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THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, November 13th, 2023 at 9:00 a.m.

File #.: A-55/23

Roll #: 4-15-033

Civic Address: 1231 Morinus Road, Unit #8

Owner: Ontario Conference of The Seventh-Day Adventist Church, 1110 King Street East, Oshawa, ON, L1H 1H8

Legal Description: Part of Lot 30, Concessions 11 and 12, Part 7, Plan 35R-26185, (Medora)

Lake/River: Lake Rosseau (Category 1)

Zoning: Waterfront Commercial – Private Camp (WC4A.2), Waterfront Commercial – Private Camp Backlot (WC4B and WC4B1)

Zoning Schedule: 21

EXPLANATION OF THE PURPOSE AND EFFECT: The applicant proposes to build a new sundeck.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.2.5 iii.)	Minimum Front Yard Setback (Sundeck)	50 ft.	24 ft.	26 ft.

A key map of the subject property and the applicant’s site plan and any drawings are included in this notice.

TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wish to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM hearing is included in this Notice and can be found on our website at www.muskokalakes.ca.

ADDITIONAL INFORMATION relating to the proposed variance application is available from the Planning Department week days between 8:15 a.m. and 4 p.m. at the Municipal Office, or at

planning@muskokalakes.ca or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

Please quote the file number noted above.

YOU OR YOUR REPRESENTATIVE are entitled to participate in this public hearing and make verbal representation and/or make written representation prior to the meeting. Comments can be submitted by emailing planning@muskokalakes.ca or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

IF YOU WISH TO SPEAK to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

NO ONE OTHER THAN the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

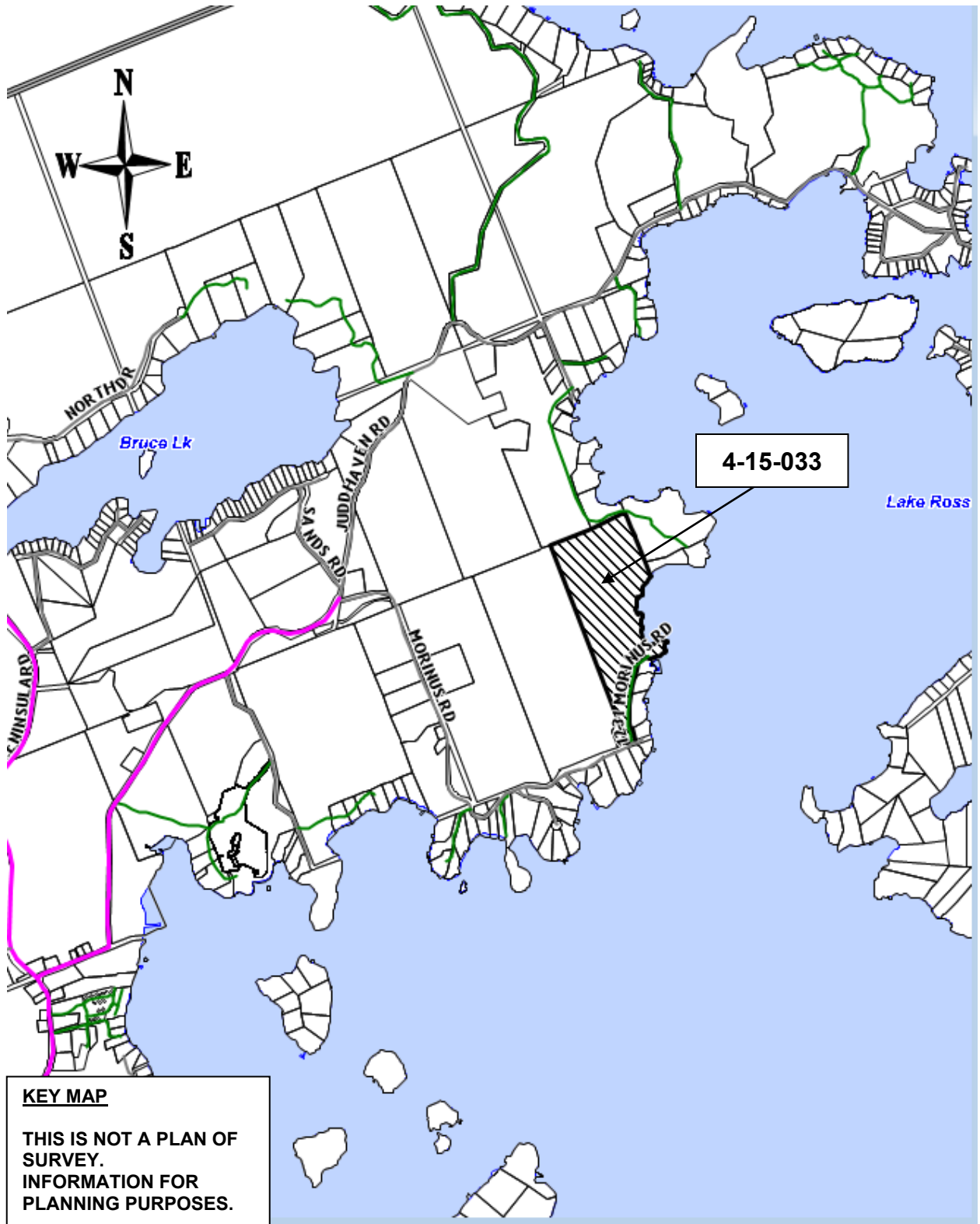
THE HEARING will be live-streamed on the Township's live webcast at: www.muskokalakes.ca If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 3rd day of November, 2023.

"Original Signed by C. Ward"
Chelsea Ward,
Secretary-Treasurer
Committee of Adjustment

KEY MAP



NOT TO SCALE

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2659121 Ontario Inc. Design & Project Managers 16 Nashville Ave Unit A Toronto, Ontario M6M 1J1 Tel: 519-941-8304 Cell: 416-804-7595 mannymarcos13@gmail.com



2.	STRUCTURAL ALTERATIONS	AUG. 23, 2023
1.	ISSUED FOR PERMIT	MAY 12, 2023
No.	Issued For and/or Revision	Date

Drawing Title:

SITE PLAN

Project:

PROPOSE EXT. DECK

1231 MORNIUS ROAD
PORT CARLING, ONTARIO

AS SHOWN Scale:

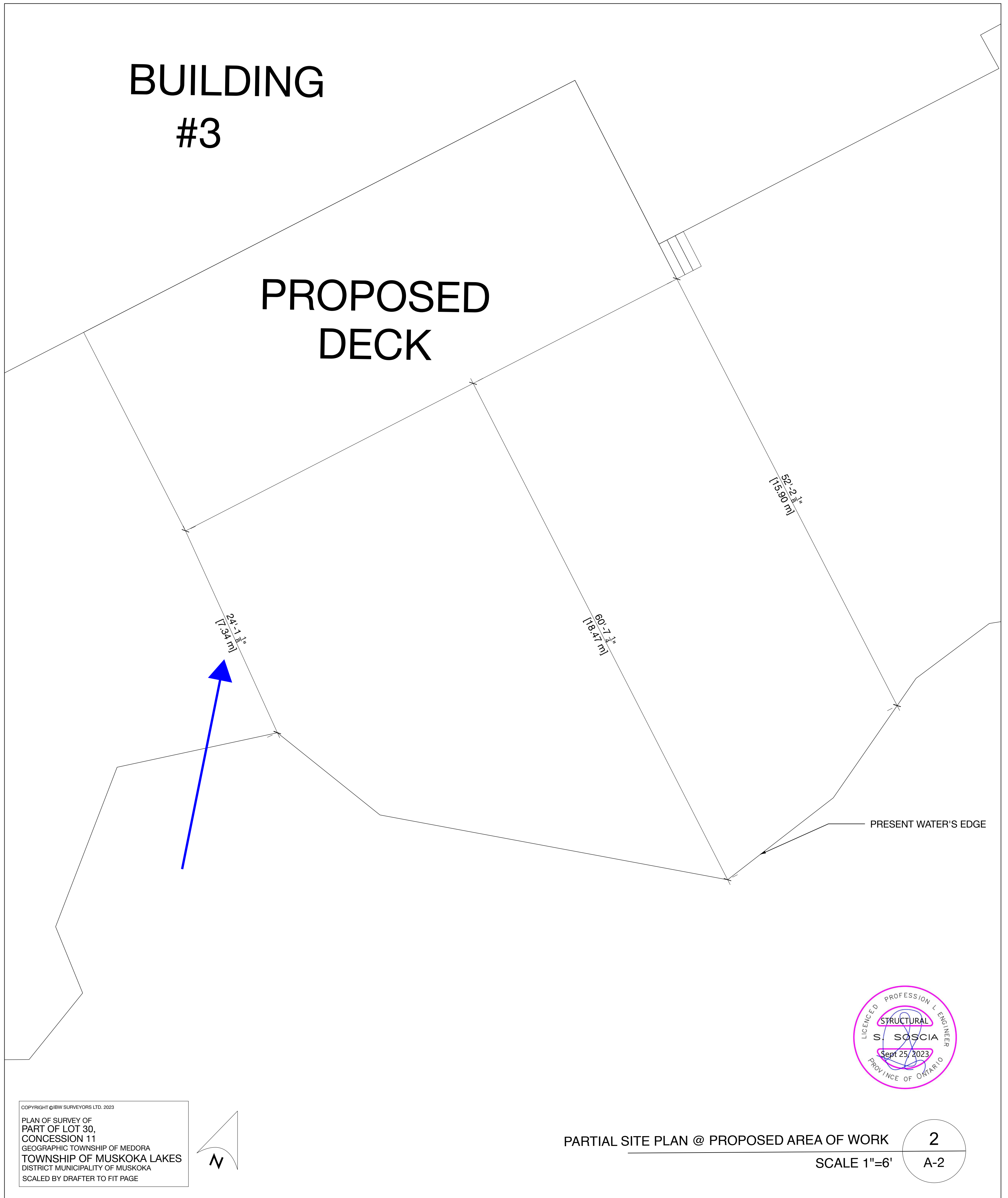
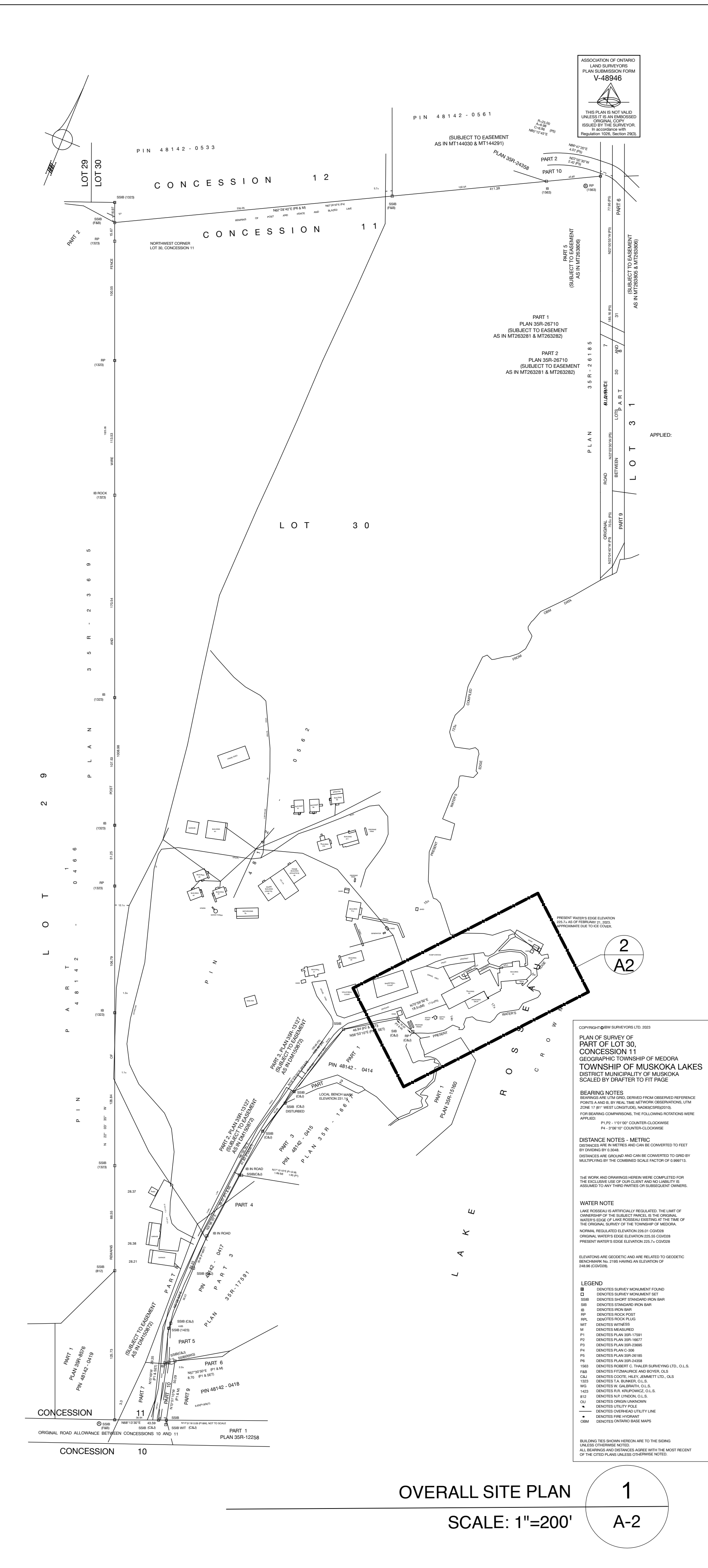
AC Drawn by:

DR Checked by:

2303-692B File No.:

MAY 12, 2023 Plot Date:

A-2



NOT TO SCALE

TYPICAL NOTES

EXTERIOR STAIRS
 7 7/8" MAX. RISE HIEGHT
 8 1/4" MIN RUN
 9 1/4" TREAD MIN.
 1" MIN. NOSING

HANDRAIL
 HANDRAILS ARE REQUIRED WHERE STEPS HAVE MORE THAN THREE RISERS. HANDRAIL HEIGHT 31" - 38"

FOUNDATION WALLS
 THICKNESS OF FOUNDATION WALLS IS DEPENDENT UPON HEIGHT OF FINISH GRADE ABOVE BASEMENT FLOOR.

UNIT MASONRY THICKNESS 8" - MAX. HEIGHT 3'-11"
 UNIT MASONRY THICKNESS 10" - MAX. HEIGHT 5'-11"
 UNIT MASONRY THICKNESS 12" - MAX. HEIGHT 7'-3"

CONCRETE
 MIN. CONCRETE STRENGTH SHALL BE 32 MPA. W/ 5% TO 8% AIR ENTRAINMENT
 CONCRETE SLAB
 THICKNESS 4" UP TO 6'-8" SPAN CONCRETE SLAB
 THICKNESS 5" UP TO 8'-4" SPAN CONCRETE SLAB
 THICKNESS 7" UP TO 10'-0" SPAN CONCRETE SLAB
 PROVIDE MIN 1 3/4" CLEAR CONCRETE COVER TO THE FIRST LAYER OF REINFORCING BARS

GUARDS
 GUARDS ARE REQUIRED AROUND CONCRETE SLAB IF MORE THAN 610mm (2'-0") ABOVE GRADE & ON BOTH SIDES OF STAIRS CONTAINING MORE THAN 6 RISERS.
 MIN. 31" HIGH FOR STAIRS MIN. 35" HIGH FOR PORCHES UP TO 5'-11" ABOVE GRADE.
 MINIMUM 42" HIGH FOR GREATER HEIGHTS

GUARDS AROUND EXTERIOR BALCONIES, PORCHES, AND DECKS SHALL BE DESIGNED/ INSTALLED SO THAT NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 100mm (4") and 900mm (2'-11") ABOVE THE FLOOR OF THE BALCONY, PORCH OR DECK WILL FACILITATE CLIMBING. OPENINGS THROUGH ANY GUARD SHALL BE OF SIZE WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF NOT MORE THAN 100 mm (4") O.B.C. 4.1.10.1. THE MINIMUM SPECIFIED LOAD APPLIED HORIZONTALLY AND NORMAL TO THE SPAN AT THE TOP OF EVERY REQUIRED GUARD SHALL BE:

A) 40 lb/ft FOR EXTERIOR BALCONIES OF INDIVIDUAL RESIDENTIAL UNITS AND A CONCENTRATED LOAD OF 200 lb APPLIED CONCURRENTLY.
 B) 100 lb/ft FOR EXITS AND STAIRS.
 C) 150 lb/ft FOR LOCATIONS OTHER THAN DESCRIBED ABOVE

INDIVIDUAL ELEMENTS WITHIN THE GUARD, INCLUDING SOLID PANELS AND PICKETS, SHALL BE DESIGNED FOR 20 PSI, OR 100 lb OF CONCENTRATED LOAD AT ANY POINT IN THE ELEMENT, WHICH RESULTS IN THE MORE CRITICAL LOADING CONDITION. THE MINIMUM SPECIFIED LOAD APPLIED VERTICALLY AT THE TOP OF EVERY REQUIRED GUARD SHALL BE 100 lb/ft AND NEED NOT BE CONSIDERED TO ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD.

STEEL
 1. ALL STRUCTURAL STEEL TO CONFORM TO CAN S-S 16.1 LATEST ADDITION
 2. ALL H.S.S. SECTION FY-350
 3. MIN. STRENGTH OF CONCRETE 325 MPA.
 4. FINISH TO STRUCTURAL STEEL
 5. GUARD DESIGN IN COMPLIANCE W/ O.B.C. 4.1.10.1
 6. ALL GUARDS TO BE PRIMED AND PAINTED WITH TWO (2) FINISH COATS (CO-ORDINATE COLOUR WITH OWNER)

GENERAL NOTES

NO WORK SHALL ENCR OACH ON TO ADJOINING OR ADJACENT PROPERTIES.

SMOKE ALARMS SHALL BE INSTALLED ON EACH STOREY OF A DWELLING UNIT INCLUDING BASEMENTS O.B.C. 9.10.18.2 (1) (A) (B) AND (C), INCLUDING ALL BEDROOMS. CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED ADJACENT TO BEDROOM AREAS.

CARBON MONOXIDE DETECTORS: IN EACH ROOM THAT CONTAINS A FUEL BURNING APPLIANCE PROVIDE A CARBON MONOXIDE DETECTOR ON OR NEAR THE CEILING EQUIPPED WITH AN ALARMAIDIBLE THROUGHOUT DWELLING UNIT OR INTERCONNECT WITH SMOKE ALARM SO THAT WHEN THE ACTIVATE THE SMOKE ALARM AS PER O.B.C. 9.33.4.1.(1) AND AS PER O.B.C. 9.33.4.2.(1) (2) AND (4).

EXCAVATION NOTES:
 EXCAVATION AND /OR CONSTRUCTION ON ADJACENT PROPERTIES REQUIRES THE CONSENT OF AFFECTED PROPERTY OWNER(S).

EVERY EXCAVATION SHALL BE UNDER TAKEN IN A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.

MIN. SOIL BEARING CAPACITY 75 KPA. SOIL IS NOT PEAT, ILL OR SENSITIVE CLAY. THE DISTANCE BETWEEN THE BOTTOM OF FOOTINGS AND THE WATER TABLE IS EQUAL TO OR GREATER THAN THE WIDTH OF THE FOOTINGS.

WHERE THE DEPTH OF EXCAVATION EXCEEDS 4 FEET EXCAVATE AT 45 DEGREE ANGLE OR IN ACCORDANCE WITH APPROVED SHORING DRAWINGS AND DETAILS. STRUCTURE IS NOT LOCATED ON GROUNDS HAVING SLOPE STEEPER THAN 1 VERTICAL TO 2 HORIZONTAL.

SURFACE DRAINAGE SHALL NOT BE DISCHARGED DIRECTLY OR INDIRECTLY ON TO A SIDE WALK, DRIVEWAY, STAIRSWELL OR AN ADJOINING PROPERTY.

BACKFILL AGAINST FOUNDATION WALLS IN A MANNER THAT THE LEVEL OF BACKFILL ON END SIDE IS NEVER MORE THAN 500mm (20") ABOVE THE LEVEL OF BACKFILL ON THE OTHER SIDE OF THE WALL, UNLESS TEMPORARY SUPPORTS FOR THE WALL IS APPROVED

OPENINGS IN FOUNDATION WALLS EXCEEDING 1200mm (4'-0") IN LENGTH OR 25% OF THE FOUNDATION WALL LENGTH THE PORTION OF THE WALL BELOW SUCH OPENINGS SHALL BE REINFORCED TO WITHSTAND EARTH PRESSURE

LIST OF DRAWINGS

A-1 COVER SHEET

A-2 SITE PLAN

A-3 EXISTING & PROPOSED PARTIAL GROUND FLOOR PLAN

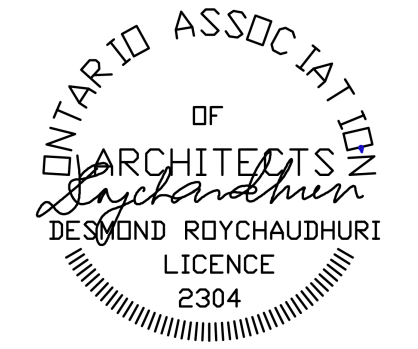
A-4 EXISTING & PROPOSED PARTIAL FOUNDATION PLAN

A-5 PROPOSED ELEVATIONS & SECTION DETAIL



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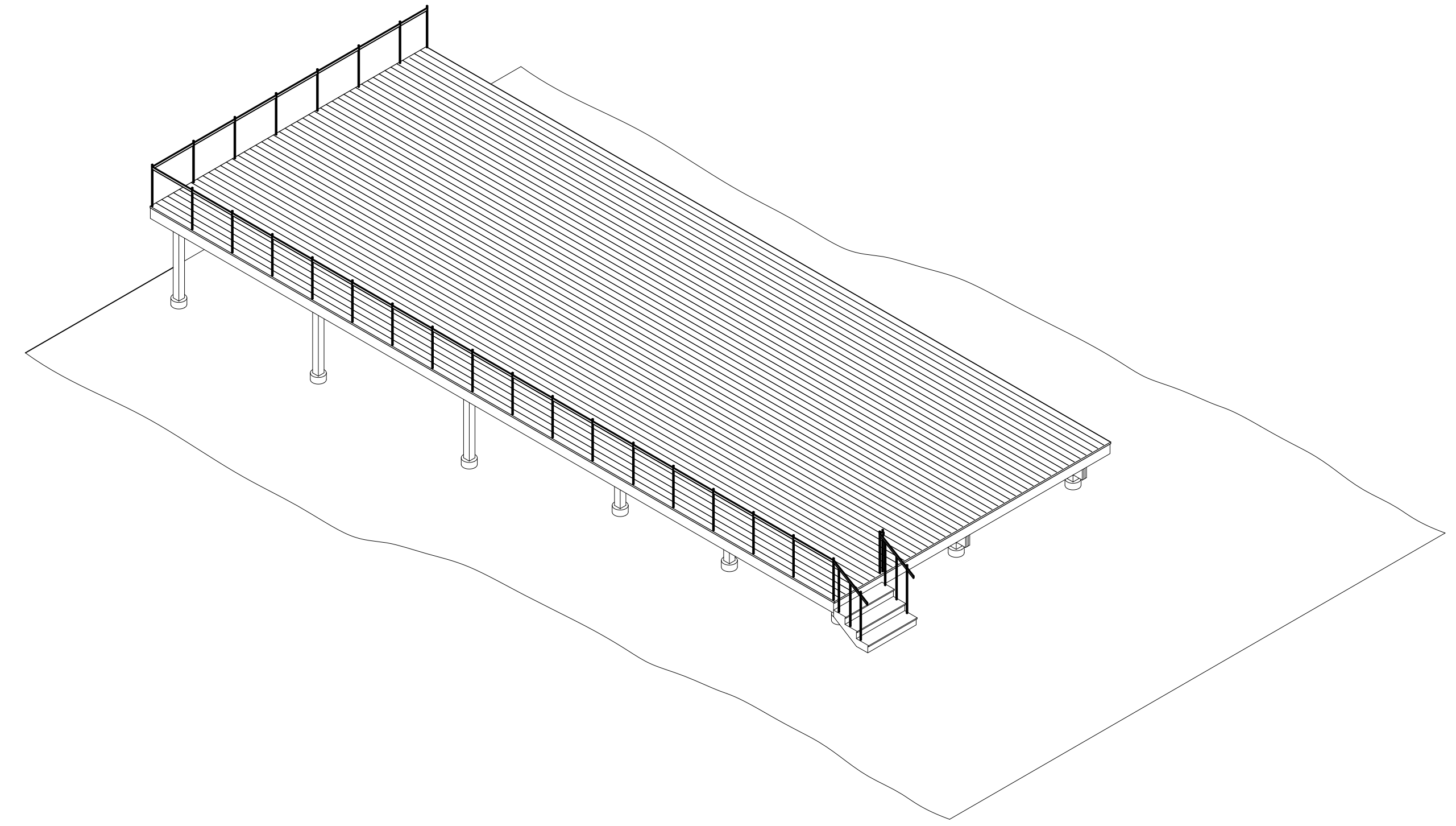
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 Design & Project Managers
 16 Nashville Ave Unit A Toronto, Ontario
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 Tel: 519-941-8304 Cell: 416-804-7595
 mannymarcos13@gmail.com



TYPICAL NOTES 3
 NO SCALE A-1

GENERAL NOTES 2
 NO SCALE A-1

LIST OF DRAWINGS 1
 NO SCALE A-1



PROPOSED DECK
 1231 MORINUS ROAD, PORT CARLING ONTARIO
 FOR INFORMATION PURPOSES ONLY

2.	STRUCTURAL ALTERATIONS	AUG. 23, 2023
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COVER SHEET

PROPOSE EXT. DECK

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 PORT CARLING, ONTARIO

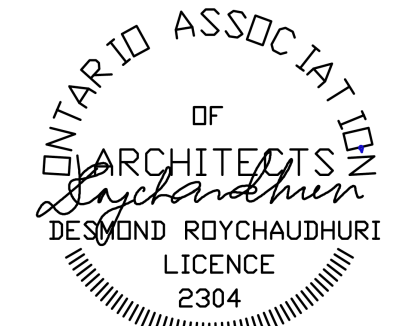
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 2303-692B File No.:
 MAY 12, 2023 Plot Date:

A-1



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Drawing Title:
EXISTING & PROPOSED PARTIAL GROUND FLOOR PLAN

Project:

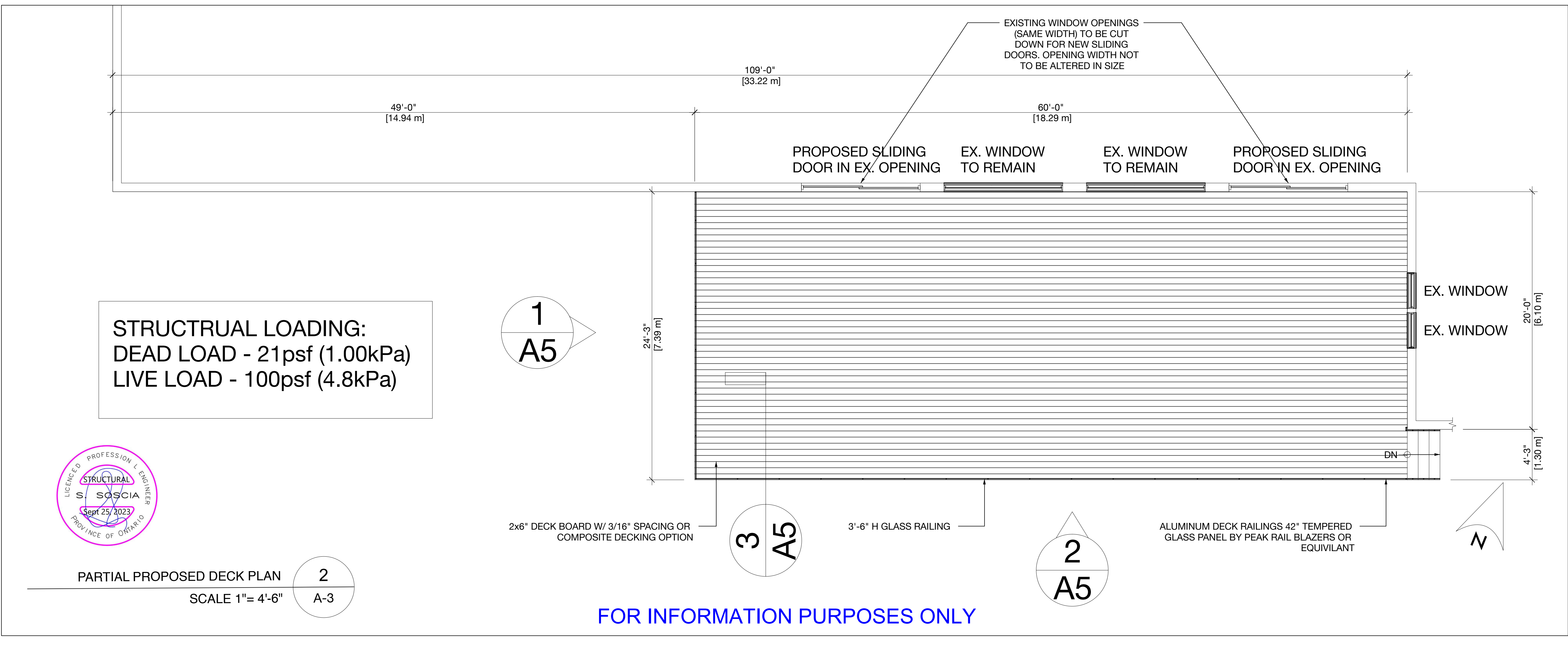
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 PORT CARLING, ONTARIO

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PARTIAL EXISTING FLOOR PLAN **1**
 SCALE 1"= 4'-6" A-3

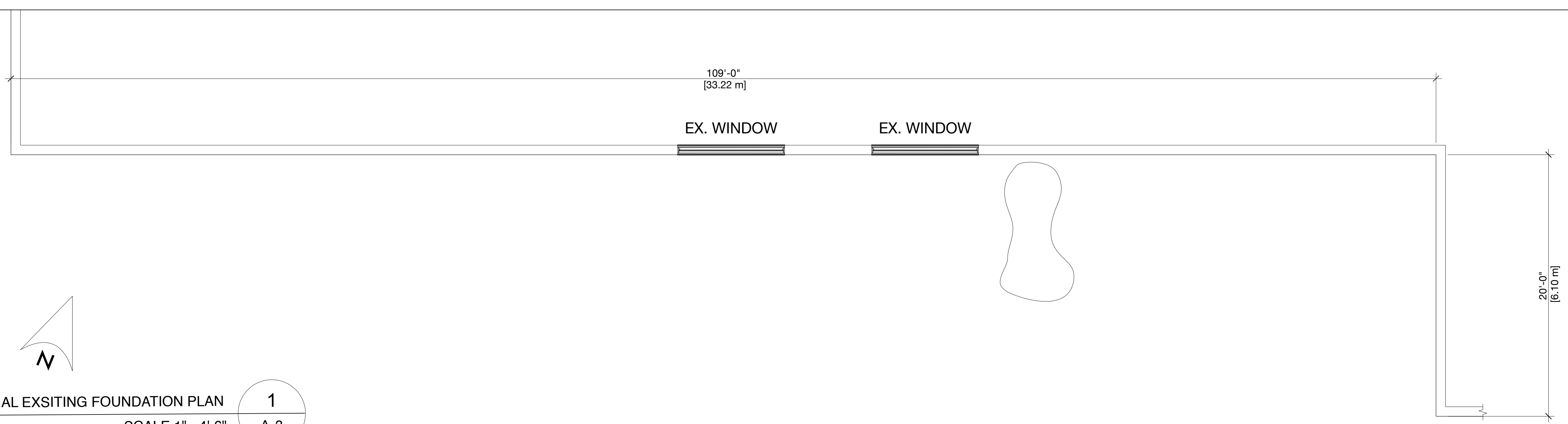


STRUCTURAL LOADING:
 DEAD LOAD - 21psf (1.00kPa)
 LIVE LOAD - 100psf (4.8kPa)



PARTIAL PROPOSED DECK PLAN **2**
 SCALE 1"= 4'-6" A-3

FOR INFORMATION PURPOSES ONLY

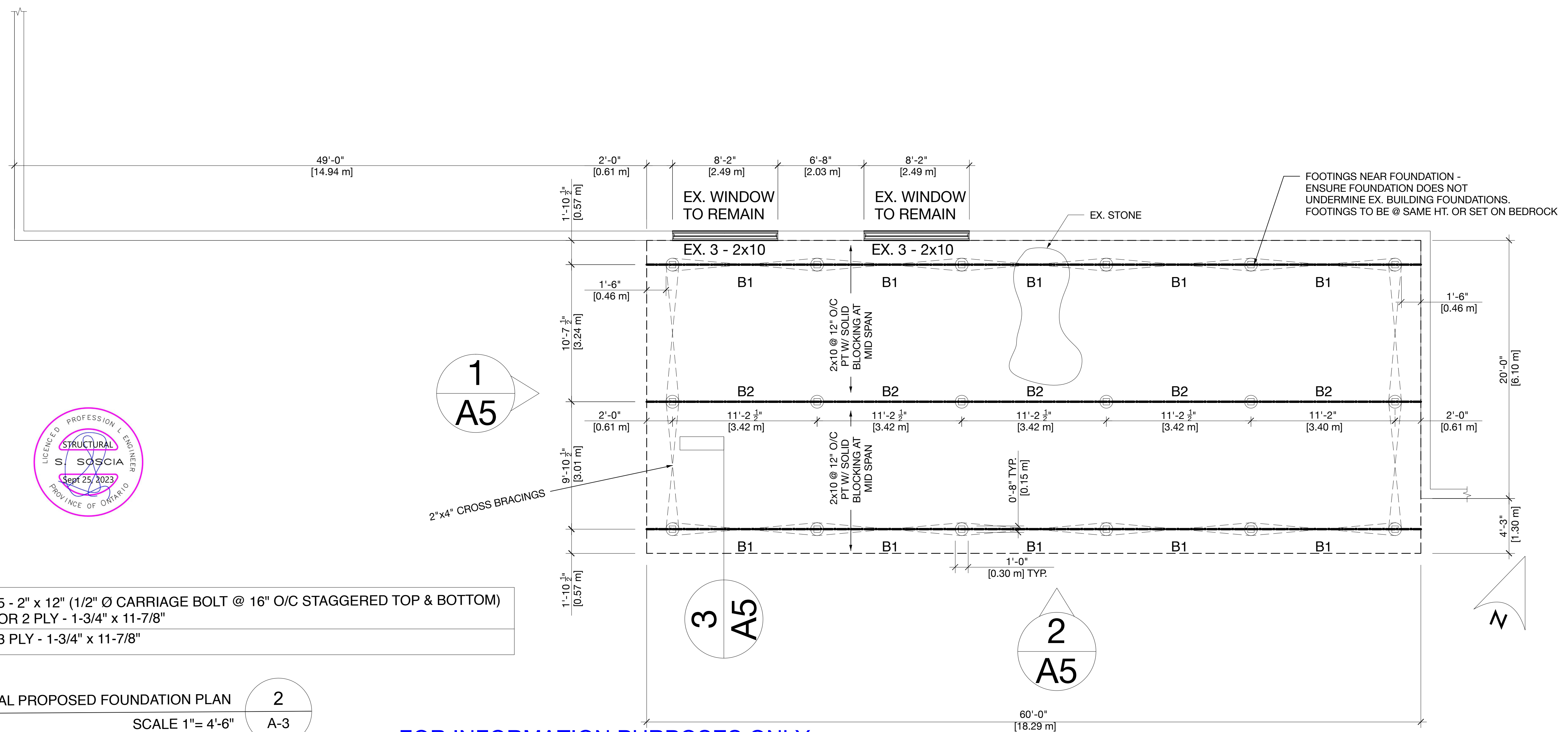
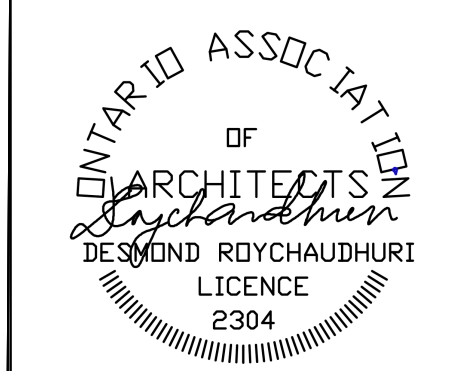


PARTIAL EXISTING FOUNDATION PLAN 1
SCALE 1"= 4'-6" A-3



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B1	5 - 2" x 12" (1/2" Ø CARRIAGE BOLT @ 16" O/C STAGGERED TOP & BOTTOM) OR 2 PLY - 1-3/4" x 11-7/8"
B2	3 PLY - 1-3/4" x 11-7/8"

PARTIAL PROPOSED FOUNDATION PLAN 2
SCALE 1"= 4'-6" A-3

FOR INFORMATION PURPOSES ONLY

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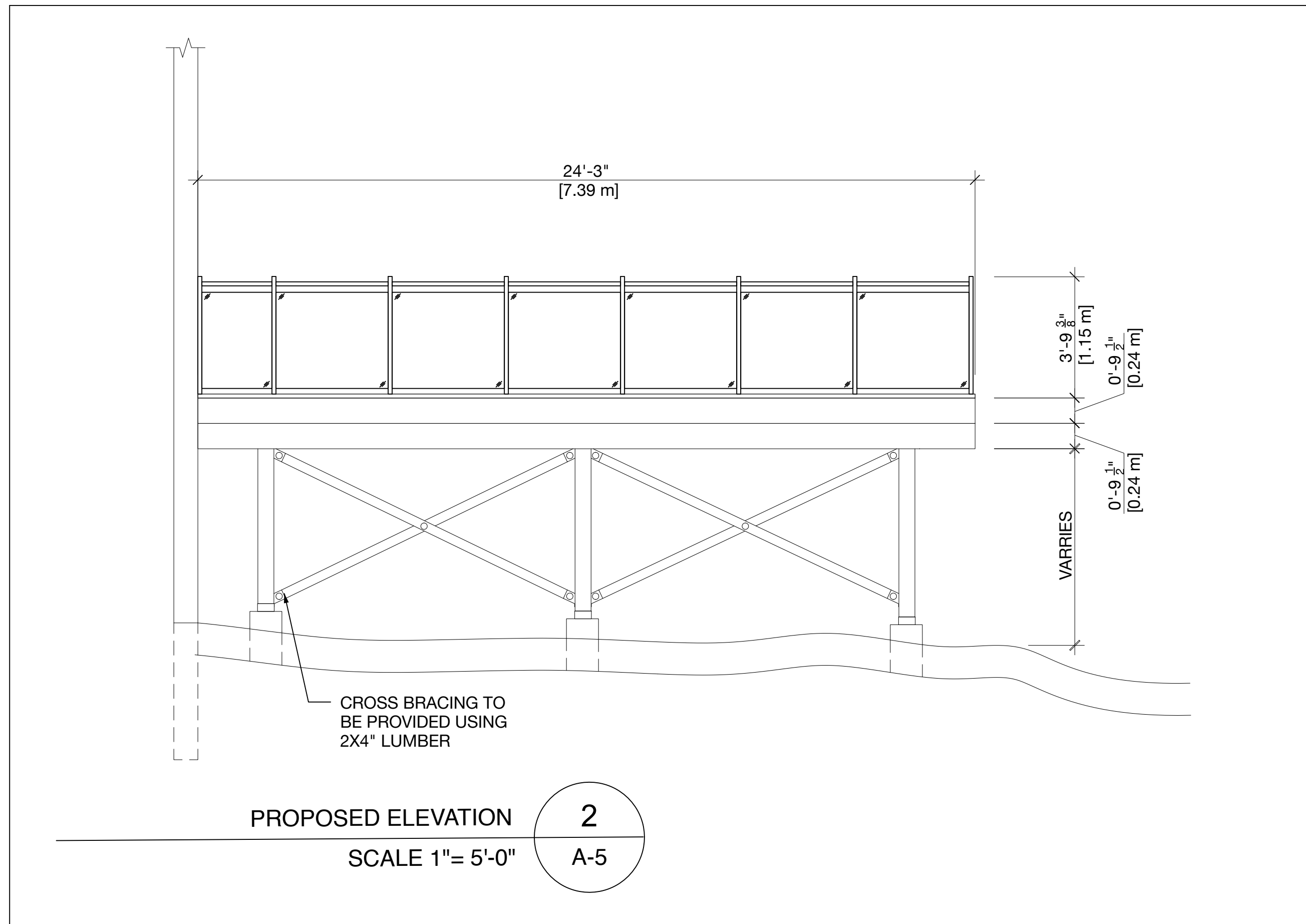
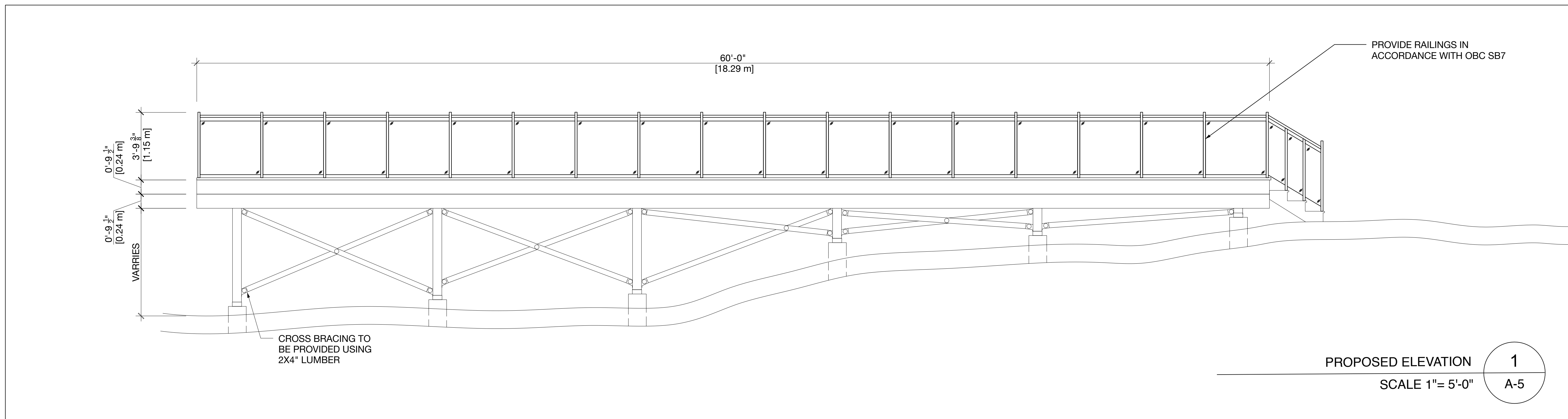
Drawing Title:
EXISTING & PROPOSED PARTIAL FOUNDATION FLOOR PLAN

Project:
PROPOSE EXT. DECK

1231 MORNIUS ROAD
PORT CARLING, ONTARIO

AS SHOWN
AC
DR

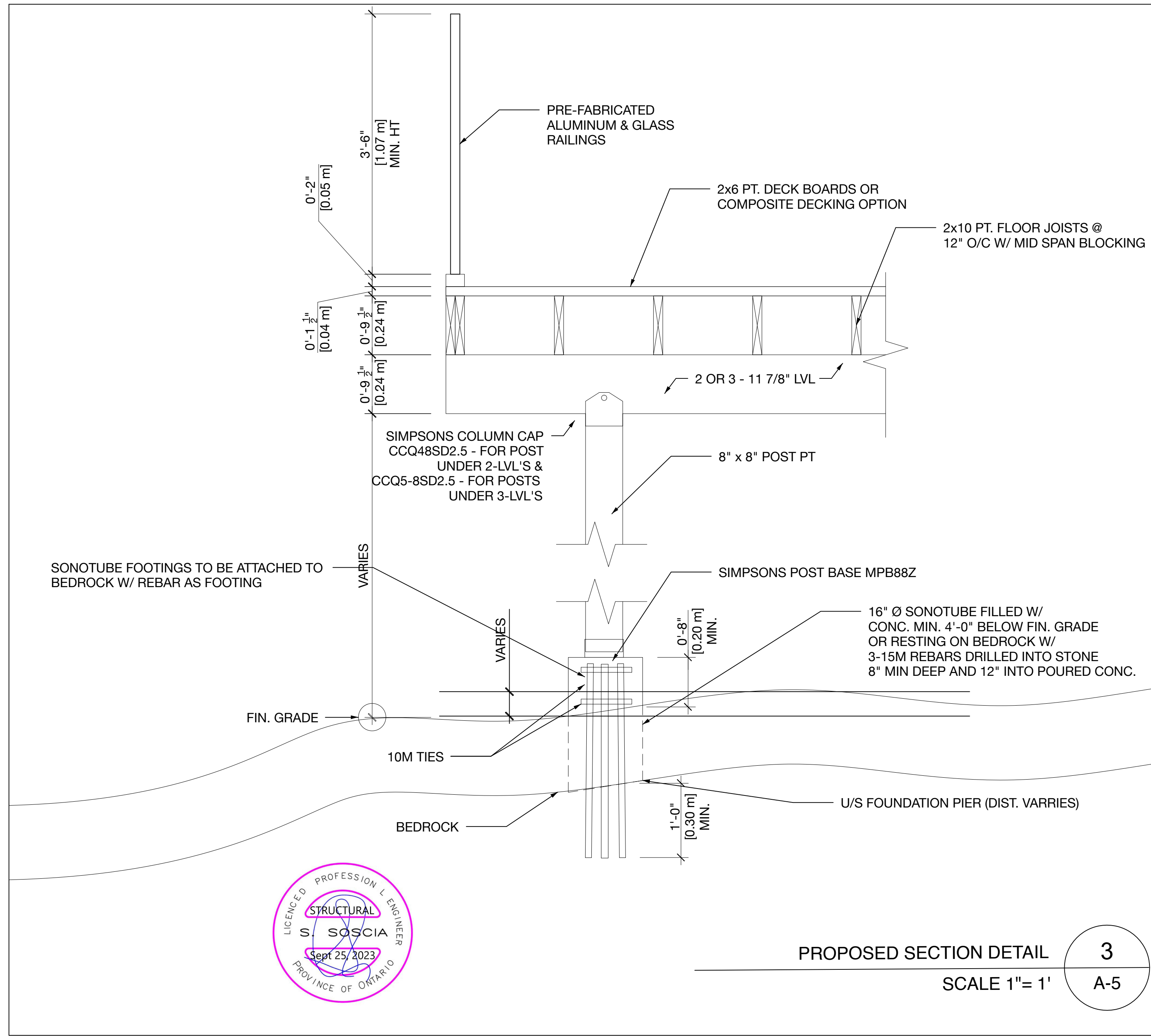
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File No.:
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Plot Date:
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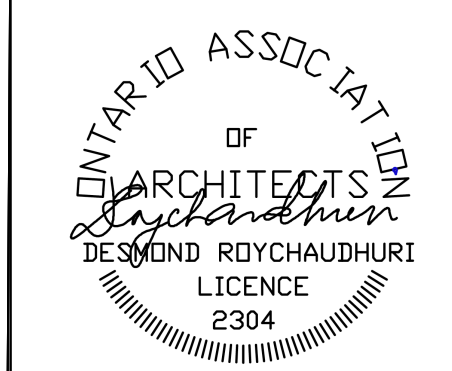
NOT IN USE 4

N/A A-5



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