

**NOTICE OF COMPLETE APPLICATION & NOTICE OF PUBLIC MEETING
CONCERNING A PROPOSED AMENDMENT
ZONING BY-LAW #2023-093
OF THE CORPORATION OF THE TOWNSHIP MUSKOKA LAKES**

TAKE NOTICE THAT THE PLANNING COMMITTEE OF THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES WILL HOLD A PUBLIC MEETING IN PERSON AND ELECTRONICALLY FROM THE COUNCIL CHAMBERS, MUNICIPAL OFFICE, PORT CARLING, ONTARIO

September 14, 2023 at 9:00 am

TO CONSIDER a proposed amendment to Zoning By-law 2014-14 of the Corporation of the Township of Muskoka Lakes pursuant to the provisions of Section 34 of the *Planning Act, R.S.O., 1990*.

TAKE FURTHER NOTICE THAT this public meeting will be held in a hybrid forum with both electronic participation via ZOOM, and in-person participation for those wishing to attend in person. **The meeting will be held in the Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario and will commence at 9:00 a.m. More information about viewing and/or participating via ZOOM is included in this Notice and can be found on our website at www.muskokalakes.ca.** Members of the public may also observe the proceedings by accessing the live webcast at www.muskokalakes.ca. If the live webcast fails, the meeting recording will be posted at <https://muskokalakes.civicweb.net/Portal/>.

This notice has been circulated to all property owners to which the proposed by-law would apply, to every owner of land within 240 metres (800 feet) of the area to which the proposed by-law would apply, and to the appropriate officials and agencies according to *Ontario Regulation 404/83* under the *Planning Act, R.S.O., 1990*.

An explanation of the purpose and effect of this by-law, describing the lands to which the by-law applies, and a key map showing the location of the lands are attached.

All inquiries concerning the proposed amendment should be directed to the Planning Department. ANY PERSON may make verbal representation by participating either in person or via the ZOOM meeting and/or may make written representation prior to the meeting. This representation can be in support of or in opposition to the proposed zoning by-law amendment.

If a person or public body would otherwise have an ability to appeal the decision of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If you wish to be notified of the decision of the Township of Muskoka Lakes on the proposed zoning by-law amendment, you must make a written request to the Township of Muskoka Lakes.

ADDITIONAL INFORMATION relating to the proposed zoning by-law amendment may be available upon request. **Please direct all inquiries to the Planning Department:**

The Corporation of the Township of Muskoka Lakes
1 Bailey Street, P.O. Box 129, Port Carling, Ontario P0B 1J0
Telephone: (705) 765-3156, Fax: (705) 765-6755, Email: planning@muskokalakes.ca

DATED at the Corporation of the Township of Muskoka Lakes this 25th day of **August, 2023**.

Crystal Paroschy, Clerk
of the Corporation of the
Township of Muskoka Lakes

ZBA#:
ROLL#:
NAME:
CIVIC/911 ADDRESS:

ZBA-19/23
5-6-029
2853616 & 2661042 ONTARIO INC.
1160 ISLAND PARK ROAD

EXPLANATION OF THE PURPOSE AND EFFECT OF

ZONING BY-LAW AMENDMENT

**ZBA-19/23, BY-LAW 2023-093, 2853616 & 2661042 ONTARIO INC.,
Roll # 5-6-029**

The land affected by this amendment is described as Lot 34, Concession 4, Part of Lot 11, Plan 7, (in the former Township of Medora), now in the Township of Muskoka Lakes, as shown hatched on Schedule I to By-law 2023-093. The subject land is known municipally as 1160 Island Park Road and is currently in the ownership of 2853616 & 2661042 Ontario Inc.

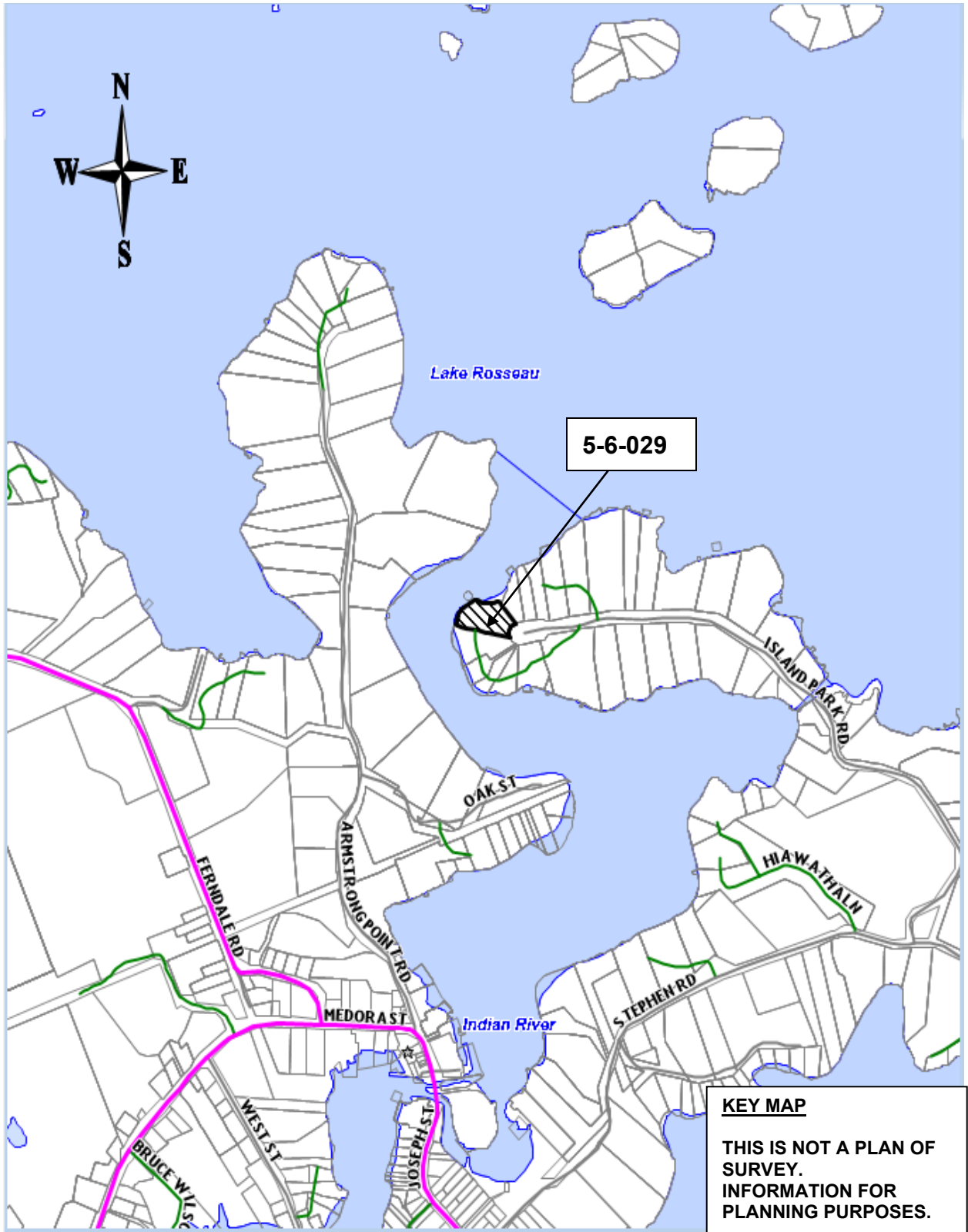
The property contains a dwelling (under construction) and a land-based sleeping cabin. Docks and a two storey boathouse containing a sleeping cabin on the upper level have recently been demolished. The applicants propose to re-construct the land-based sleeping cabin and construct a new enlarged dock and a two storey boathouse containing a sleeping cabin in the upper level.

The purpose of By-law 2023-093 is to provide an exemption from Sections 3.2 a) ii, 3.45 & 4.1.6 i. of By-law 2014-14, as amended, being that one sleeping cabin is permitted and being that an increase in floor area of a dwelling and/or sleeping cabin is not permitted on a lot containing more than one sleeping cabin. If approved, the exemption will permit a two storey boathouse containing a sleeping cabin to be reconstructed/reconfigured in a new location with an increase in floor area of the upper level sleeping cabin. Please note that there is no proposed change to the number of existing habitable buildings on the subject land.

In summary, By-law 2023-93 will have the effect of permitting an increase in floor area of a sleeping cabin in the upper level of a two storey boathouse.

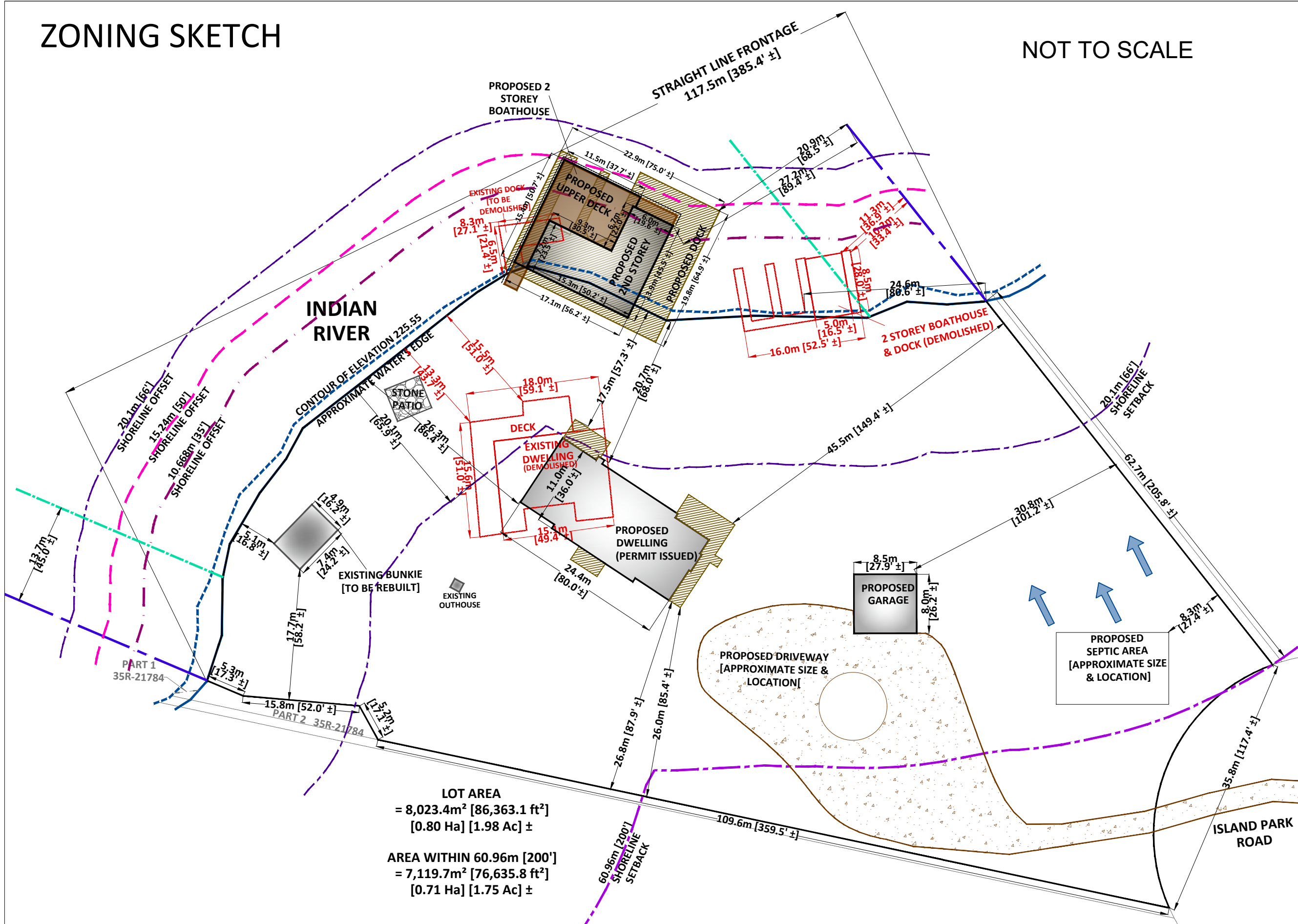
[See Key Map on the Following Page](#)

KEY MAP



ZONING SKETCH

NOT TO SCALE



LOT AREA
 = 8,023.4m² [86,363.1 ft²]
 [0.80 Ha] [1.98 Ac] ±

AREA WITHIN 60.96m [200']
 = 7,119.7m² [76,635.8 ft²]
 [0.71 Ha] [1.75 Ac] ±

SITE PLAN
 1160 ISLAND PARK ROAD
 GEOGRAPHIC TOWNSHIP OF MEDORA
 TOWNSHIP OF MUSKOKA LAKES
 DISTRICT MUNICIPALITY OF MUSKOKA
 PATTMAN

DISCLAIMER
 ALL PROPOSED DEVELOPMENT IS AT APPROXIMATE LOCATIONS AND WILL BE CONFIRMED ON SITE.
 THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE TREATED AS SUCH.

LOT AREA
 = 8,023.4m² [86,363.1 ft²]
 [0.80 Ha] [1.98 Ac] ±

AREA WITHIN 60.96m [200']
 AREA = 7,119.7m² [76,635.8 ft²]
 [0.71 Ha] [1.75 Ac] ±

PROPOSED DEVELOPMENT
 DWELLING = 282.0m² [3,036.0 ft²] ±
 2 STOREY BOATHOUSE = 315.9m² [3,400.7 ft²] ±
 2ND STOREY TOTAL = 60.4m² [647 ft²] ±
 GARAGE = 68.0m² [732.0 ft²] ±

EXISTING DEVELOPMENT TO BE REBUILT
 BUNKIE = 42.4m² [456.0 ft²] ±

EXISTING DEVELOPMENT REMOVED
 2 STOREY BOATHOUSE = 42.0m² [452.1 ft²] ±
 2ND STOREY = 41.8m² [450.41 ft²] ±
 DWELLING = 166.2m² [1,789.0 ft²] ±

TOTAL DEVELOPMENT = 708.3m² [7,624.7 ft²] ±
TOTAL LOT COVERAGE = 8.82%
COVERAGE WITHIN 60.96m [200'] = 9.95%

© This Plan is Protected by Copyright
 No person may copy, reproduce, or alter this plan in whole or in part without authorization from Planscape Inc.



SCALE	PROJECT NO.	DATE INITIATED	BY
1 : 500	815000	JULY 4, 2022	JT

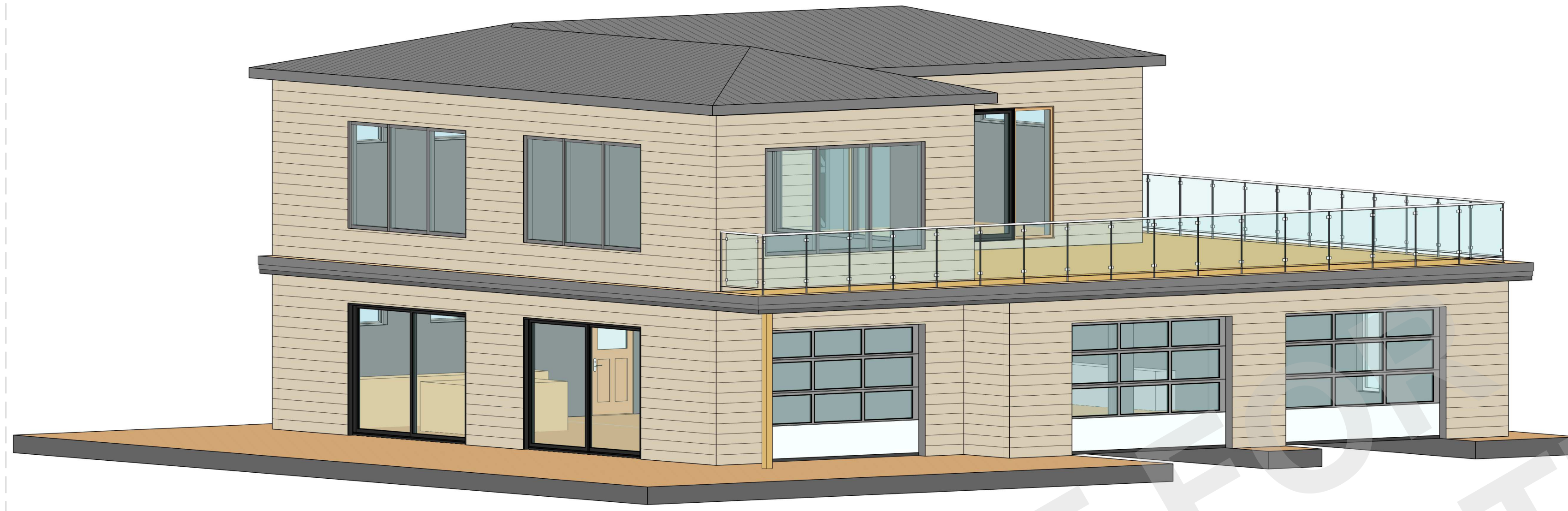
NO.	DATE	REVISIONS	BY
1.	01-MAY-2023	DEVELOPMENT INFORMATION	JT
2.	29-MAY-2023	UPDATE DEVELOPMENT LOCATIONS	JT
3.	06-JUN-2023	REVISE GARAGE	JT
4.	24-JUL-2023	ADD ADDITIONAL DIMENSIONS & DEVELOPMENT INFORMATION	JT

BASE MAP SOURCE:
 GOODRIDGE GOULET - PLANNING AND SURVEYING LTD. - 2022

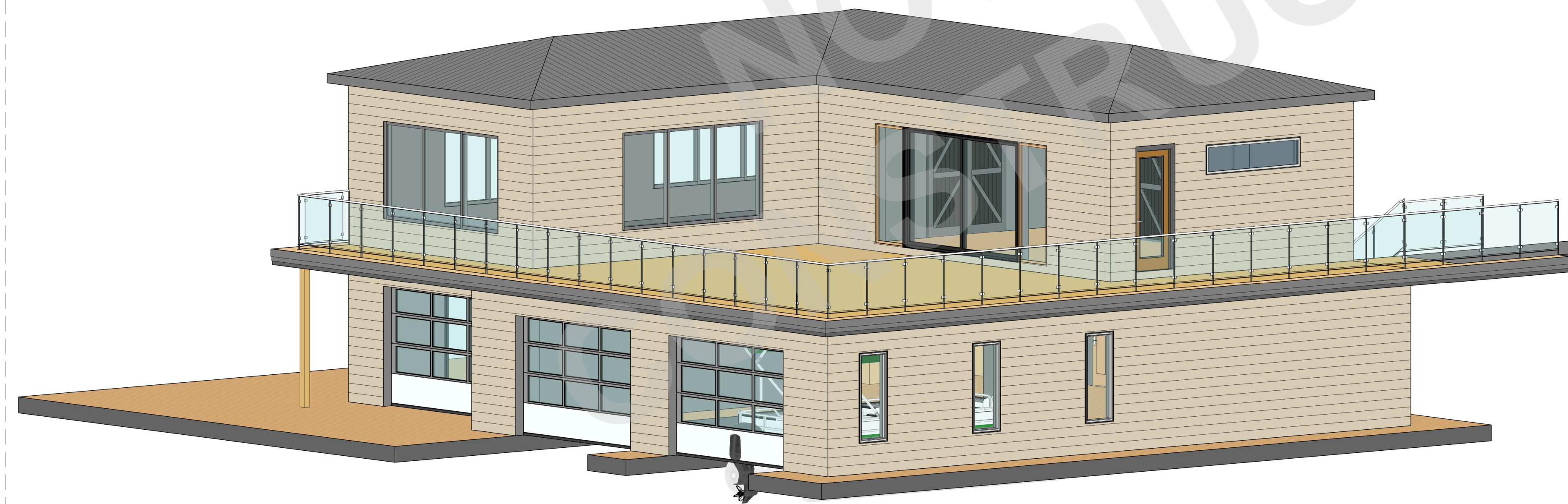
NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY

BOATHOUSE DESIGN



1 RIGHT FRONT SIDE PERSPECTIVE VIEW
N.T.S.



2 LEFT FRONT SIDE PERSPECTIVE VIEW
Scale:

1160 ISLAND PARK ROAD, PORT CARLING, ONTARIO POB 1J0

Note: Rendered images are conceptual only & may not fully represent the completed project.

ADDITIONAL BUILDING INFORMATION

GROSS MAIN FLOOR BOATHOUSE AREA	2,696.53 SQ. FT.	250.51 SQ. M.
GROSS SECOND FLOOR BOATHOUSE AREA	646.98 SQ. FT.	60.11 SQ. M.
TOTAL GROSS AREA - BOATHOUSE	3,343.51 SQ. FT.	310.62 SQ. M.
GROSS SUN DECK SECOND LEVEL FLOOR AREA	1,118.42 SQ. FT.	103.90 SQ. M.
TOTAL GROSS AREA - SUN DECK	1,118.42 SQ. FT.	103.90 SQ. M.
GROSS MAIN LEVEL DOCK AREA	1,816.00 SQ. FT.	168.71 SQ. M.
TOTAL GROSS AREA - DOCK	1,816.00 SQ. FT.	168.71 SQ. M.

DESIGN LOADS & CLIMATIC DATA	
SITE LOCATION	SEGUN (PARRY SOUND), ON
GROUND SNOW LOAD (S _g)	2.8kPa
RAIN SNOW LOAD (S _r)	0.4kPa
ROOF WIDTH > 14'-1"	Yes
SPECIFIED DESIGN SNOW LOAD (S)	1.94kPa
WIND PRESSURE (1/50)	0.39kPa

DRAWING LIST

SHEET No.	SHEET NAME
A000	CONTEXT PAGE
A001	INFORMATION
A200	MAIN FLOOR PLAN
A201	SECOND LEVEL
A300	FRONT & REAR ELEVATION
A301	RIGHT & LEFT ELEVATION
A400	ROOF PLAN & RCP
A500	BUILDING SECTION
A501	BUILDING SECTION
A600	DETAILS
S100	INFORMATION
S200	STRUCTURAL FRAMING - BOATHOUSE
S201	STRUCTURAL - 2ND FLOOR

1. THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO STEENHOF BUILDING SERVICES GROUP PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.
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4. FOR CONSTRUCTION PURPOSES, USE ONLY THE LATEST APPROVED DRAWINGS LABELLED "ISSUED FOR CONSTRUCTION". DO NOT SCALE THE DRAWINGS.
5. DIMENSIONS ARE TO THE INSIDE FACE OF STUD AND OUTSIDE FACE OF EXTERIOR FINISHED U.N.O

REVISION SCHEDULE

No.	DESCRIPTION	DATE
1	ISSUED FOR CLIENT REVIEW	2023-01-09
2	ISSUED FOR CLIENT REVIEW	2023-01-27
3	ISSUED FOR REVIEW	2023-04-11
4	ISSUED FOR REVIEW	2023-08-10
5	ISSUED FOR REVIEW	2023-08-23

Project Status:

PRELIMINARY

Seal:



Steenhof Building Services Group
40 Peter Street South
Orillia, ON L3V 5A9
Tel: 705-325-5400 Fax: 705-325-8400
Website: www.steenhofbuilding.com

Project:

BOATHOUSE DESIGN

Address:

1160 ISLAND PARK ROAD, PORT CARLING, ONTARIO POB 1J0

Project No.:

220482

Drawn By: K.FARDY Date: APRIL 2023

Chkd By: S.TAYLOR Scale: As indicated

Drawing No.:

A000

Revision:

5

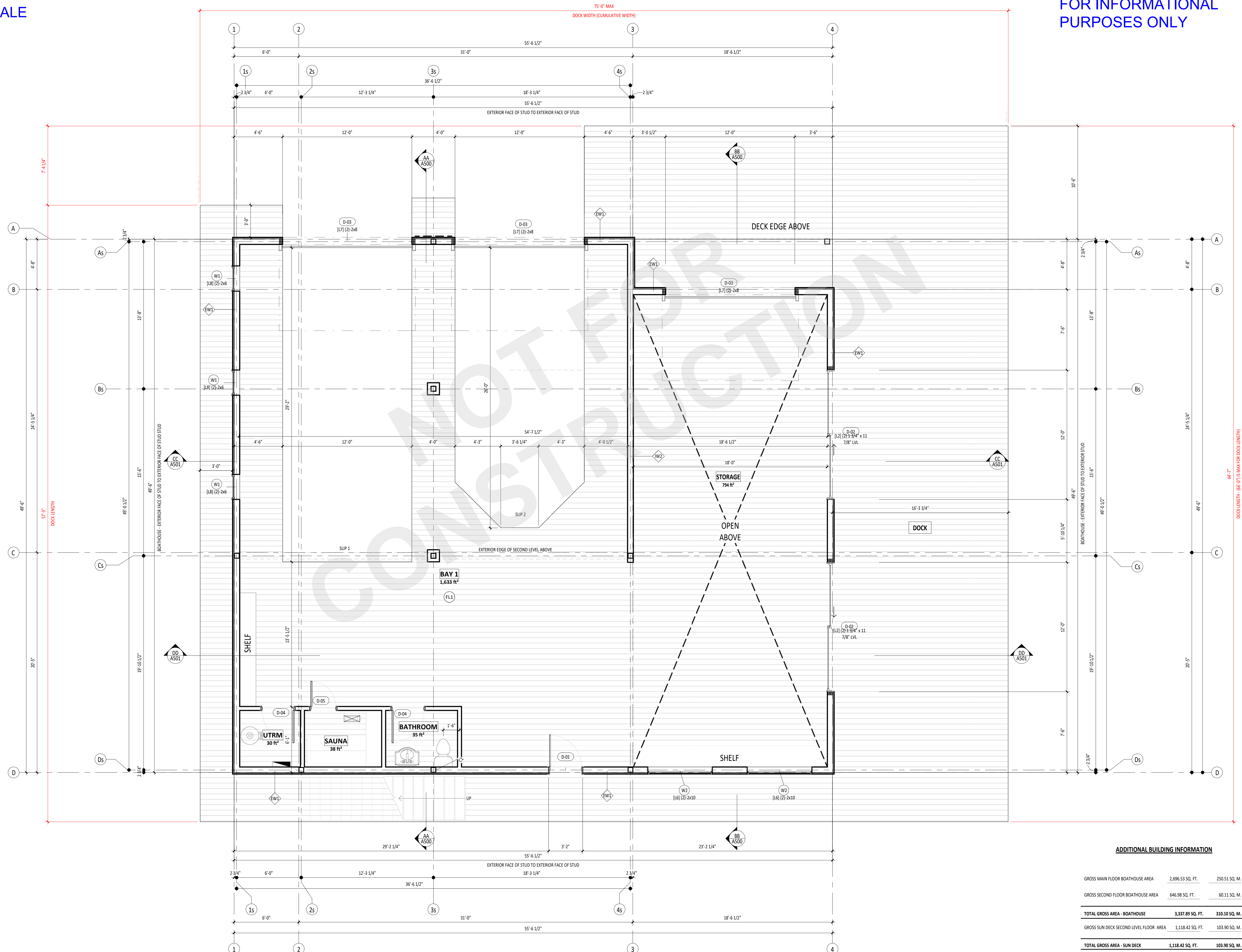
CONTEXT PAGE

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6	ISSUED FOR REVIEW	2023-08-10
7	ISSUED FOR REVIEW	2023-08-23



1 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

ADDITIONAL BUILDING INFORMATION

GROSS MAIN FLOOR BOATHOUSE AREA	2,696.53 SQ. FT.	250.51 SQ. M.
GROSS SECOND FLOOR BOATHOUSE AREA	646.98 SQ. FT.	60.11 SQ. M.
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Project Status:
PRELIMINARY

Seal:



Steenhof Building Services Group
40 Peter Street South
Orillia, ON L3V 5A5
Tel: 705-325-5400 Fax: 705-325-8400
Website: www.steenhofbuilding.com

Project:
BOATHOUSE DESIGN
Address:
1160 ISLAND PARK ROAD, PORT CARLING, ONTARIO P9B 1J0
Project No:
220482
Drawn By: K.FARDY Date: APRIL 2023
Chkd By: S.TAYLOR Scale: As indicated
Drawing No.:
A200

MAIN FLOOR PLAN
Revision:
7

V:\Projects\2022\220482 - 2 Storey Boathouse Design (RES) - Lisa Pittman & Aca Shahi\Drawings\Architectural\220482 - Area and Lake Boathouse - CURRENT 2023.03.22.rvt

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7	ISSUED FOR REVIEW	2023-08-23

Project Status: **PRELIMINARY**

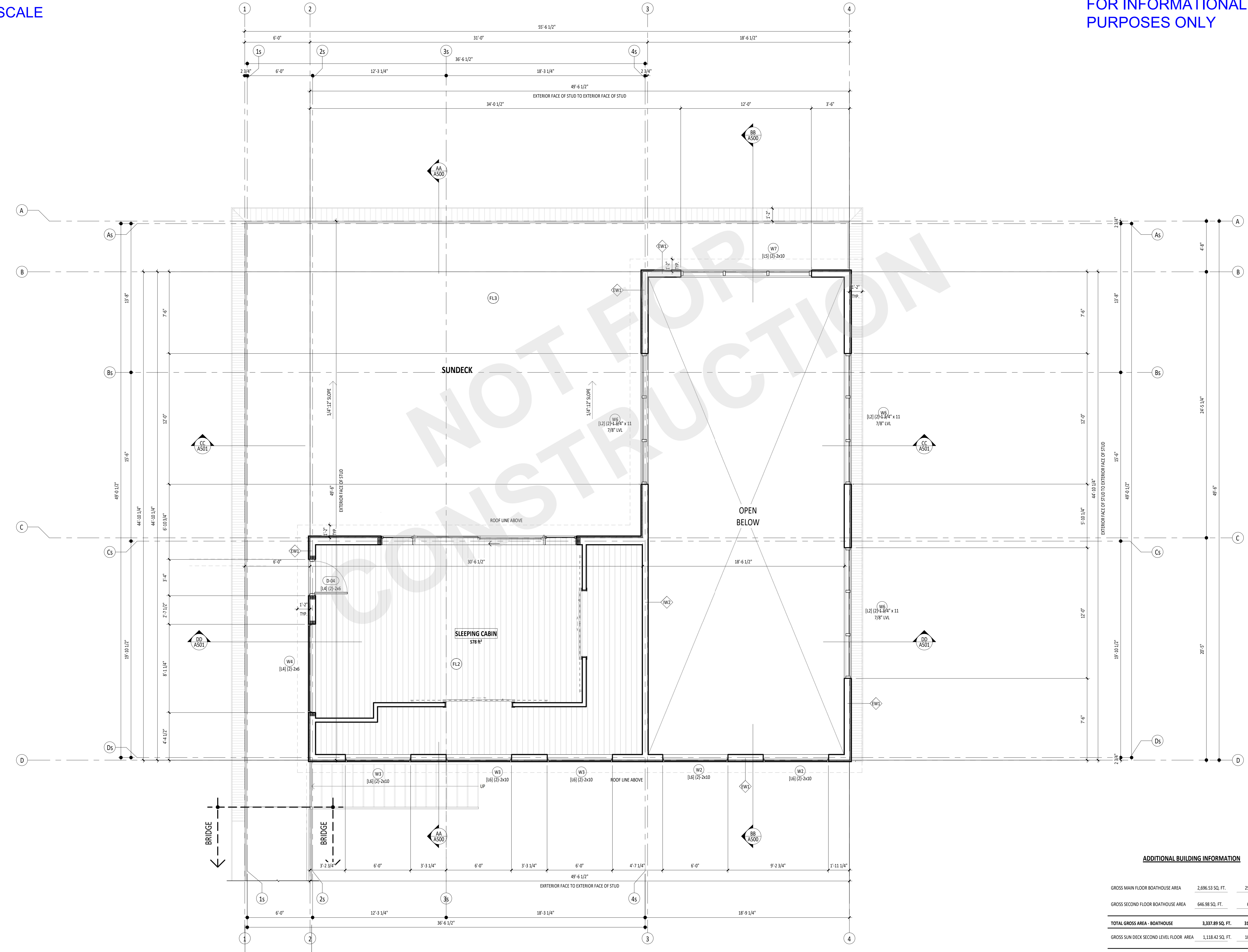
Seal:



Steenhof Building Services Group
 40 Peter Street South
 Orillia, ON L3V 5A5
 Tel: 705-325-5400 Fax: 705-325-8400
 Website: www.steenhofbuilding.com

Project: **BOATHOUSE DESIGN**
 Address: 1160 ISLAND PARK ROAD, PORT CARLING, ONTARIO P9B 1J0
 Project No: **220482**
 Drawn By: K.FARDY Date: APRIL 2023
 Chkd By: S.TAYLOR Scale: As indicated
 Drawing No.: **A201**

SECOND LEVEL



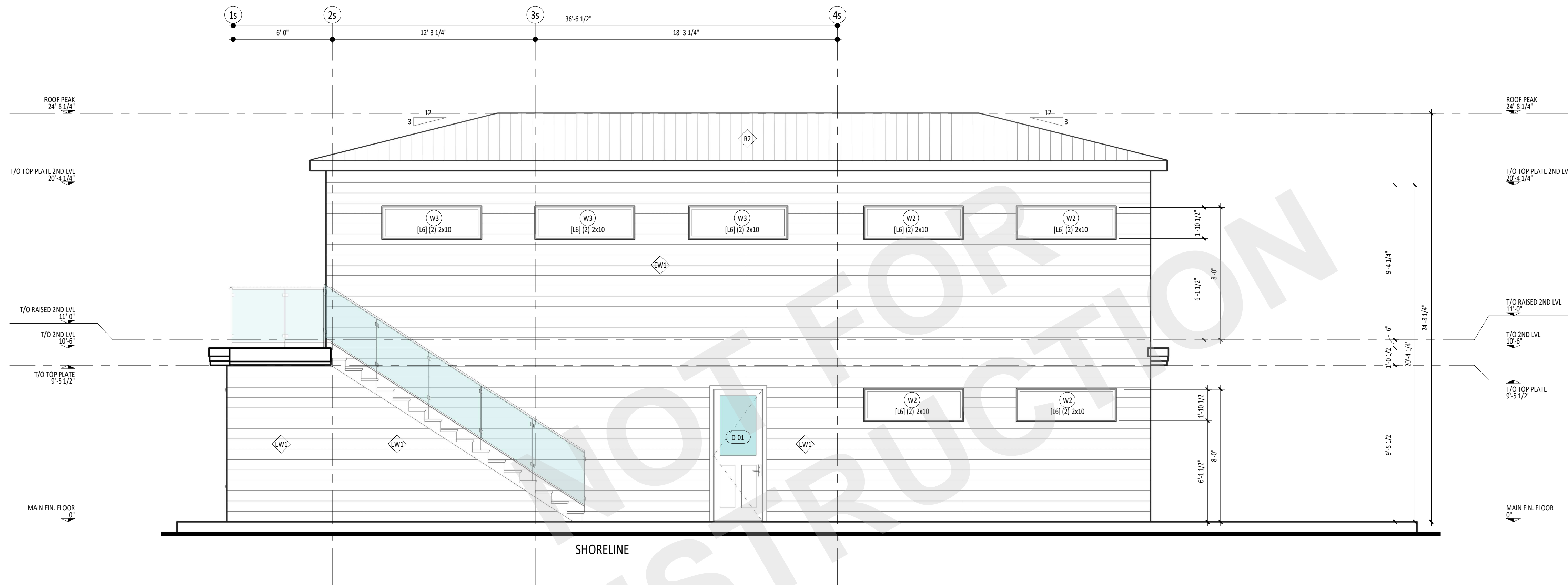
1 2ND FLOOR LEVEL
Scale: 1/4" = 1'-0"

ADDITIONAL BUILDING INFORMATION

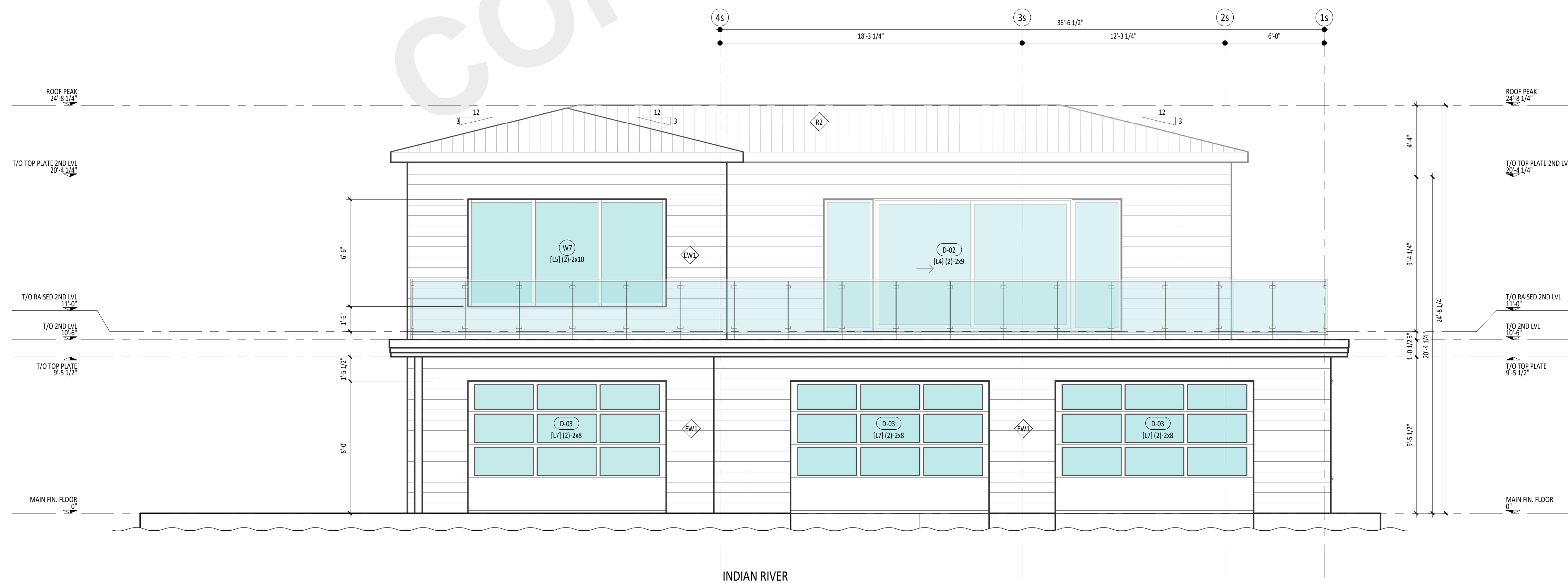
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V:\Projects\2022\220482 - 2 Storey Boathouse Design (RES) - Lisa Peirson & Aza Shah (Drawing Architectural)\220482 - Area and Lake Boathouse - CURRENT 2023.03.22.rvt

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1 REAR ELEVATION
Scale: 1/4" = 1'-0"



3 FRONT ELEVATION
Scale: 1/4" = 1'-0"

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Project Status:
PRELIMINARY

Seal:



Steenhof Building Services Group
40 Peter Street South
Orillia, ON L3V 5A5
Tel: 705-325-8400 Fax: 705-325-8400
Website: www.steenhofbuilding.com

Project:
BOATHOUSE DESIGN
Address:
1100 ISLAND PARK ROAD, PORT CARLING, ONTARIO P0B 1J0
Project No:
220482

Drawn By: K.FARDY Date: APRIL 2023
Chkd By: S.TAYLOR Scale: 1/4" = 1'-0"

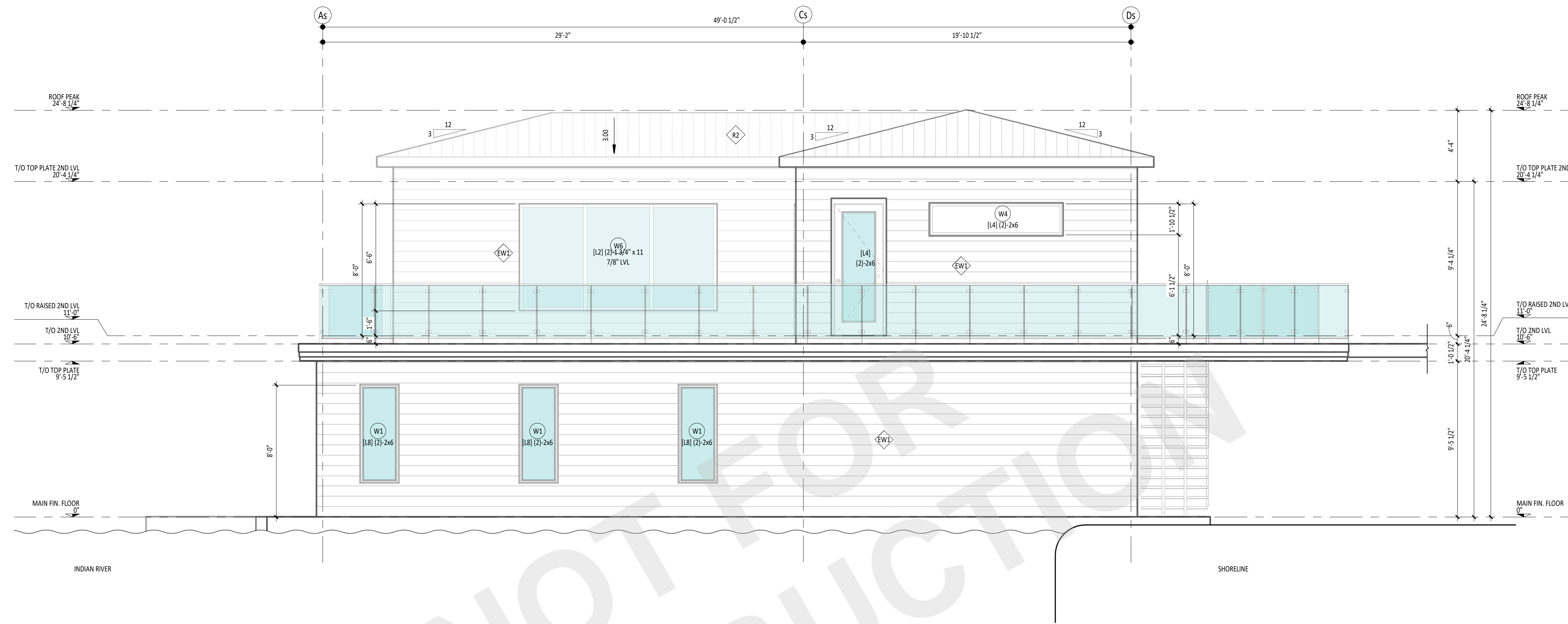
Drawing No.:
A300

FRONT & REAR ELEVATION

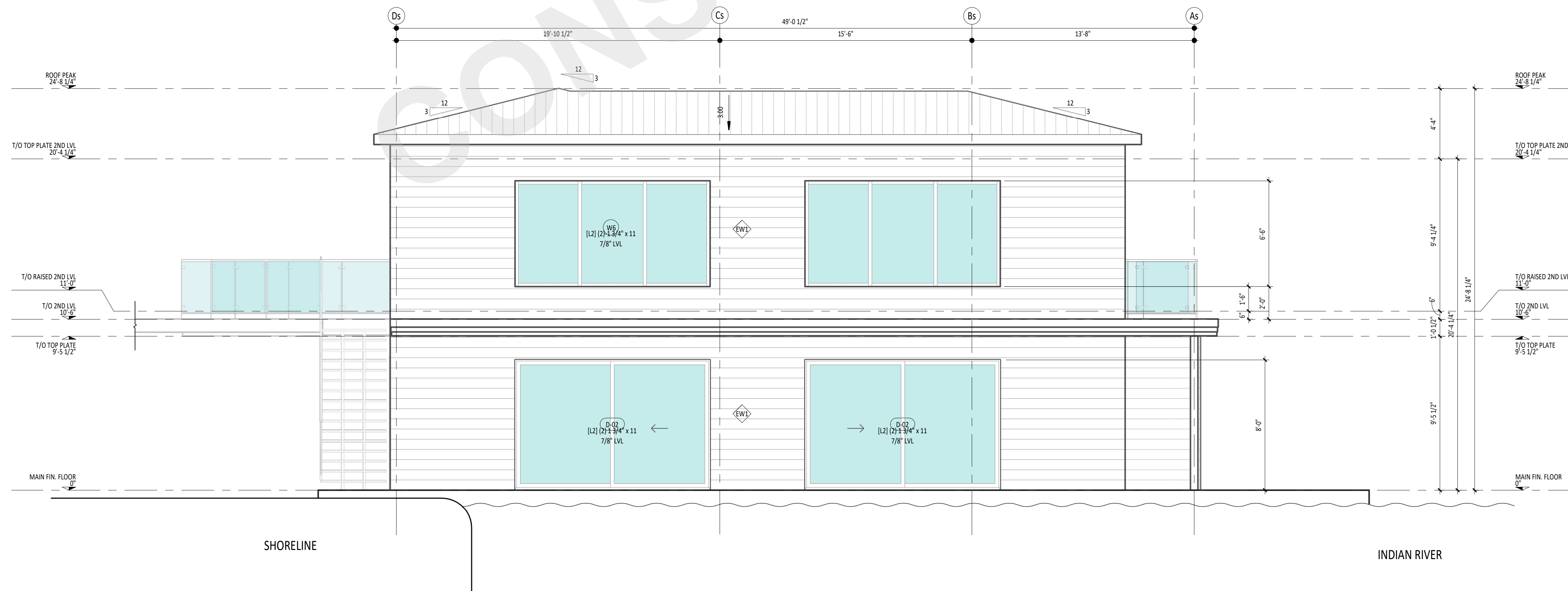
Revision:
7

NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY



2 LEFT ELEVATION
Scale: 1/4" = 1'-0"



1 RIGHT ELEVATION
Scale: 1/4" = 1'-0"

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Seal:



Steenhof Building Services Group
40 Peter Street South
Orillia, ON L3V 5A5
Tel: 705-325-8400 Fax: 705-325-8400
Website: www.steenhofbuilding.com

Project:
BOATHOUSE DESIGN

Address:
1100 ISLAND PARK ROAD, FORT CARLING, ONTARIO P0R 1J0

Project No:
220482

Drawn By: K.FARDY Date: APRIL 2023
Chkd By: S.TAYLOR Scale: 1/4" = 1'-0"

Drawing No.:
A301

RIGHT & LEFT ELEVATION

Dwg Title:
Revision:

7

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

BY-LAW 2023-093

Being a By-law to amend Comprehensive Zoning By-law 2014-14, as amended, in the Township of Muskoka Lakes

WHEREAS the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

AND WHEREAS By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

AND WHEREAS the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES ENACTS AS FOLLOWS:

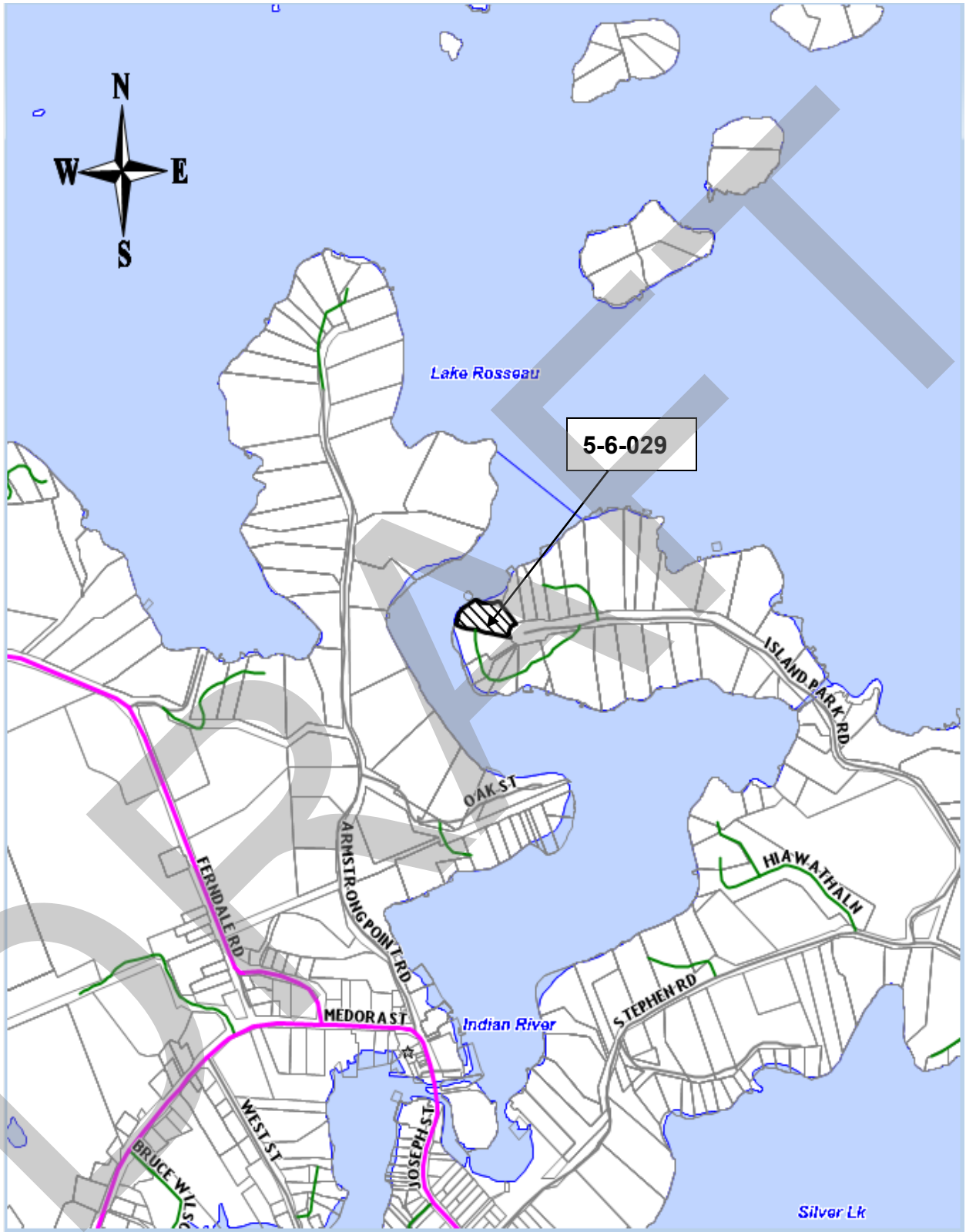
1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:
 - 87-2089 i) The land affected by this amendment is described as Lot 34, Concession 4, (in the former Township of Medora), now in the Township of Muskoka Lakes, more particularly described as Part of Lot 11, Plan 7, as shown hatched on Schedule I to By-law 2023-093.
 - ii) Despite the provisions of Section 3.2 a) ii., 3.45 and 4.1.6 i. of By-law 2014-14, as amended, for those lands described above, an increase in floor area of a sleeping cabin in the upper level of a two storey boathouse is permitted, as shown in the location and extent of Schedule II to By-law 2023-093.
2. Schedules I and II attached hereto are hereby made part of this By-law.
3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2023-093 and By-law 2014-14, as amended, the provisions of By-law 2023-093 shall apply.

Read a **first, second and third time** and **finally passed** this ___ day of _____, 2023.

Peter Kelley, Mayor

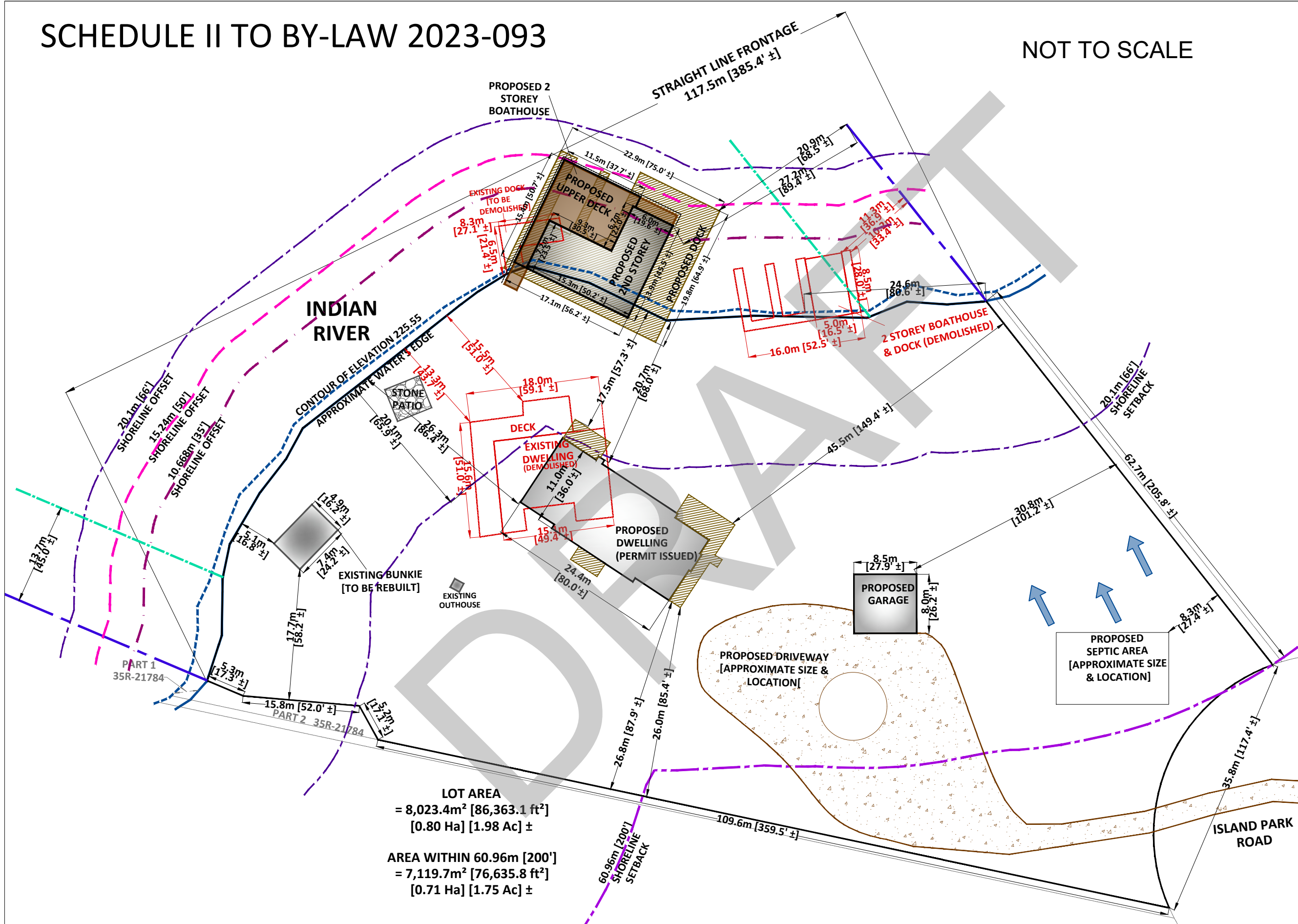
Crystal Paroschy, Clerk

SCHEDULE I TO BY-LAW 2023-093



SCHEDULE II TO BY-LAW 2023-093

NOT TO SCALE



SITE PLAN
 1160 ISLAND PARK ROAD
 GEOGRAPHIC TOWNSHIP OF MEDORA
 TOWNSHIP OF MUSKOKA LAKES
 DISTRICT MUNICIPALITY OF MUSKOKA
 PATTMAN

DISCLAIMER
 ALL PROPOSED DEVELOPMENT IS AT APPROXIMATE LOCATIONS AND WILL BE CONFIRMED ON SITE.
 THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE TREATED AS SUCH.

LOT AREA
 = 8,023.4m² [86,363.1 ft²]
 [0.80 Ha] [1.98 Ac] ±

AREA WITHIN 60.96m [200']
 AREA = 7,119.7m² [76,635.8 ft²]
 [0.71 Ha] [1.75 Ac] ±

PROPOSED DEVELOPMENT
 DWELLING = 282.0m² [3,036.0 ft²] ±
 2 STOREY BOATHOUSE = 315.9m² [3,400.7 ft²] ±
 2ND STOREY TOTAL = 60.4m² [647 ft²] ±
 GARAGE = 68.0m² [732.0 ft²] ±

EXISTING DEVELOPMENT TO BE REBUILT
 BUNKIE = 42.4m² [456.0 ft²] ±

EXISTING DEVELOPMENT REMOVED
 2 STOREY BOATHOUSE = 42.0m² [452.1 ft²] ±
 2ND STOREY = 41.8m² [450.41 ft²] ±
 DWELLING = 166.2m² [1,789.0 ft²] ±

TOTAL DEVELOPMENT = 708.3m² [7,624.7 ft²] ±
TOTAL LOT COVERAGE = 8.82%
COVERAGE WITHIN 60.96m [200'] = 9.95%

LOT AREA
 = 8,023.4m² [86,363.1 ft²]
 [0.80 Ha] [1.98 Ac] ±

AREA WITHIN 60.96m [200']
 = 7,119.7m² [76,635.8 ft²]
 [0.71 Ha] [1.75 Ac] ±

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SCALE	PROJECT NO.	DATE INITIATED	BY
1 : 500	815000	JULY 4, 2022	JT

NO.	DATE	REVISIONS	BY
1.	01-MAY-2023	DEVELOPMENT INFORMATION	JT
2.	29-MAY-2023	UPDATE DEVELOPMENT LOCATIONS	JT
3.	06-JUN-2023	REVISE GARAGE	JT
4.	24-JUL-2023	ADD ADDITIONAL DIMENSIONS & DEVELOPMENT INFORMATION	JT

BASE MAP SOURCE:
 GOODRIDGE GOULET - PLANNING AND SURVEYING LTD. - 2022