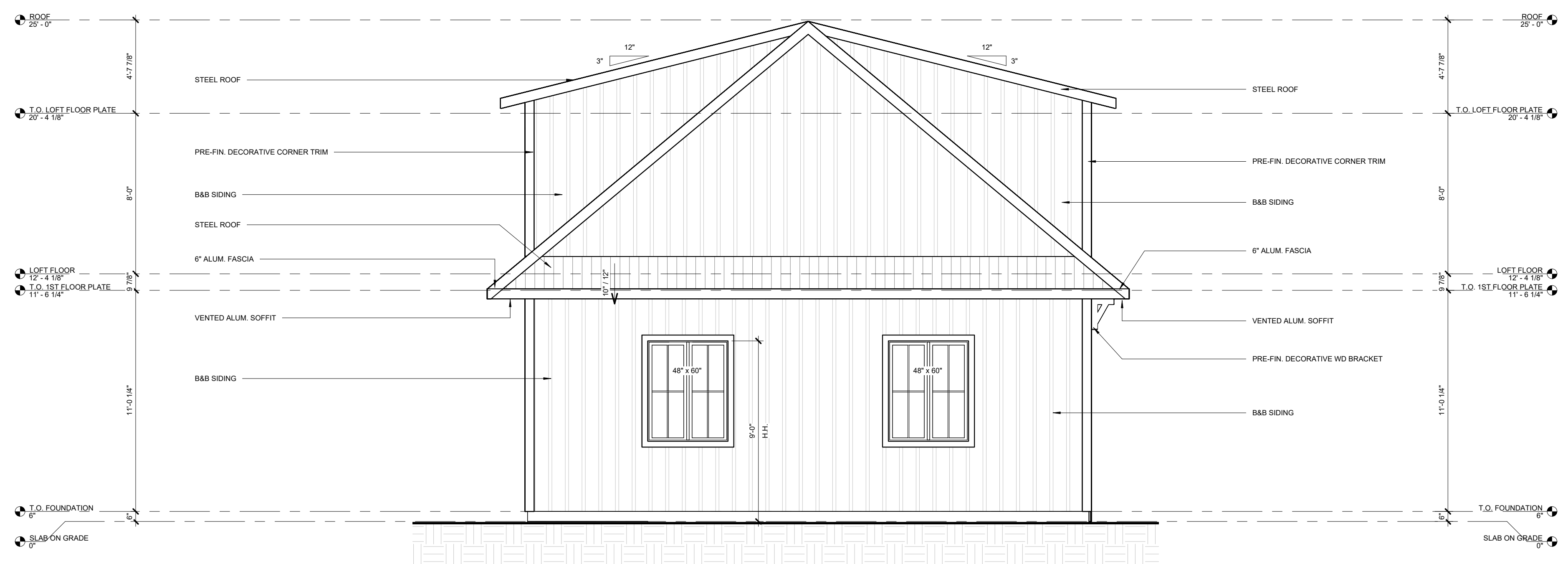
RINGLER
NEW GARAGE
ELEVATIONS

Address 1034-1 Centre Ave, Bala, ON
Project Number 22-83
Date APRIL 17, 2023
Drawn by K.M.B.

A4
Scale 1/4" = 1'-0" Rev. 2



1 FRONT ELEVATION
1/4" = 1'-0"

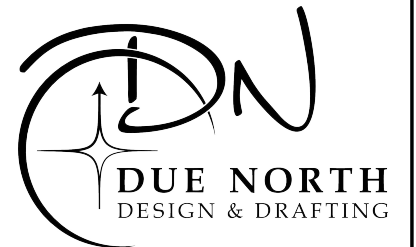


2 LEFT ELEVATION
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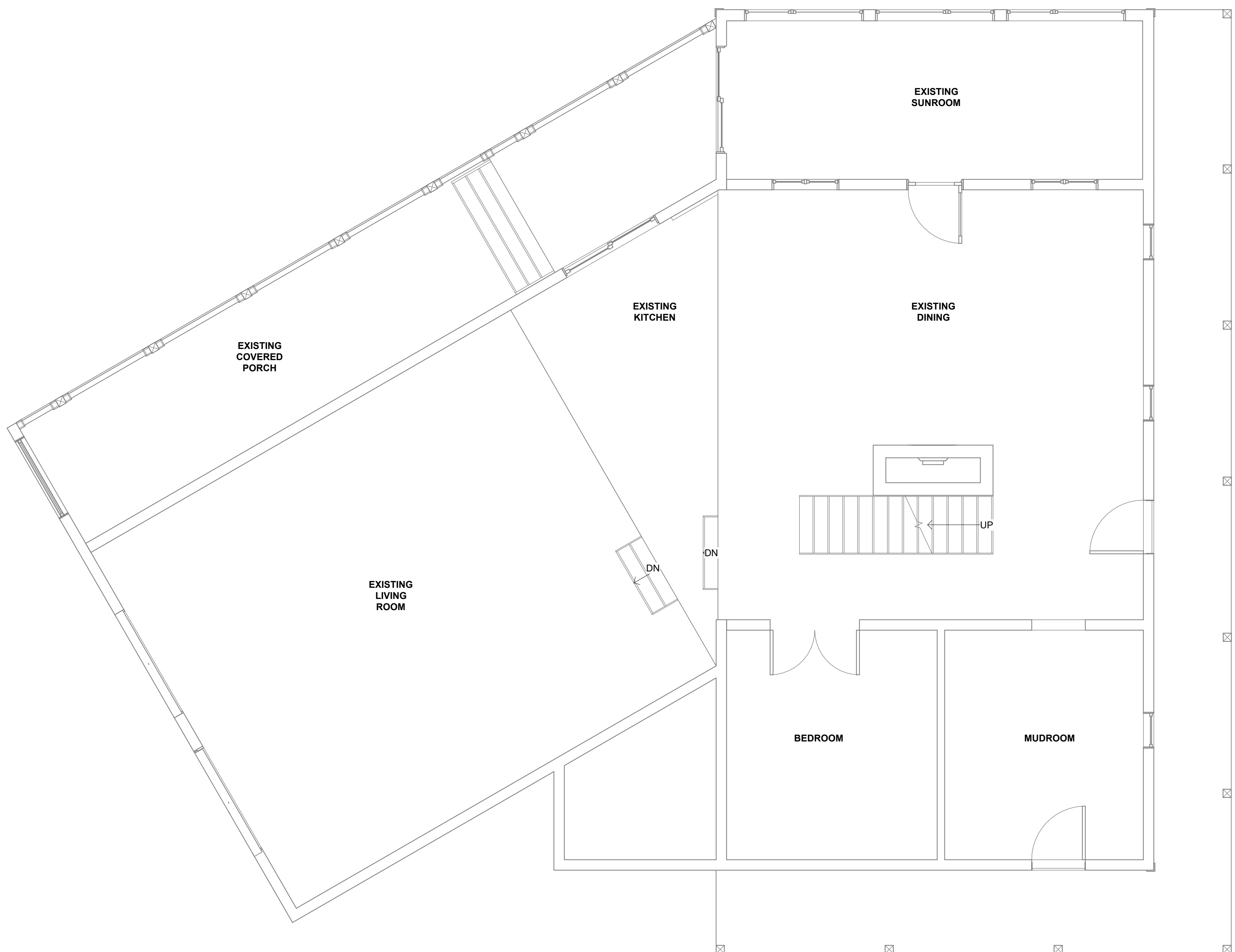


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REVISIONS		
NO.	DESCRIPTION	DATE
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RINGLER

AS-BUILTS

1ST FLOOR PLAN

Address 1034-1 Centre Ave,
Bala, ON

Project Number 22-104

Date APRIL 17, 2023

Drawn by K.M.B.

A1

Scale 1/4" = 1'-0" Rev. 1

① 1ST FLOOR
1/4" = 1'-0"

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RINGLER

AS-BUILTS

2ND FLOOR PLAN

Address 1034-1 Centre Ave,
Bala, ON

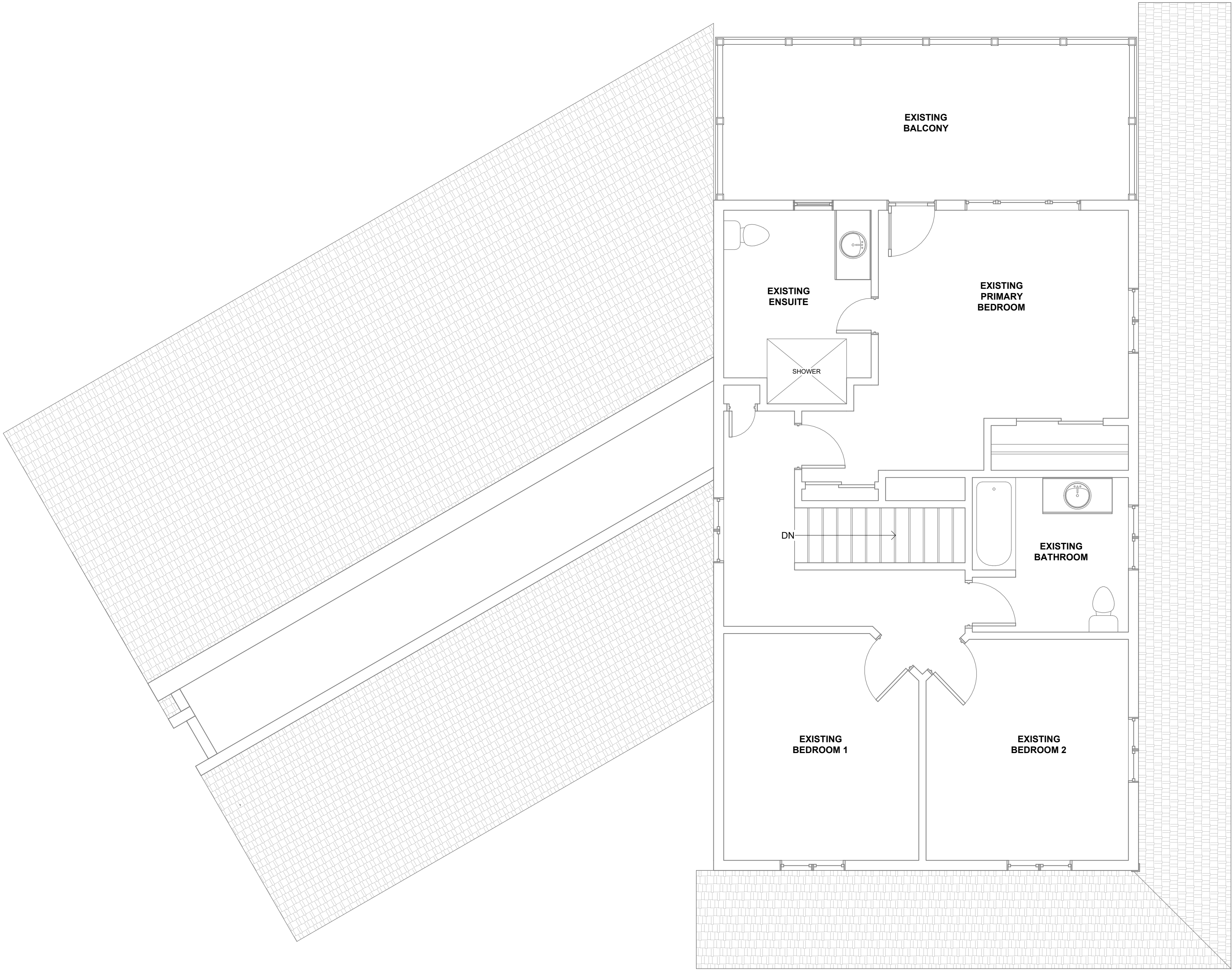
Project Number 22-104

Date APRIL 17, 2023

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A2

Scale 1/4" = 1'-0" Rev. 1



① 2ND FLOOR
1/4" = 1'-0"

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① REAR ELEVATION
 1/4" = 1'-0"



② RIGHT ELEVATION
 1/4" = 1'-0"

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RINGLER

AS-BUILTS

ELEVATIONS

Address 1034-1 Centre Ave,
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Project Number 22-104

Date APRIL 17, 2023

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A3

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REVISIONS

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RINGLER

NEW ADDITION

1ST FLOOR PLAN

Address 1034-1 Centre Ave,
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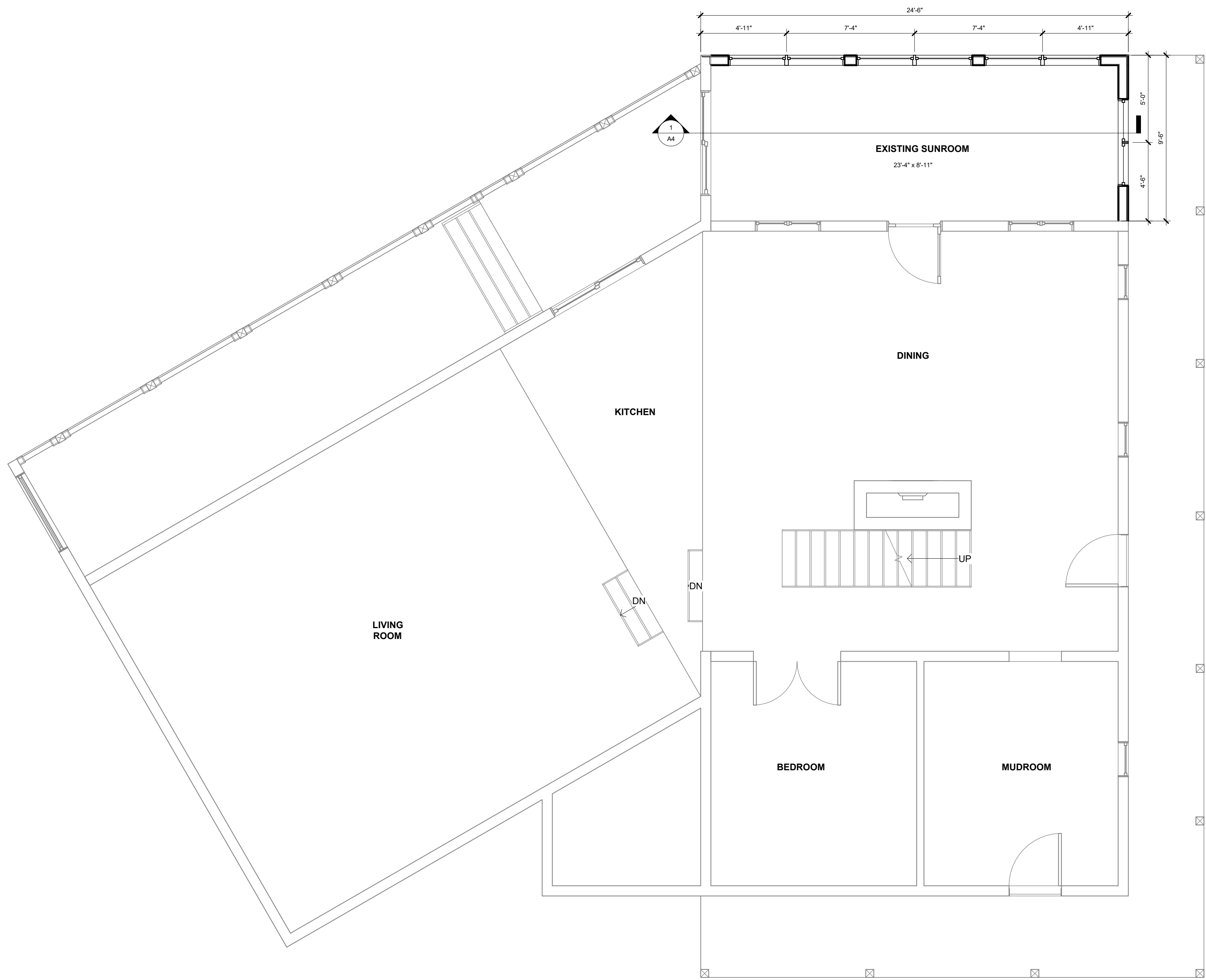
Project Number 22-104

Date FEB. 7, 2023

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A1

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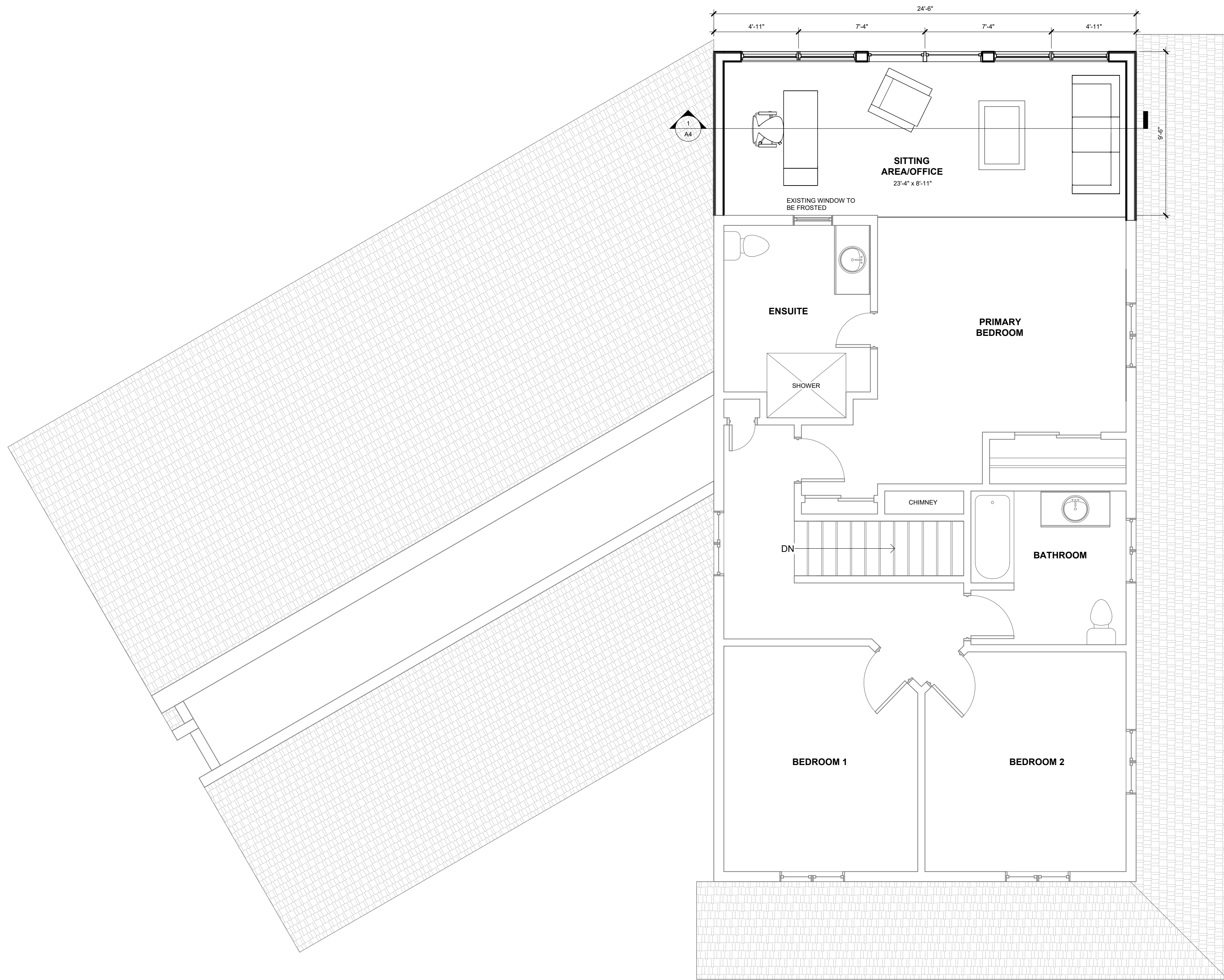
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RINGLER
NEW ADDITION
2ND FLOOR PLAN

Address 1034-1 Centre Ave,
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Project Number 22-104
Date FEB. 7, 2023
Drawn by K.M.B.

A2
Scale 1/4" = 1'-0" Rev. 1

① 2ND FLOOR
1/4" = 1'-0"

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② RIGHT ELEVATION
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