



Box 129, Port Carling, ON, POB 1JO  
Telephone (705) 765-3156  
Fax (705) 765-6755

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THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES  
**PLANNING COMMITTEE**

**NOTICE OF COMPLETE APPLICATION  
AND  
NOTICE OF PUBLIC MEETING**

**This notice has been sent to you for your information and does not require any response unless you wish to make one.**

**TAKE NOTICE THAT** the Council for The Corporation of the Township of Muskoka Lakes will be considering the following proposed Consent and Amendment to Zoning By-Law 2014-14 pursuant to Sections 53 and 34 of the Planning Act, R.S.O. 1990, c. P.13.

**Public Meeting Date: November 16, 2023 at 9:00 a.m.**

**File #'s:** B/36/23/ML, ZBA-26/23, By-law 2023-108

**Roll #'s:** 2-26-112-01

**Civic Address:** 3051 Hwy 141, Utterson, ON

**Owners:** 2206733 Ontario Limited

**Legal Description:** Lot 22, Concession 13, Part 1, Plan 35R-5902, (Watt)

**Lake/River:** Not applicable

**Zoning:** Rural Commercial – Tent & Trailer (RUC3) and Environmental Protection (EP1)

**Zoning Schedules:** 15 and 16

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**EXPLANATION OF THE PURPOSE AND EFFECT:** A Consent/Severance Application, (B/36/23/ML), has been submitted to sever a portion of the subject property (Severed Lot) and to add it to an abutting lot to the east (Benefitting Lot). The Severed Lot contains a fence and a well which services the Benefitting Lot. The Retained Lot contains a tent and trailer park. The Benefitting Lot contains a general store, gas bar and dwelling.

By-law 2023-108 will have the effect of rezoning the Severed Lot from Rural Commercial – Tent & Trailer (RUC3) to Rural Commercial - Rural (RUC1).

A key map of the subject property and the applicant's site plan and any drawings are included in this notice.

**TAKE FURTHER NOTICE** that this public meeting will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wish to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM meeting is included in this Notice and can be found on our website at [www.muskokalakes.ca](http://www.muskokalakes.ca).

**ADDITIONAL INFORMATION** relating to the proposed consent and zoning amendment applications is available from the Planning Department week days between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0. **Please quote the file numbers noted above.**

**YOU OR YOUR REPRESENTATIVE** are entitled to participate in this public meeting and make verbal representation and/or make written representation prior to the meeting. Comments can be submitted by emailing [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

**IF YOU WISH TO SPEAK** at the meeting by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled meeting.

**IF YOU DO NOT PARTICIPATE** in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**NOTICE OF DECISION:** If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect of the proposed consent or zoning by-law amendment, you must submit a written request to the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

**ZONING AMENDMENT:** If a person or public body would otherwise have an ability to appeal the decision of Council to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

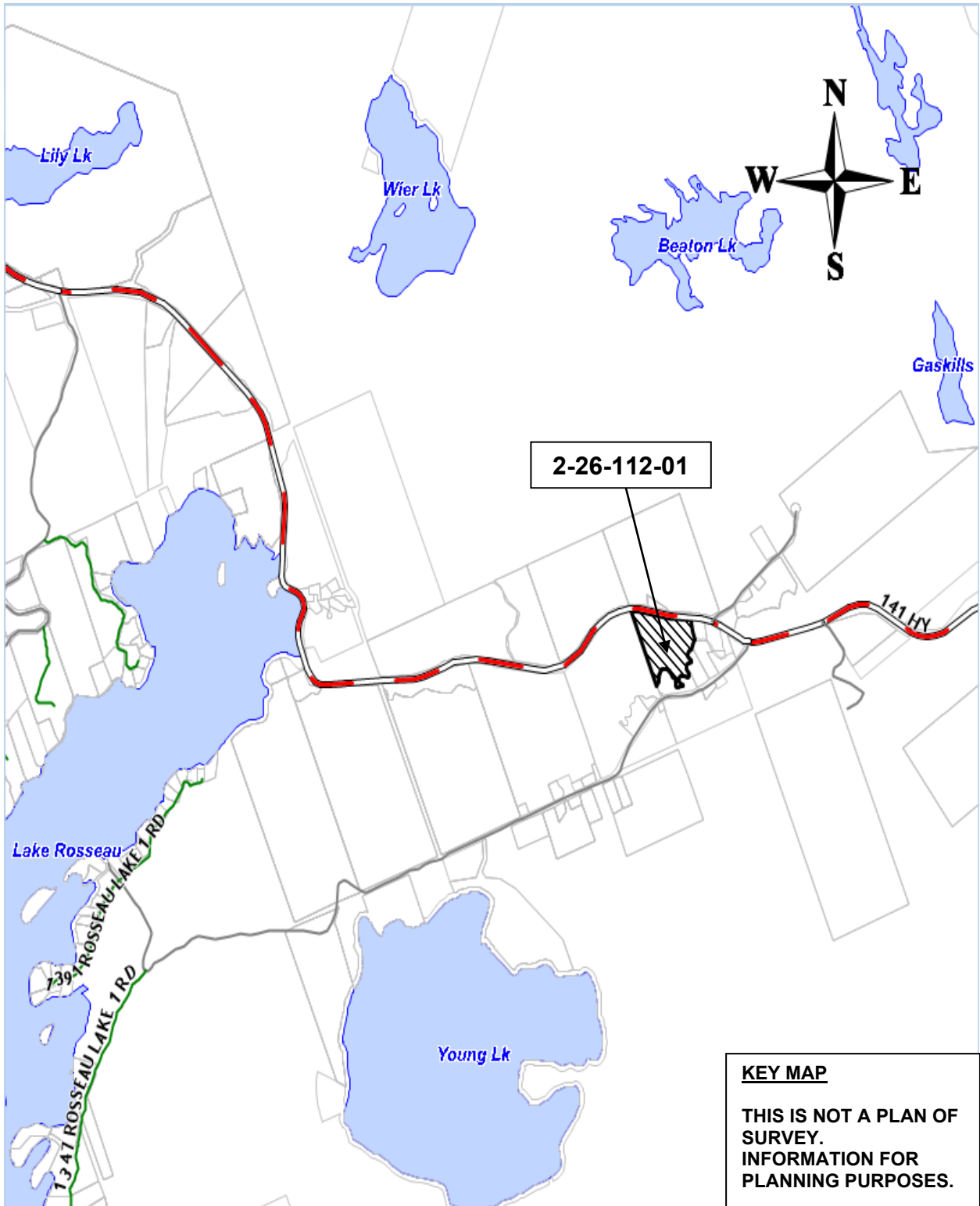
**CONSENT:** No one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of Council in respect of the proposed consent. If a person or public body has the ability to appeal the decision of the Council of the Township of Muskoka Lakes in respect of the proposed consent to the Ontario Land Tribunal, but does not make written submissions to the Council of the Township of Muskoka Lakes before it gives or refuses to give a provisional consent, the Tribunal may dismiss the appeal.

**THE MEETING** will be live-streamed on the Township's live webcast at: [www.muskokalakes.ca](http://www.muskokalakes.ca) If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

Dated at the Corporation of the Township of Muskoka Lakes this 25<sup>th</sup> day of October, 2023.

Crystal Paroschy, Clerk  
Corporation of the Township of Muskoka Lakes

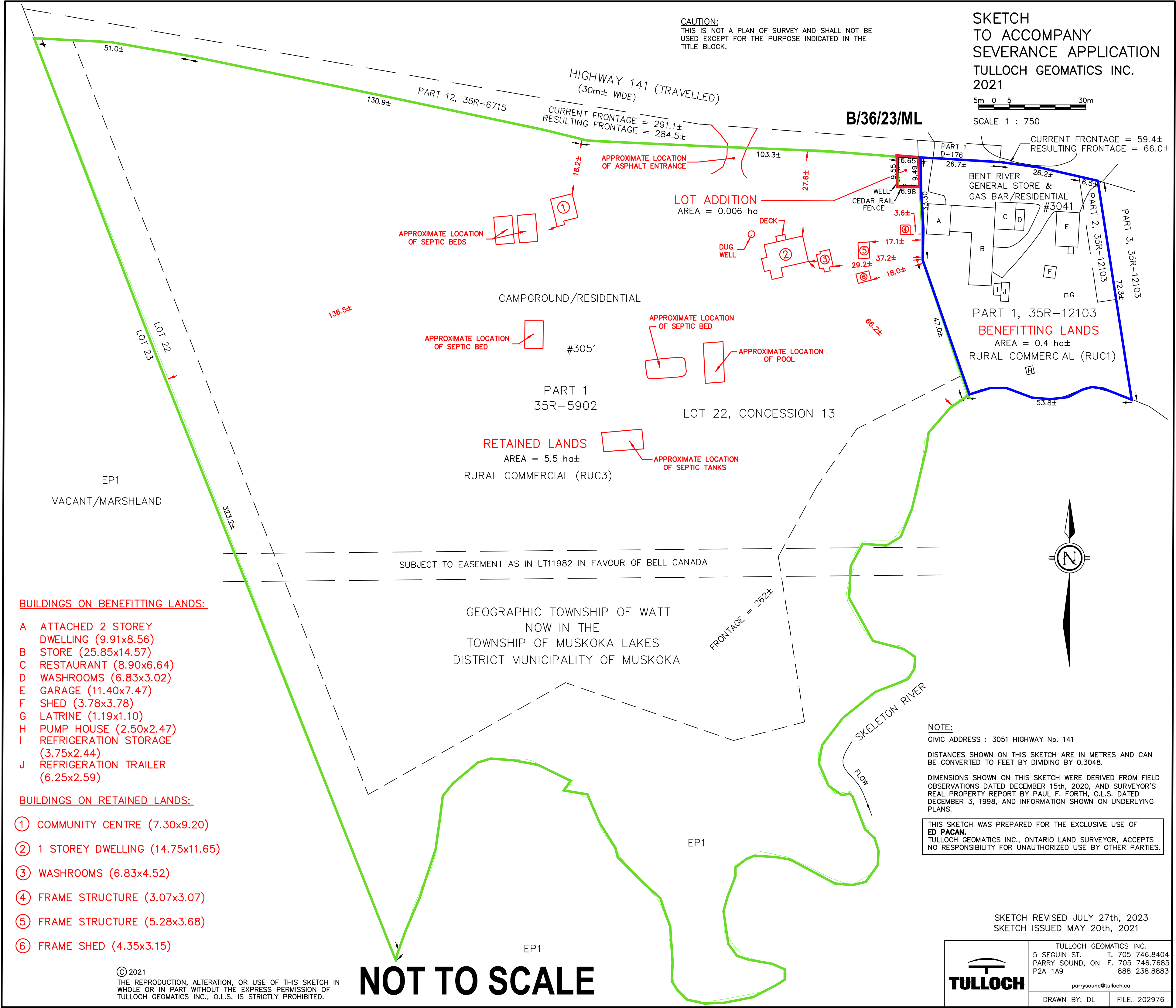
**KEY MAP**



SKETCH  
TO ACCOMPANY  
SEVERANCE APPLICATION  
TULLOCH GEOMATICS INC.  
2021

5m 0 5 30m  
SCALE 1 : 750

CAUTION:  
THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE  
USED EXCEPT FOR THE PURPOSE INDICATED IN THE  
TITLE BLOCK.



**BUILDINGS ON BENEFITTING LANDS:**

- A ATTACHED 2 STOREY DWELLING (9.91x8.56)
- B STORE (25.85x14.57)
- C RESTAURANT (8.90x6.64)
- D WASHROOMS (6.83x3.02)
- E GARAGE (11.40x7.47)
- F SHED (3.78x3.78)
- G LATRINE (1.19x1.10)
- H PUMP HOUSE (2.50x2.47)
- I REFRIGERATION STORAGE (3.75x2.44)
- J REFRIGERATION TRAILER (6.25x2.59)

**BUILDINGS ON RETAINED LANDS:**

- ① COMMUNITY CENTRE (7.30x9.20)
- ② 1 STOREY DWELLING (14.75x11.65)
- ③ WASHROOMS (6.83x4.52)
- ④ FRAME STRUCTURE (3.07x3.07)
- ⑤ FRAME STRUCTURE (5.28x3.68)
- ⑥ FRAME SHED (4.35x3.15)

NOTE:  
CIVIC ADDRESS : 3051 HIGHWAY No. 141  
DISTANCES SHOWN ON THIS SKETCH ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.  
DIMENSIONS SHOWN ON THIS SKETCH WERE DERIVED FROM FIELD OBSERVATIONS DATED DECEMBER 15th, 2020, AND SURVEYOR'S REAL PROPERTY REPORT BY PAUL F. FORTH, O.L.S. DATED DECEMBER 3, 1998, AND INFORMATION SHOWN ON UNDERLYING PLANS.

THIS SKETCH WAS PREPARED FOR THE EXCLUSIVE USE OF  
**ED PACAN.**  
TULLOCH GEOMATICS INC., ONTARIO LAND SURVEYOR, ACCEPTS NO RESPONSIBILITY FOR UNAUTHORIZED USE BY OTHER PARTIES.

SKETCH REVISED JULY 27th, 2023  
SKETCH ISSUED MAY 20th, 2021

	TULLOCH GEOMATICS INC.	
	5 SEGUIN ST. PARRY SOUND, ON P2A 1A9	T. 705 746.8404 F. 705 746.7685 888 238.8883
parrysound@tulloch.ca		DRAWN BY: DL FILE: 202976

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**NOT TO SCALE**

**THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES**

**BY-LAW 2023-108**

Being a By-law to amend Comprehensive Zoning By-law 2014-14, as amended, in the Township of Muskoka Lakes

**WHEREAS** the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

**AND WHEREAS** By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

**AND WHEREAS** the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES ENACTS AS FOLLOWS:**

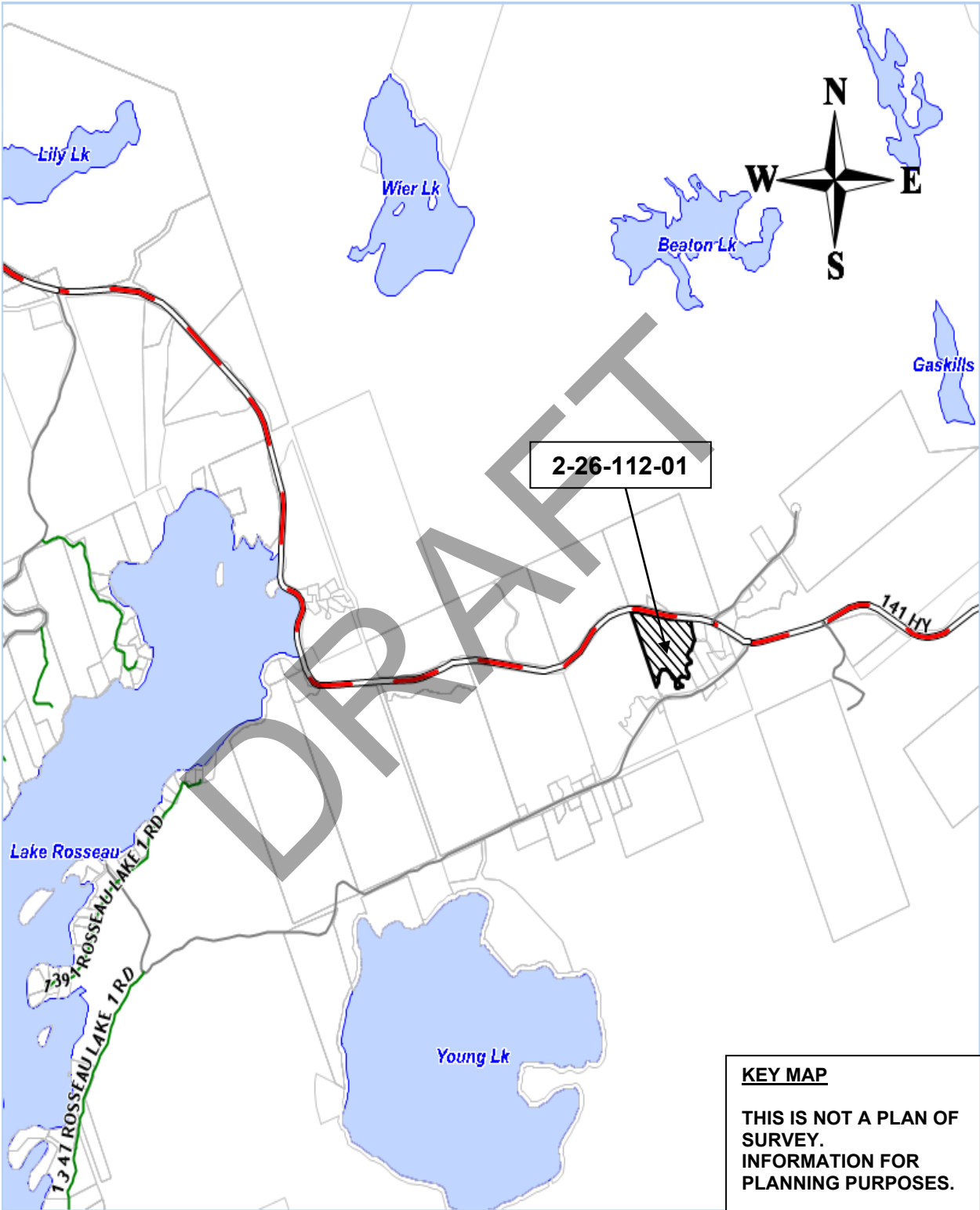
1. Section 41 of Zoning By-law 2014-14, as amended, is hereby further amended by rezoning part of the land described as Lot 22, Concession 13, (in the former Township of Watt), now in the Township of Muskoka Lakes, more particularly described as Part 1, Plan 35R-5902, as shown hatched on Schedule I to By-law 2023-108, from Rural Commercial (RUC3) to Rural Commercial (RUC1), as shown hatched and labelled on Schedule II to By-law 2023-108.
2. Schedules I and II attached hereto are hereby made part of this By-law.
3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2023-108 and By-law 2014-14, as amended, the provisions of By-law 2023-108 shall apply.

Read a **first, second and third time** and **finally passed** this \_\_\_ day of \_\_\_\_\_, **2023**.

\_\_\_\_\_  
Peter Kelley, Mayor

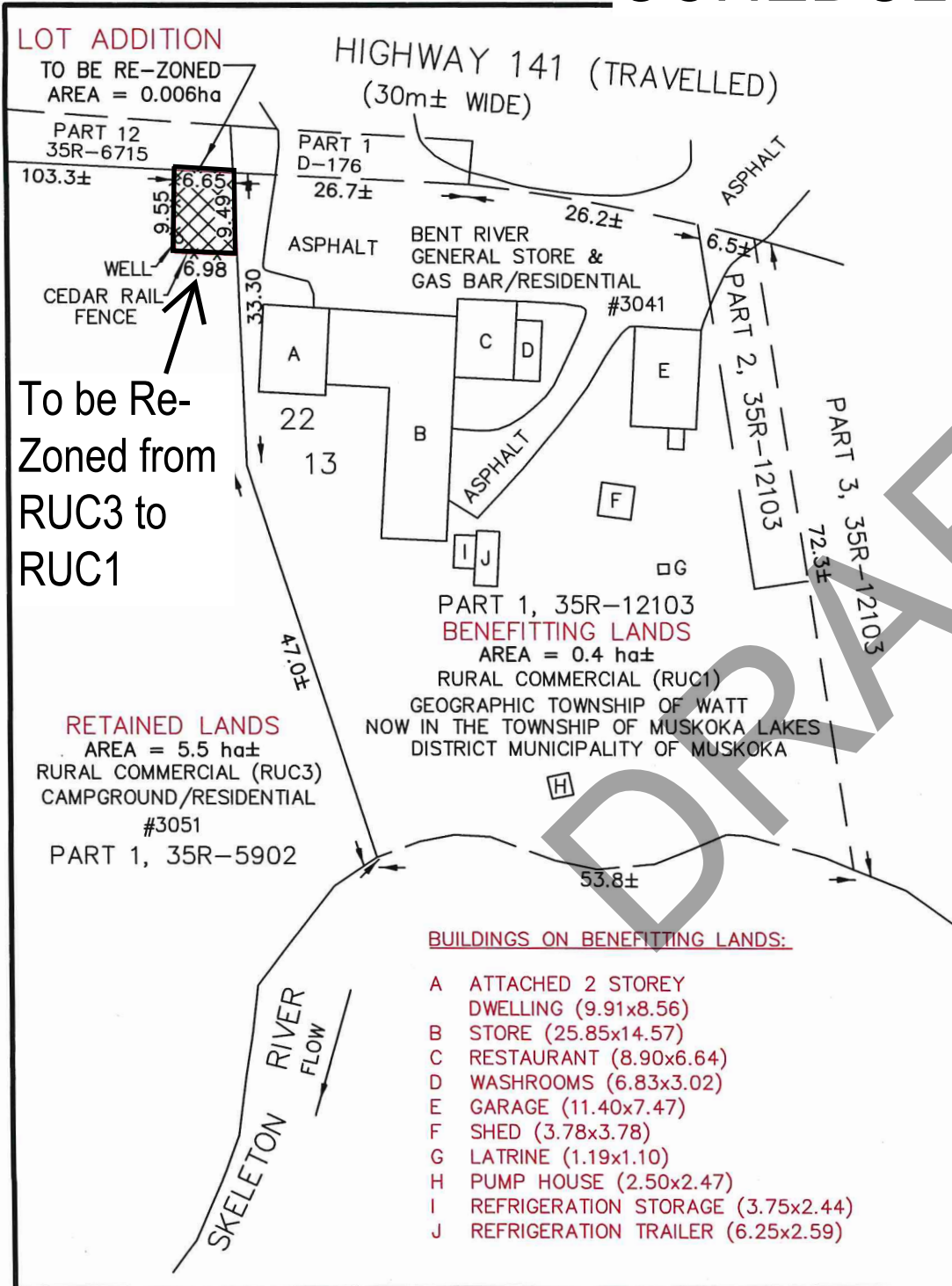
\_\_\_\_\_  
Crystal Paroschy, Clerk

**SCHEDULE I TO BY-LAW 2023-108**





# SCHEDULE II TO BY-LAW 2023-108



SKETCH  
TO ACCOMPANY  
RE-ZONING APPLICATION  
TULLOCH GEOMATICS INC.  
2023



SCALE 1 : 750

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SKETCH ISSUED JULY 27th, 2023

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