



1 Bailey Street  
Port Carling, ON P0B 1J0

E: [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) P: 705-765-3156 F: 705-765-6755

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

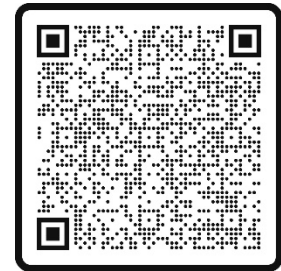
To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-33/24

Roll No.: 2-3-044

<b>Owner:</b>	Corey Franklin, 1411 Windermere Road, Utterson, ON, P0B 1M0		
<b>Address &amp; Description:</b>	1411 Windermere Road Part of Lot 11, Concession 4, (Watt)		
<b>Zoning:</b>	Rural (RU1 and RUR), and Environmental Protection (EP1)	Lake: Not Applicable	Schedule: 24
<b>Hearing Date: Monday, May, 13th, 2024 at 9:00 a.m.</b>			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



### Explanation of the Purpose and Effect:

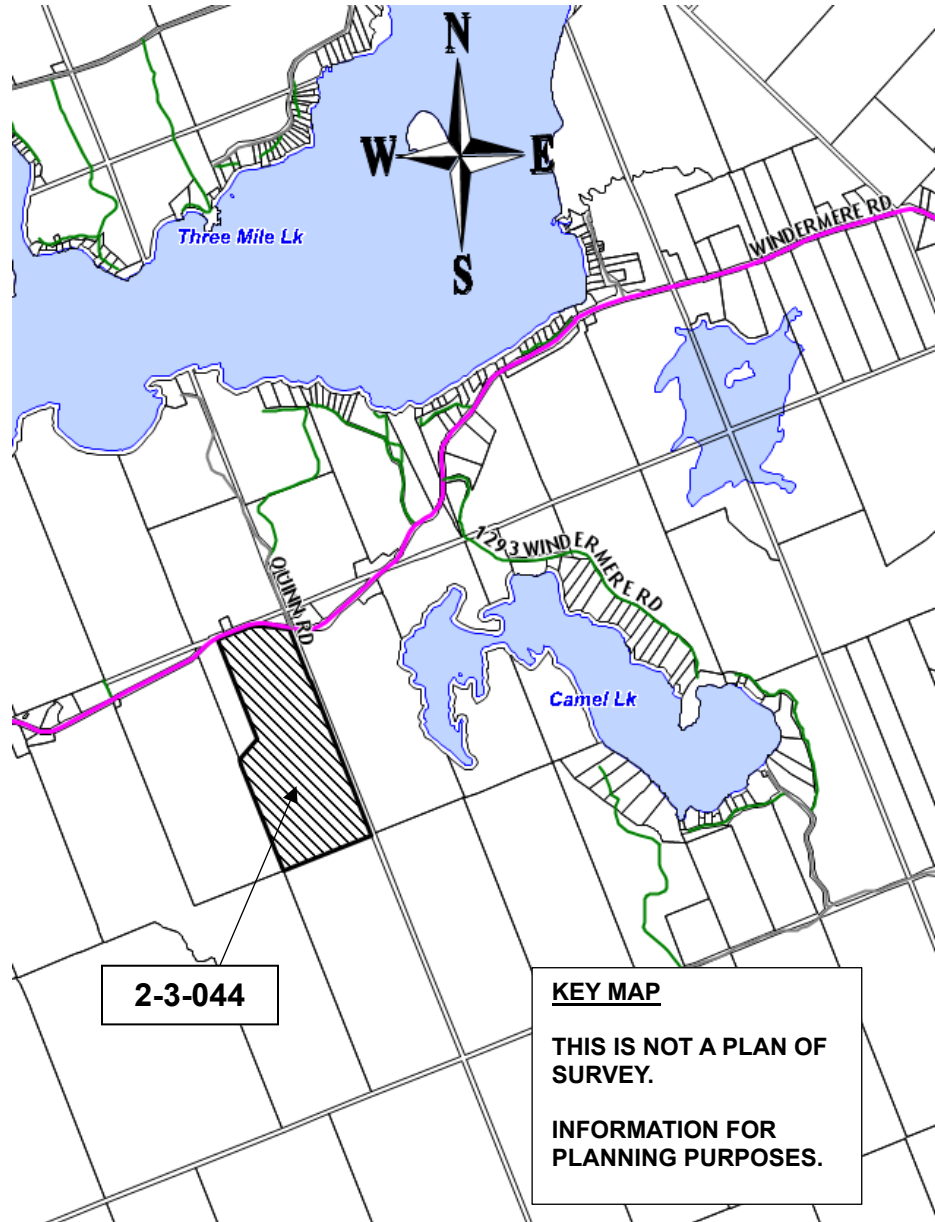
The applicant proposes to construct a workshop/storage building.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	6.1.3	Maximum Accessory Structure Height	20 ft.	24.5 ft.	4.5 ft.

A key map of the subject property and the applicant's site plan and any drawings are included in this notice.



## KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**



## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
this 2<sup>nd</sup> day of May, 2024.

Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)



1411 WINDERMERE RD  
 LOT 11 CON 4 WATT  
 TOWNSHIP OF MUSKOKA LAKES

**SITE PLAN**



ENLARGED [1:300]  
 ON PAGE 2

SITE DATA		1411 WINDERMERE RD 4453 020 003 04400	
LOT .No	LOT 11 CON 4 WATT		
ZONING	RURAL RESIDENTIAL RuR 4		
LOT FRONTAGE	STRAIGHT LINE	186.72 m	612.60 ft
	ALONG PRESENT WATERS EDGE	N/A	N/A
FRONT YARD SETBACK	15.2m (50ft)		
INTERIOR YARD SETBACK	6.1m (20ft)		
EXTERIOR YARD SETBACK	15.2m (50ft)		
REAR YARD SETBACK	6.1m (20ft)		
MAX. BUILD HEIGHT	10.7m (35ft)		
MAX. ACCESSORY			
BUILD HEIGHT	6.1m (20ft)		
LOT AREA	TOTAL LOT AREA	328 023.51m <sup>2</sup>	3 530 815.70ft <sup>2</sup>
	WITHIN 200' OF HIGH WATER MARK	N/A	N/A
EXISTING			
	DWELLING	89.86 m <sup>2</sup>	967.25 ft <sup>2</sup>
	WOOD DECK	28.61 m <sup>2</sup>	308.00 ft <sup>2</sup>
	CONCRETE LANDING & STAIRS	5.57 m <sup>2</sup>	60.00 ft <sup>2</sup>
	GARAGE	40.13 m <sup>2</sup>	432.00 ft <sup>2</sup>
	COVERED STORAGE	15.05 m <sup>2</sup>	162.00 ft <sup>2</sup>
	SHED 1	5.95 m <sup>2</sup>	64.00 ft <sup>2</sup>
	SHED 2	7.43 m <sup>2</sup>	80.00 ft <sup>2</sup>
PROPOSED			
	WORKSHOP & STORAGE	178.37 m <sup>2</sup>	1920.00 ft <sup>2</sup>
TOTAL PROPOSED COVERAGE		336.80 m <sup>2</sup>	3625.25 ft <sup>2</sup>
LOT COVERAGE	EXISTING	0.05 %	
[MAX.5%]	PROPOSED	0.1 %	



SCALE 1 : 3000



**THE PERMIT GUY**

35 COVERED BRIDGE TRAIL  
 BRACEBRIDGE, ON  
 P1L 1Y1

705-644-1167  
 Permits@ThePermitGuy.ca



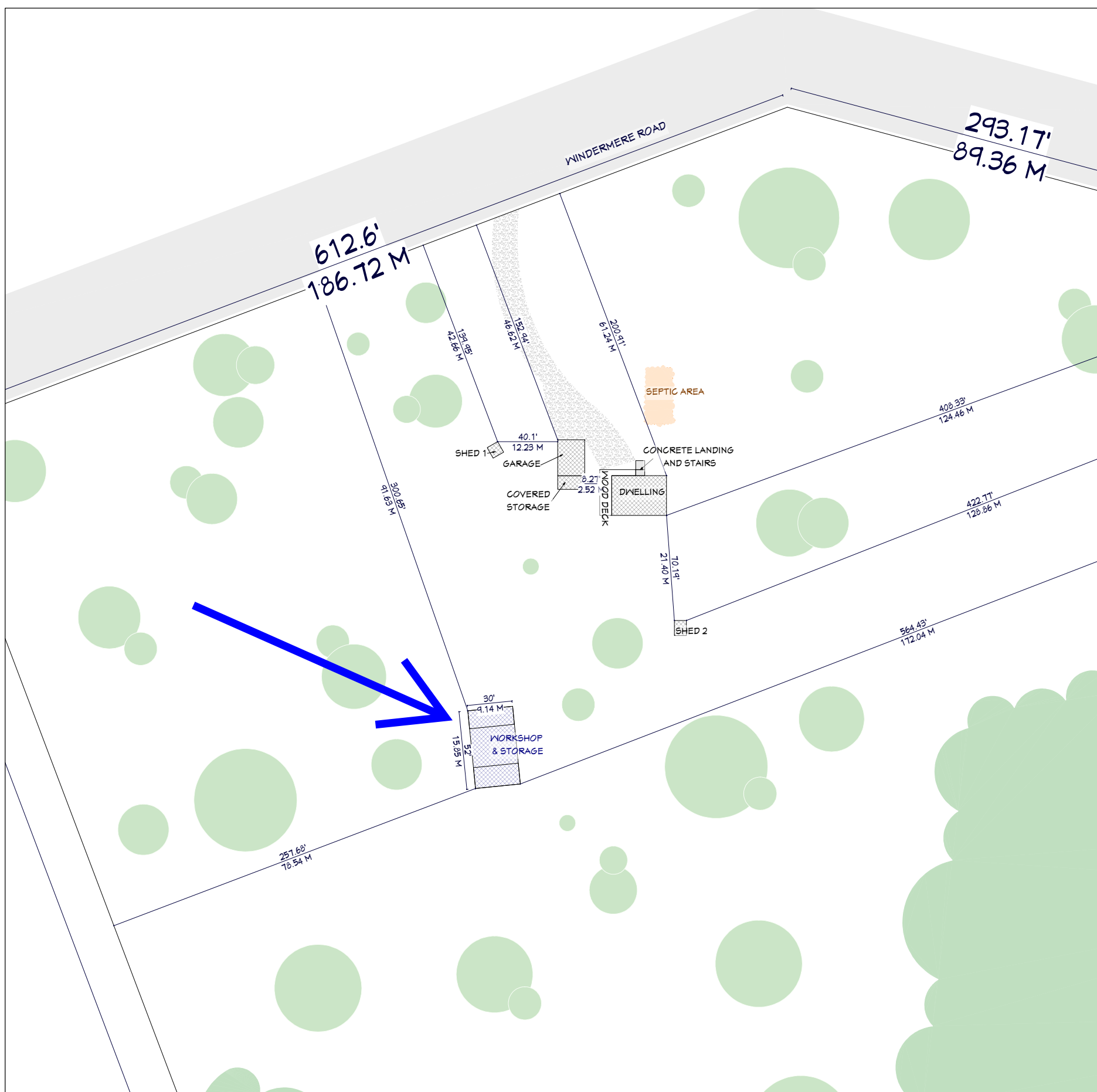
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	PROPOSED	0.1 %	

## SITE PLAN



SCALE 1 : 900



### THE PERMIT GUY

35 COVERED BRIDGE TRAIL  
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 P1L 1Y1

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# 1411 WINDERMERE ROAD TOWNSHIP OF MUSKOKA LAKES



**STANDARD NOTES**

BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWING, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN PART OF ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND MUST CONFORM TO THE 2012 BUILDING CODE.

THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS

ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BY LAWS WHICH MAY TAKE PRECEDENCE

THE PERMIT GUY SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE FINAL CONSTRUCTION DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITION ENCOUNTERED ON THE JOB SITE, AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

**WOOD FRAMING**

- ALL STRUCTURAL FRAMING TO BE S.P.F. No.2 GD, KILN DRIED
- ALL COLUMNS IN FRAMED WALLS TO BE NAILED WELL INTO ADJACENT FRAMING TO RESIST LATERAL MOVEMENT
- PLACE DOUBLE JOIST OR BLOCKING UNDER ALL PARALLEL PARTITIONS OVER 6' LONG
- DIMENSION ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF INTERIOR PARTITIONS UNLESS OTHERWISE NOTED.
- FACE OF EXTERIOR WALL AND FOUNDATION TO BE FLUSH
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 6MIL POLY, SIL GASKET OR OTHER APPROVED METHODS. PLATES TO BE ANCHORED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS AT A MAXIMUM OF 48" O.C. EXTERIOR SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.

**FOUNDATION**

- FOUNDATION LAYOUT SHALL CONFORM WITH FINAL DRAWINGS
- FOUNDATION SHALL BE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE
- FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAY STRENGTH OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION
- ALL STRUCTURAL CONCRETE TO HAVE A MIN. 28 DAY COMPRESSIVE STRENGTH OF 20 MPa, EXCEPT EXTERIOR STEPS, CARPORT & GARAGE FLOORS WHICH REQUIRE 32 MPa AFTER 28 DAYS

**ERRORS AND OMISSIONS**

THE PERMIT GUY MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION

SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT YOUR EARLIEST CONVINCE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE IF NECESSARY

**FLOOR AREAS (ft<sup>2</sup>)**

GARAGE & LOFT	
SINGLE & DOUBLE GARAGE (1ST FLOOR)	1554 ft <sup>2</sup>
CARPORT (1ST FLOOR)	366 ft <sup>2</sup>
BATH & STORAGE LOFT (2ND FLOOR)	374 ft <sup>2</sup>

DECK	
DECK (2ND FLOOR)	48 ft <sup>2</sup>

**GLAZING PERCENTAGE**

TOTAL WALL AREA	2,466 ft <sup>2</sup>
TOTAL GLAZING AREA	217 ft <sup>2</sup>
PERCENTAGE OF GLAZING	8.8%

**ABBREVIATIONS**

ADDN	ADDITION
ALUM.	ALUMINUM
B/O	BY OTHERS
B/U	BUILT UP
CANT	CANTILEVERED
CONC.	CONCRETE
CONTIN.	CONTINUOUS
DEC.	DECORATIVE
D.O.	DITTO
DWG	DRAWINGS
e/s	EACH SIDE
EXT.	EXTERIOR
FDN	FOUNDATION
FTG	FOOTING
INSUL.	INSULATION
INT.	INTERIOR
MANUF.	MANUFACTURER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
P.T.	PRESSURE TREATED
R.O.	ROUGH OPENING
SBFLR	SUBFLOOR
SF	SQUARE FEET
T&G	TONGUE AND GROOVE
TYP.	TYPICAL
U/S	UNDERSIDE OF
W	WITH
WD	WOOD

**ELECTRICAL**

ELECTRICAL LAYOUT SHOWN TO BE USED AS A GUIDE ONLY. ELECTRICAL CONTRACTOR MUST ENSURE THAT DESIGN AND SYSTEMS MEET LOCAL AND NATIONAL CODES.

ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED BETWEEN FLOORS.

INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH LOCAL CODES AND REGULATIONS AND WITH THE LOCAL ELECTRICAL POWER SUPPLIER'S REGULATIONS IN ALL RESPECTS

OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNER'S AND/OR LOCAL AUTHORITY'S REQUIREMENTS.

**INSULATION AND VENTILATION**

ATTIC OR ROOF SPACE TO BE VENTED 1/500 OF AREA. UNHEATED CRAWLSPACES TO BE VENTED A MIN. OF 1/5000 OF AREA WITH CLOSABLE VENTS

6 MIL POLY TO BE INSTALLED ON WARM SIDE OF INSULATION

WALL AND CEILING INSULATION MAY BE LOOSE FILL OR BATT TYPE

PROVIDE Baffle FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE

ALL ROOFS SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE, EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACE AND SOFFIT.

**FINISHING**

ALL MANUFACTURED PRODUCTS ARE TO BE INSTALLED USING THE MANUFACTURER'S BEST PRACTICES PROCEDURES AND/OR INSTALLATION INSTRUCTIONS.

1/2" TYPE X DRYWALL TO BE APPLIED AT GARAGE WALLS ADJACENT TO DWELLING

ALL INTERIOR AND EXTERIOR FINISHING SHALL BE SPECIFIED BY OWNER. ANY FINISHING PLANS SHOWN SHALL BE CONFIRMED BY OWNER.

ALL EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHER-STRIPPED. GARAGE DOORS PROVIDING ACCESS TO DWELLING SHE BE AS ABOVE AND SELF CLOSING

INSTALL FLASHING ON ALL EXTERIOR OPENINGS

ALL EXTERIOR FINISHES TO BE APPLIED WITH GALVANIZED NAILS

ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS

**PRESCRIPTIVE COMPLIANCE PACKAGE A1  
(TABLE 3.1.1.2.A)**

CEILING WITH ATTIC SPACE MIN. R5I	60
CEILING WITHOUT ATTIC SPACE MIN. R5I	31
EXPOSED FLOOR MIN. R5I	31
WALLS ABOVE GRADE MIN. R5I	22
BASEMENT WALLS MIN. R5I	20
HEATED SLAB OR SLAB <=600mm	
BELOW GRADE MIN. R5I	10
WINDOWS & SLIDING GLASS DOORS MAX U	0.28
SKYLIGHTS MAX U	0.49
SPACE HEATING EQUIPMENT MIN. AFUE	96%
HRV MIN SRE	75%
DOMESTIC HOT WATER HEATER MMIN EF	0.8

**CLIMATIC & DESIGN LOAD DATA**

LOCATION:	GRAYENHURST
<b>ROOF LOADING:</b>	
GROUND SNOW LOAD (S <sub>s</sub> ):	3.1 kPa (64.74 psf)
RAIN LOAD (S <sub>r</sub> ):	0.4 kPa (8.35 psf)
SNOW LOAD FACTOR (C <sub>b</sub> ):	0.95
ROOF DESIGN SNOW LOAD:	2.11 kPa (43.96 psf)
ROOF & CEILING DESIGN DEAD LOAD:	0.51 kPa (12.0 psf)
<b>STRUCTURE LOADING:</b>	
GROUND & SECOND FLOOR FLOOR/CEILING DESIGN DEAD LOAD:	1.42 kPa (40.0 psf)
	0.72 kPa (15.0 psf)
<b>WIND LOADING:</b>	
150 WIND PRESSURE:	0.35 kPa (1.31 psf)
110 WIND PRESSURE:	0.27 kPa (5.64 psf)
<b>TEMPERATURE:</b>	
DEGREE DAYS BELOW 18 DEGREES C:	4500
<b>SOIL:</b>	
ASSUMED ALLOWABLE BEARING PRESSURE AT FOOTING FOUNDING ELEVATIONS	75 kPa (1566 psf)
<b>ROCK:</b>	
	500 kPa (10,443 psf)

THE DESIGN DEAD LOADS SPECIFIED ABOVE ARE BASED ON THE DRAWINGS AND MATERIALS EITHER SPECIFIED OR ASSUMED. WHERE DIFFERENT OR HEAVIER MATERIALS ARE PROPOSED THE CONTRACTOR SHALL NOTIFY THE DESIGNER PRIOR TO CONSTRUCTION OF ANY LOAD-BEARING ELEMENTS THAT MAY BE ADVERSELY AFFECTED.

FOR INFORMATIONAL PURPOSES

**GENERAL NOTES**

1. DO NOT SCALE DRAWINGS
  2. These plans shall be considered "NOT FOR CONSTRUCTION" unless they have been approved by the local building department.
  3. All measurements to be checked and confirmed by contractor prior to construction. Any discrepancies should be reported.
  4. All construction shall comply with Local Building Authorities
- This drawing is not to be reproduced, used to produce products or services.

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	COVER PAGE
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A2	GARAGE PLAN
A3	LOFT PLAN
A4	ELEVATION
A5	ELEVATION
A6	SECTION & DETAILS
A7	SECTION & DETAILS
S1	FLOOR FRAMING
S2	ROOF FRAMING
E1	ELECTRICAL PLAN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5 of Division C of the Building Code.

ADAM LENNIE *A. Lennie* 18995  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Design is exempt under 3.2.4 of Division C of the Building Code.

THE PERMIT GUY 47308  
FIRM NAME BCIN

DRAWING TITLE: COVER PAGE

CLIENT: FRANKLIN

PROJECT: PERMIT SHOP DRAWINGS

SITE LOCATION: 1411 WINDERMERE ROAD

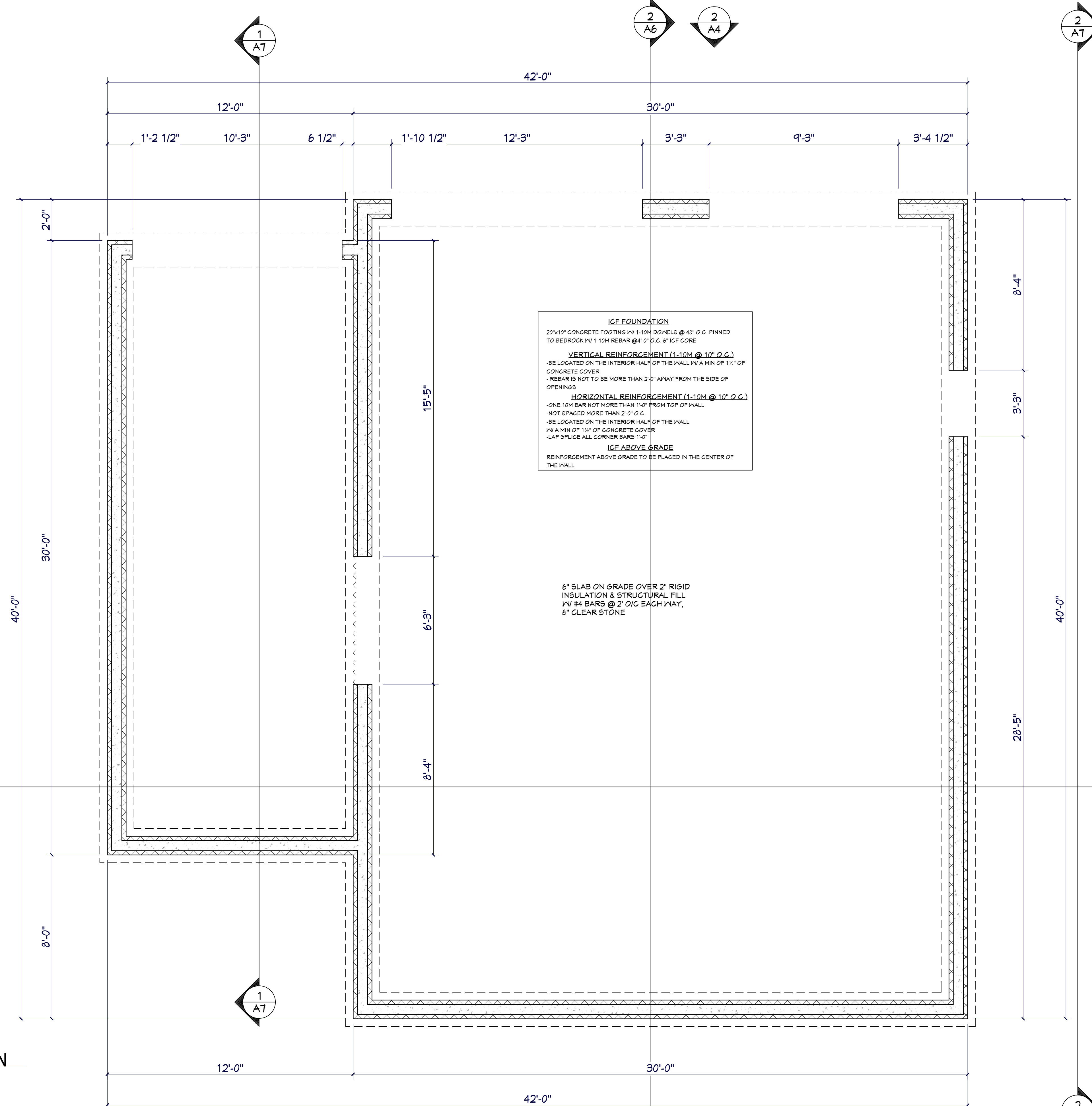
THE PERMIT GUY  
35 COVERED BRIDGE TRAIL  
BRACEBRIDGE, ON  
PIL 1Y1

705-644-1167  
Permits@ThePermitGuy.ca

DRAWN BY: A. LENNIE II. BCIN 18995/47308

January 2, 2024 PAGE NO.





**ICF FOUNDATION**  
 20"x10" CONCRETE FOOTING W/ 1-10M DONNELLS @ 48" O.C. PINNED TO BEDROCK W/ 1-10M REBAR @ 4'-0" O.C. 6" ICF CORE

**VERTICAL REINFORCEMENT (1-10M @ 10" O.C.)**  
 - BE LOCATED ON THE INTERIOR HALF OF THE WALL W/ A MIN OF 1 1/2" OF CONCRETE COVER  
 - REBAR IS NOT TO BE MORE THAN 2'-0" AWAY FROM THE SIDE OF OPENINGS

**HORIZONTAL REINFORCEMENT (1-10M @ 10" O.C.)**  
 - ONE 10M BAR NOT MORE THAN 1'-0" FROM TOP OF WALL  
 - NOT SPACED MORE THAN 2'-0" O.C.  
 - BE LOCATED ON THE INTERIOR HALF OF THE WALL W/ A MIN OF 1 1/2" OF CONCRETE COVER  
 - LAP SPLICE ALL CORNER BARS 1'-0"

**ICF ABOVE GRADE**  
 REINFORCEMENT ABOVE GRADE TO BE PLACED IN THE CENTER OF THE WALL

6" SLAB ON GRADE OVER 2" RIGID INSULATION & STRUCTURAL FILL W/ #4 BARS @ 2' O/C EACH WAY, 6" CLEAR STONE

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 NAME SIGNATURE BCIN

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THE PERMIT GUY 47308  
 FIRM NAME BCIN

**DRAWING TITLE:** BASEMENT PLAN

**CLIENT:** FRANKLIN

**PROJECT:** PERMIT SHOP DRAWINGS

**SITE LOCATION:** 1411 WINDERMERE ROAD

**THE PERMIT GUY**  
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 705-644-1167  
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**DRAWN BY:** A. LENNIE II. BCIN 18995/47308



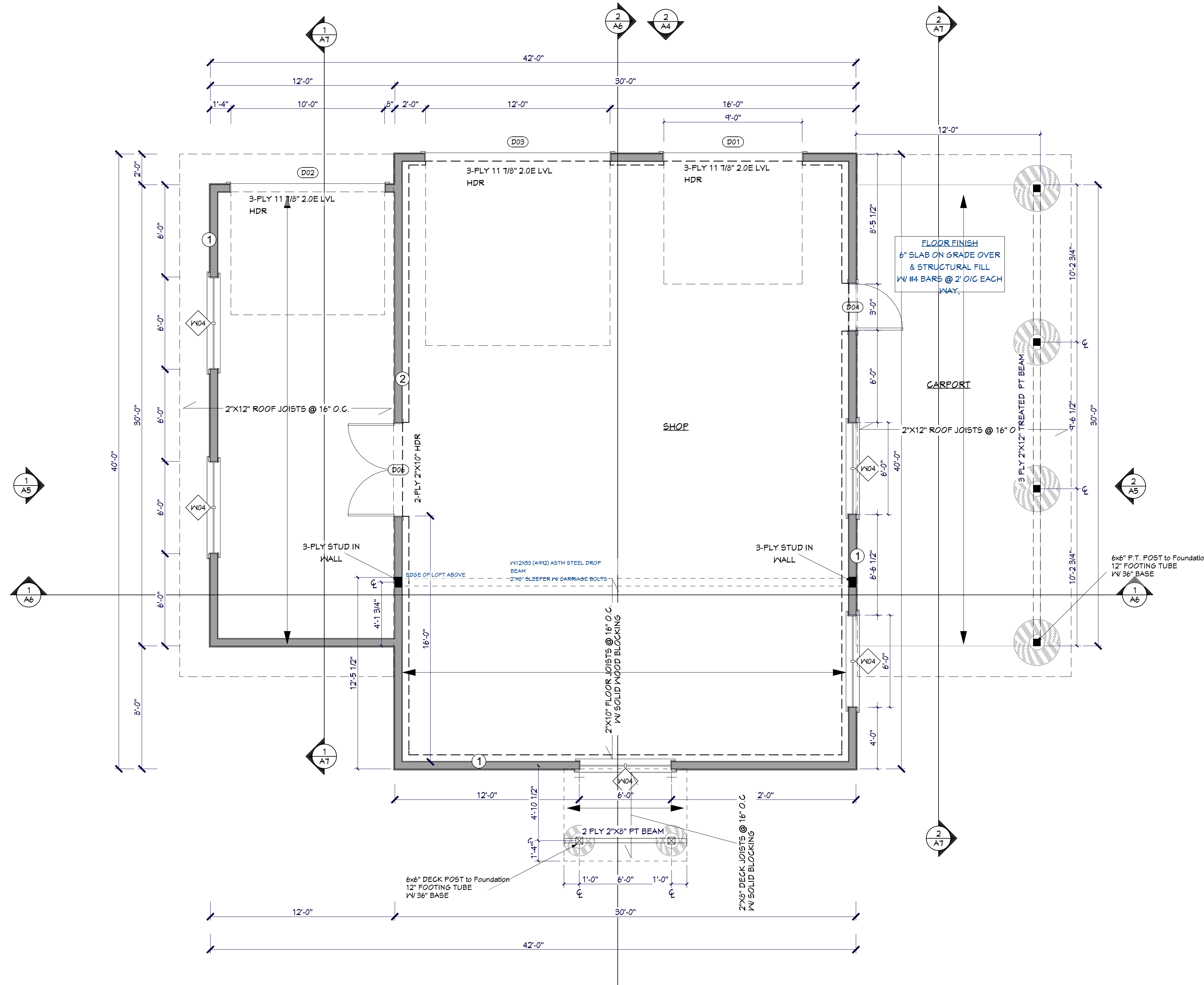
FOR INFORMATIONAL PURPOSES

**1 FOUNDATION PLAN**  
 SCALE: 3/8" = 1' - 0"

DOOR SCHEDULE						
NUMBER	LABEL	FLOOR	QTY	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)
D01	108" X 96"	1	1	111"X94"	GARAGE-GARAGE DOOR CHD05	72.0
D02	120" X 96"	1	1	123"X94"	GARAGE-GARAGE DOOR CHD05	80.0
D03	144" X 144"	1	1	147"X147"	GARAGE-GARAGE DOOR CHD05	144.0
D04	36" X 80"	1	1	34"X83"	EXTERIOR DOOR	20.0
D05	36" X 80"	2	1	37"X83"	EXTERIOR DOOR	20.0
D06	12" X 80"	1	1	15"X82 1/2"	HINGED	40.0
TOTALS:						376.0

WINDOW SCHEDULE						
NUMBER	LABEL	FLOOR	QTY	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)
W01	48" X 48"	2	2	49"X49"	DOUBLE CASEMENT-LHL/RHR	16.0
W02	72" X 34"	2	1	73"X35"	DOUBLE CASEMENT-LHL/RHR	11.0
W04	72" X 48"	1	5	73"X49"	DOUBLE CASEMENT-LHL/RHR	24.0
TOTALS:						169.0

ALL WINDOW AND DOOR HEADERS TO BE 2 PLY 2"X8" SPF EXCEPT WHERE NOTED ON FLOOR PLAN



NOTE SCHEDULE	
①	TYP. EXTERIOR WALL 6" ICF (4' ABOVE FINISHED FLOOR) W/ 2"X6" WALL ABOVE: PREFINISHED SIDING 1/2" X 2" TREATED PLYWOOD STRIPS AIR BARRIER 1/2" PLYWOOD 2X6@16" O.C W/ R22 INSULATION 6 MIL POLY 1/2" DRYWALL
②	INTERIOR 2X6 WALL 6" ICF (4' ABOVE FINISHED FLOOR) W/ 2"X6" WALL ABOVE: 1/2" DRYWALL 2X6@16" O.C 1/2" DRYWALL

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NAME SIGNATURE BCIN

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DRAWING TITLE: GARAGE PLAN

CLIENT: FRANKLIN

PROJECT: PERMIT SHOP DRAWINGS

SITE LOCATION: 1411 WINDERMERE ROAD

THE PERMIT GUY  
35 COVERED BRIDGE TRAIL  
BRACEBRIDGE, ON  
P1L 1Y1



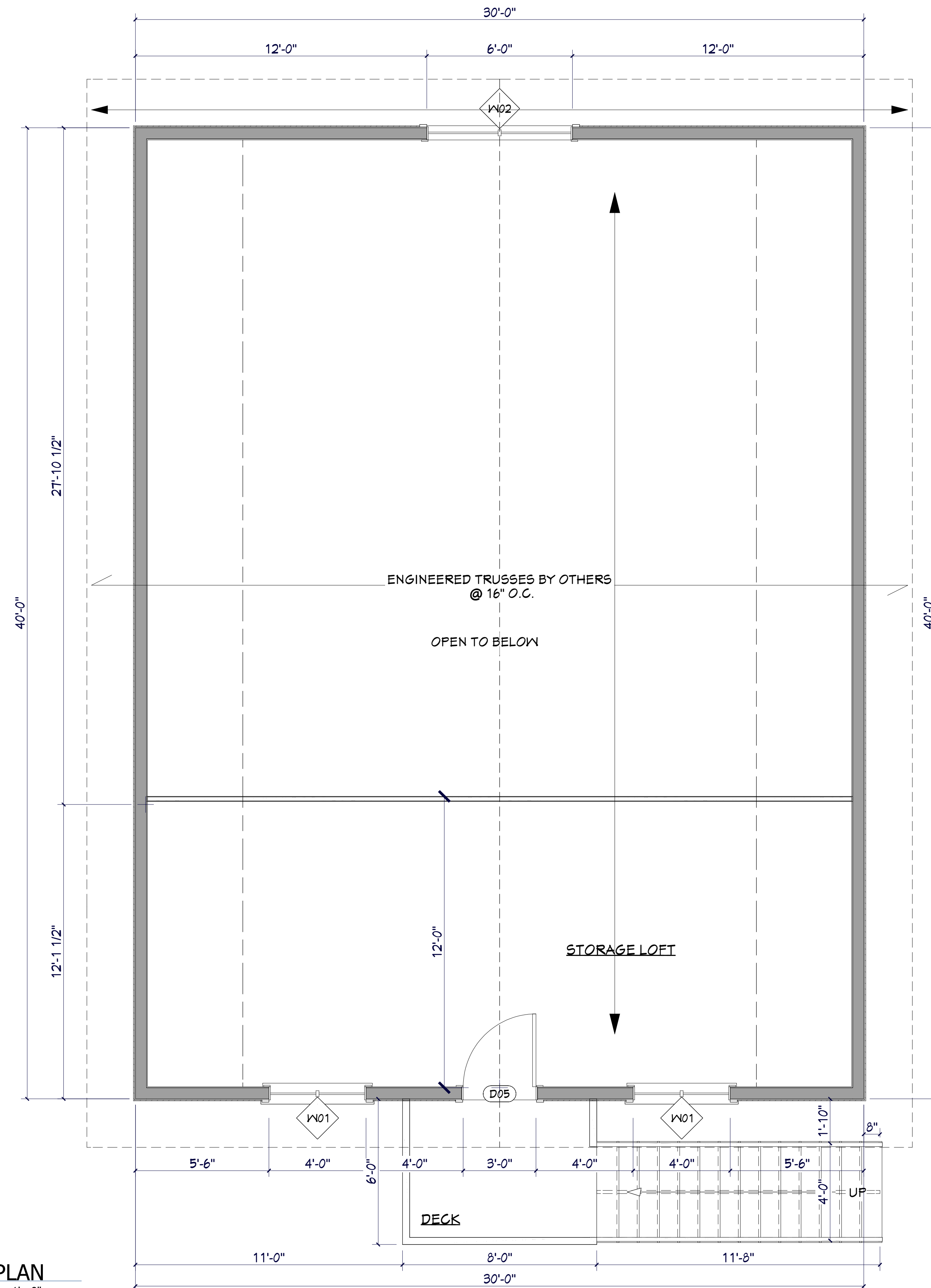
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DRAWN BY: A. LENNIE II. BCIN 18995/47308

January 2, 2024

PAGE NO.  
A2





DOOR SCHEDULE							
NUMBER	LABEL	FLOOR	QTY	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS
D01	108" X 46"	1	1	111"X44"	GARAGE-GARAGE DOOR CHD05	72.0	
D02	120" X 46"	1	1	123"X44"	GARAGE-GARAGE DOOR CHD05	80.0	
D03	144" X 144"	1	1	141"X141"	GARAGE-GARAGE DOOR CHD05	144.0	
D04	36" X 80"	1	1	34"X83"	EXTERIOR DOOR	20.0	
D05	36" X 80"	2	1	31"X83"	EXTERIOR DOOR	20.0	
D06	72" X 80"	1	1	75"X82 1/2"	HINGED	40.0	
TOTALS:						376.0	

WINDOW SCHEDULE							
NUMBER	LABEL	FLOOR	QTY	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS
W01	48" X 48"	2	2	44"X44"	DOUBLE CASEMENT-LHL/RHR	16.0	
W02	72" X 34"	2	1	73"X35"	DOUBLE CASEMENT-LHL/RHR	17.0	
W04	72" X 48"	1	5	73"X44"	DOUBLE CASEMENT-LHL/RHR	24.0	
TOTALS:						164.0	

ALL WINDOW AND DOOR HEADERS TO BE 2 PLY 2"x8" SPF EXCEPT WHERE NOTED ON FLOOR PLAN

NOTE SCHEDULE	
①	TYP. EXTERIOR WALL 6" ICF (4" ABOVE FINISHED FLOOR) W/ 2"x6" WALL ABOVE: PREFINISHED SIDING 1/2" X 2" TREATED PLYWOOD STRIPS AIR BARRIER 1/2" PLYWOOD 2X6@16" O.C W/ R22 INSULATION 6 MIL POLY 1/2" DRYWALL
②	INTERIOR 2X6 WALL 6" ICF (4" ABOVE FINISHED FLOOR) W/ 2"x6" WALL ABOVE: 1/2" DRYWALL 2X6@16" O.C 1/2" DRYWALL

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A7	SECTION & DETAILS
S1	FLOOR FRAMING
S2	ROOF FRAMING
E1	ELECTRICAL PLAN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5 of Division C of the Building Code.

ADAM LENNIE *A. Lennie* 18995  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Design is exempt under 3.2.4 of Division C of the Building Code.

THE PERMIT GUY 47308  
FIRM NAME BCIN

DRAWING TITLE: LOFT PLAN

CLIENT: FRANKLIN

PROJECT: PERMIT SHOP DRAWINGS

SITE LOCATION: 1411 WINDERMERE ROAD

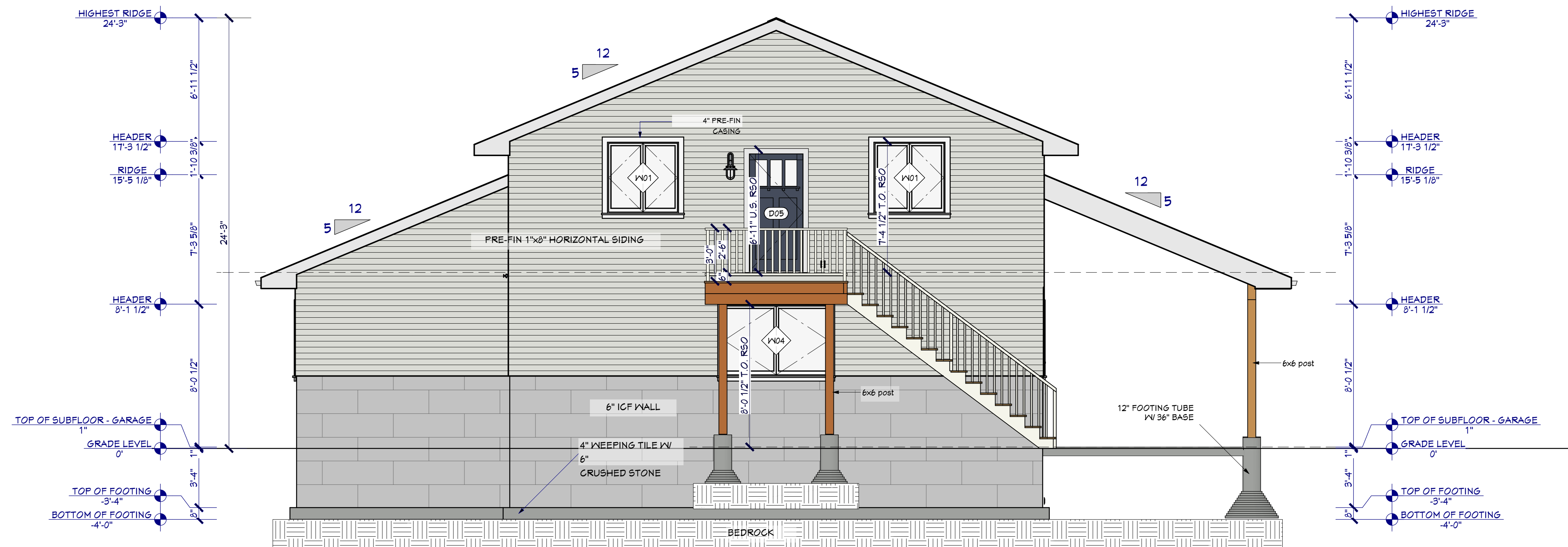
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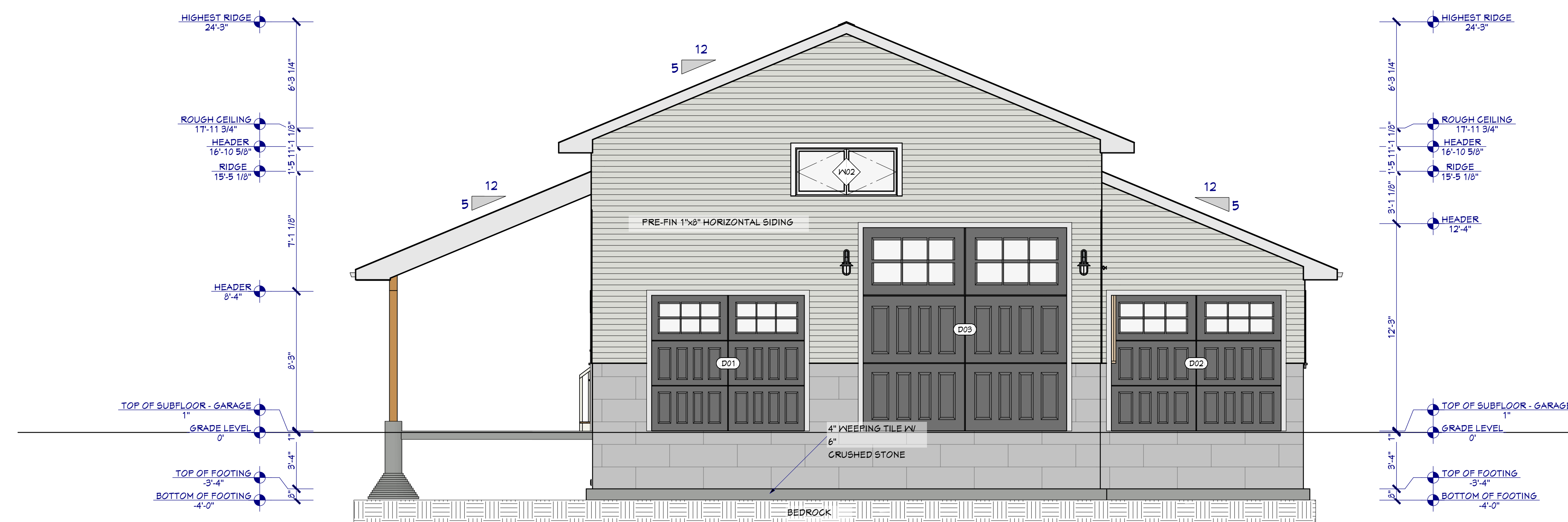
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FOR INFORMATIONAL PURPOSES





**1 REAR ELEVATION**  
 SCALE: 1/4" = 1' - 0"



**2 FRONT ELEVATION**  
 SCALE: 1/4" = 1' - 0"

FOR INFORMATIONAL PURPOSES

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DRAWING TITLE: ELEVATION

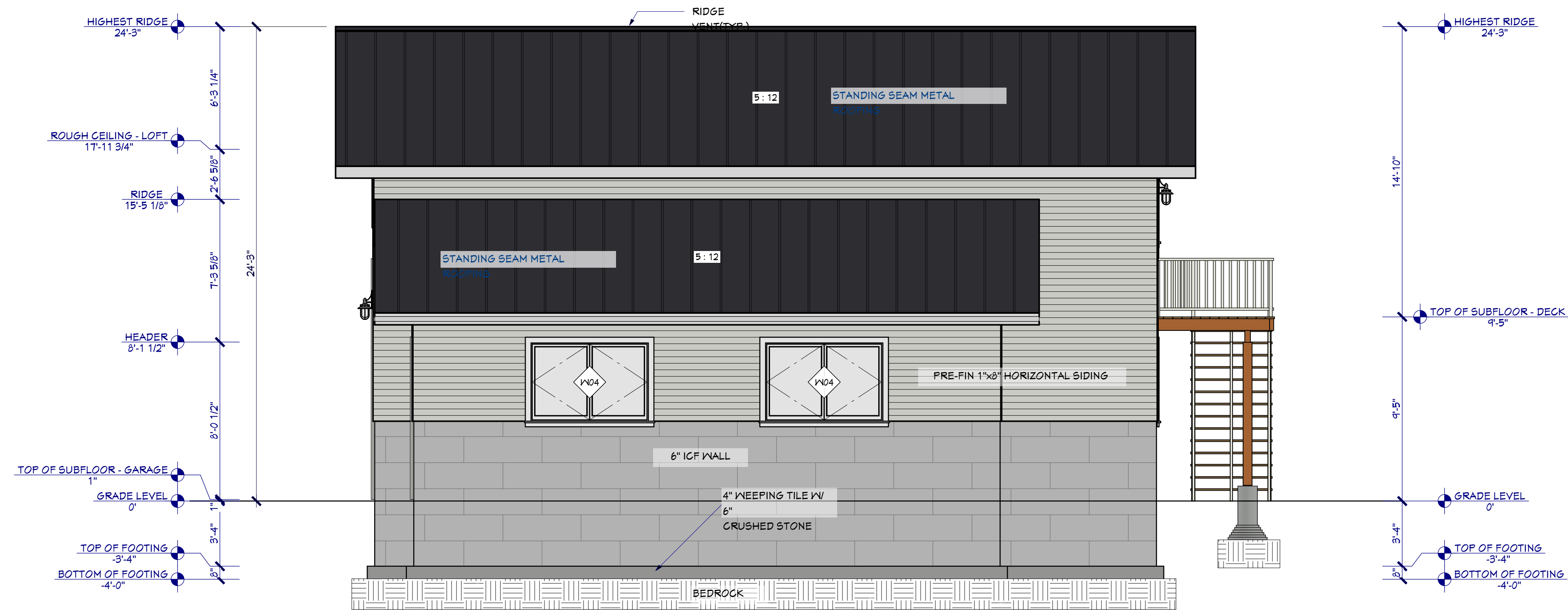
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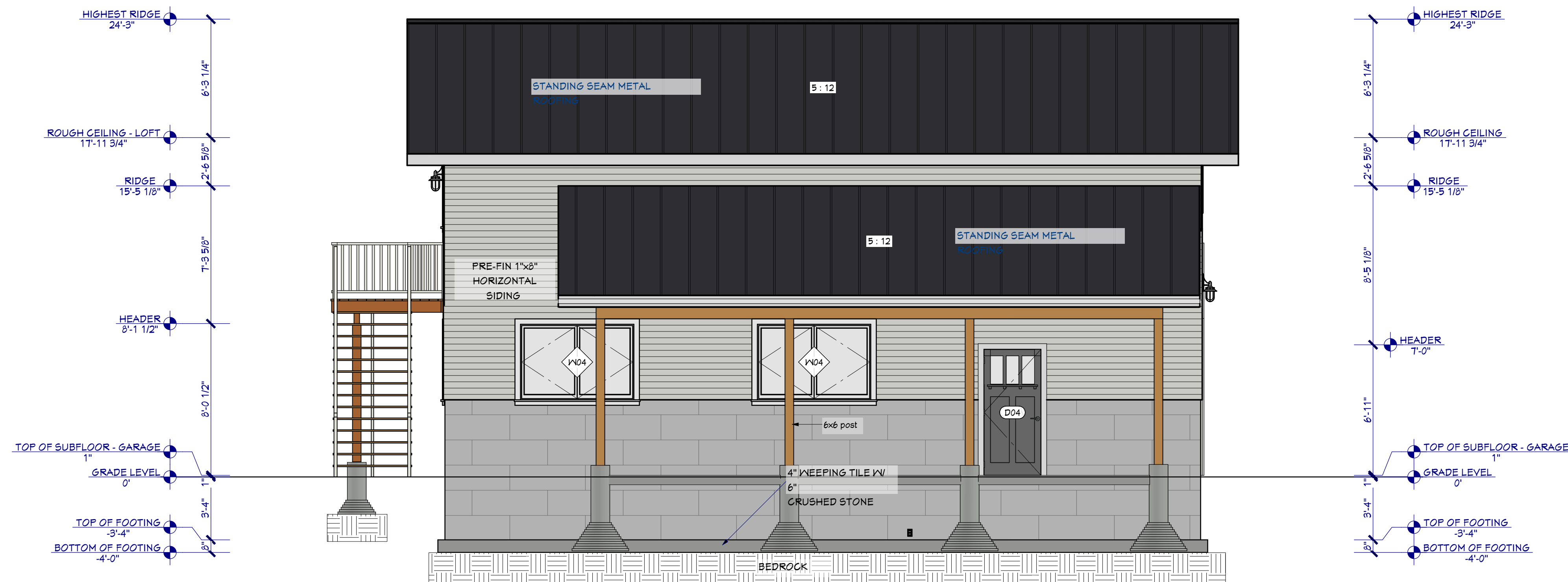
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**1**  
A5 **RIGHT ELEVATION**  
SCALE: 1/4" = 1' - 0"



**2**  
A5 **LEFT ELEVATION**  
SCALE: 1/4" = 1' - 0"

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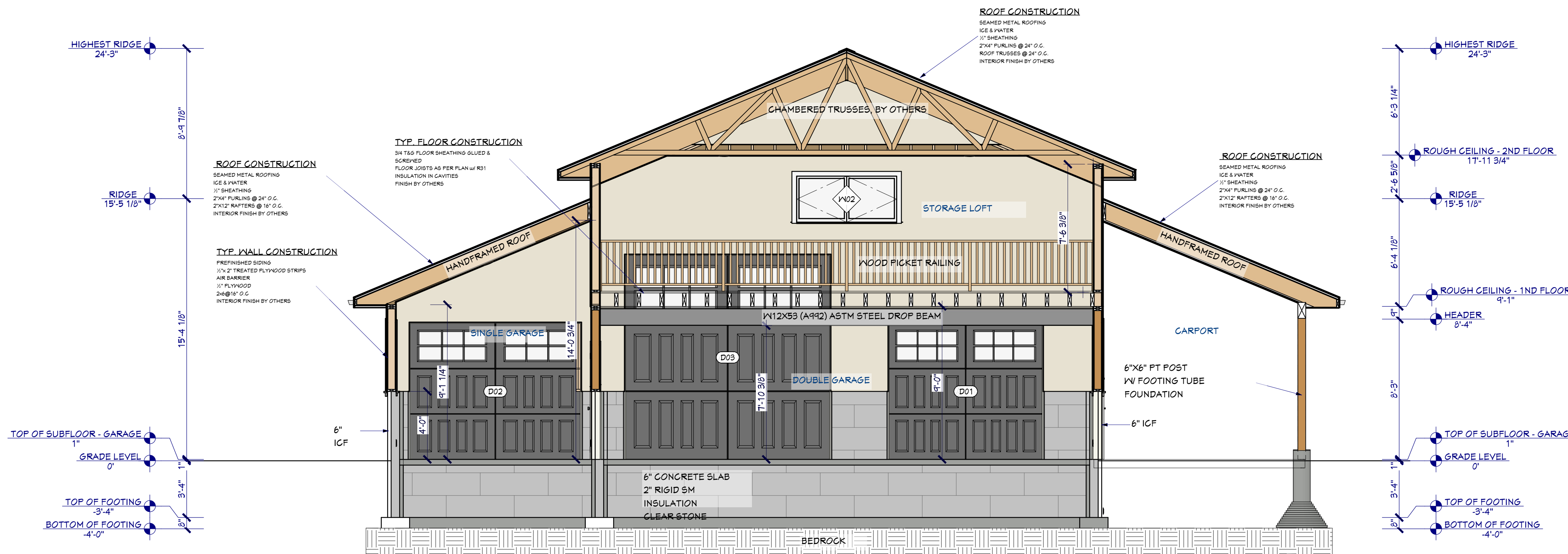


GENERAL NOTES

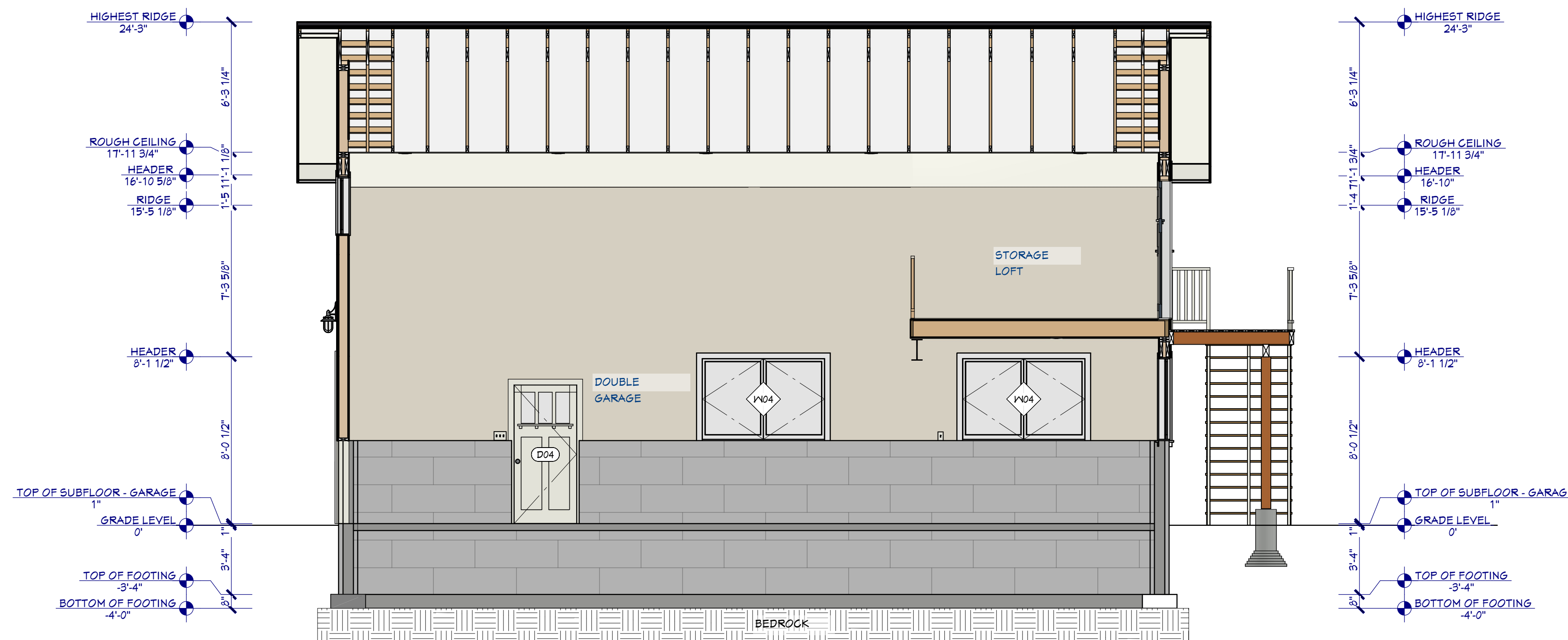
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1 CROSS SECTION 1  
A6 SCALE: 1/4" = 1' - 0"



2 CROSS SECTION 2  
A6 SCALE: 1/4" = 1' - 0"

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