



Box 129, Port Carling, ON, POB 1JO
 Telephone (705) 765-3156
 Fax (705) 765-6755

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES
COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING OF APPLICATION FOR MINOR VARIANCE

This notice has been sent to you for your information and does not require any response unless you wish to make one.

TAKE NOTICE THAT the Committee of Adjustment for The Corporation of the Township of Muskoka Lakes will be considering the following proposed minor variance to Zoning By-Law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O. 1990, c. P.13.

Hearing Date: Monday, September 11th, 2023 at 9:00 a.m.

File #.: A-41/23

Roll #: 2-10-009

Civic Address: 1022 Cowan Park Road

Owners: Dwayne Buhrow and Dianne McMillan, 1022 Cowan Park Road, Utterson, ON, P0B 1J0

Legal Description: Part of Lot 20, Concession 6, (Medora)

Lake/River: Three Mile Lake (Category 4)

Zoning: Waterfront Residential (WR4)

Zoning Schedule: 23

EXPLANATION OF THE PURPOSE AND EFFECT: The applicants propose to remove an existing gazebo, demolish an existing sundeck, and construct a new dwelling addition and shed.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.3 and 4.1.3.5	Construct a Dwelling Addition within the Required Front Yard Setback	50 ft.	38 ft.	12 ft.
B	4.1.3 and 4.1.3.6	Maximum Lot Coverage Over Entire Lot	1,082 sq. ft. (8%)	1,108 sq. ft. (8.2%)	26 sq. ft.
C	4.1.3	Construct a Shed within the Required Side Yard Setback	15 ft.	13.5 ft.	1.5 ft.
D	3.4.1 e.	Construct a New Shed on an Undersized Lot	15,000 sq. ft.	13,525 sq. ft.	Construct a New Shed on an Undersized Lot

Please note that Variance 'D', if granted, will not deem the subject property a 'building lot.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

TAKE FURTHER NOTICE that this public hearing will be held in a hybrid forum with electronic ZOOM participation, and in-person format for those wish to attend in person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, Ontario, and will commence at 9:00 a.m.** More information about viewing and/or participating in the ZOOM hearing is included in this Notice and can be found on our website at www.muskokalakes.ca.

ADDITIONAL INFORMATION relating to the proposed variance application is available from the Planning Department week days between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705)765-3156, by Fax at (705) 765-6755, or by mail at The Corporation of the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

Please quote the file number noted above.

YOU OR YOUR REPRESENTATIVE are entitled to participate in this public hearing and make verbal representation and/or make written representation prior to the meeting. Comments can be submitted by emailing planning@muskokalakes.ca or by regular mail or the Municipal Office drop box outside the main entrance to the Municipal Office located at 1 Bailey St., Port Carling.

IF YOU WISH TO SPEAK to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Committee of Adjustment.

NO ONE OTHER THAN the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

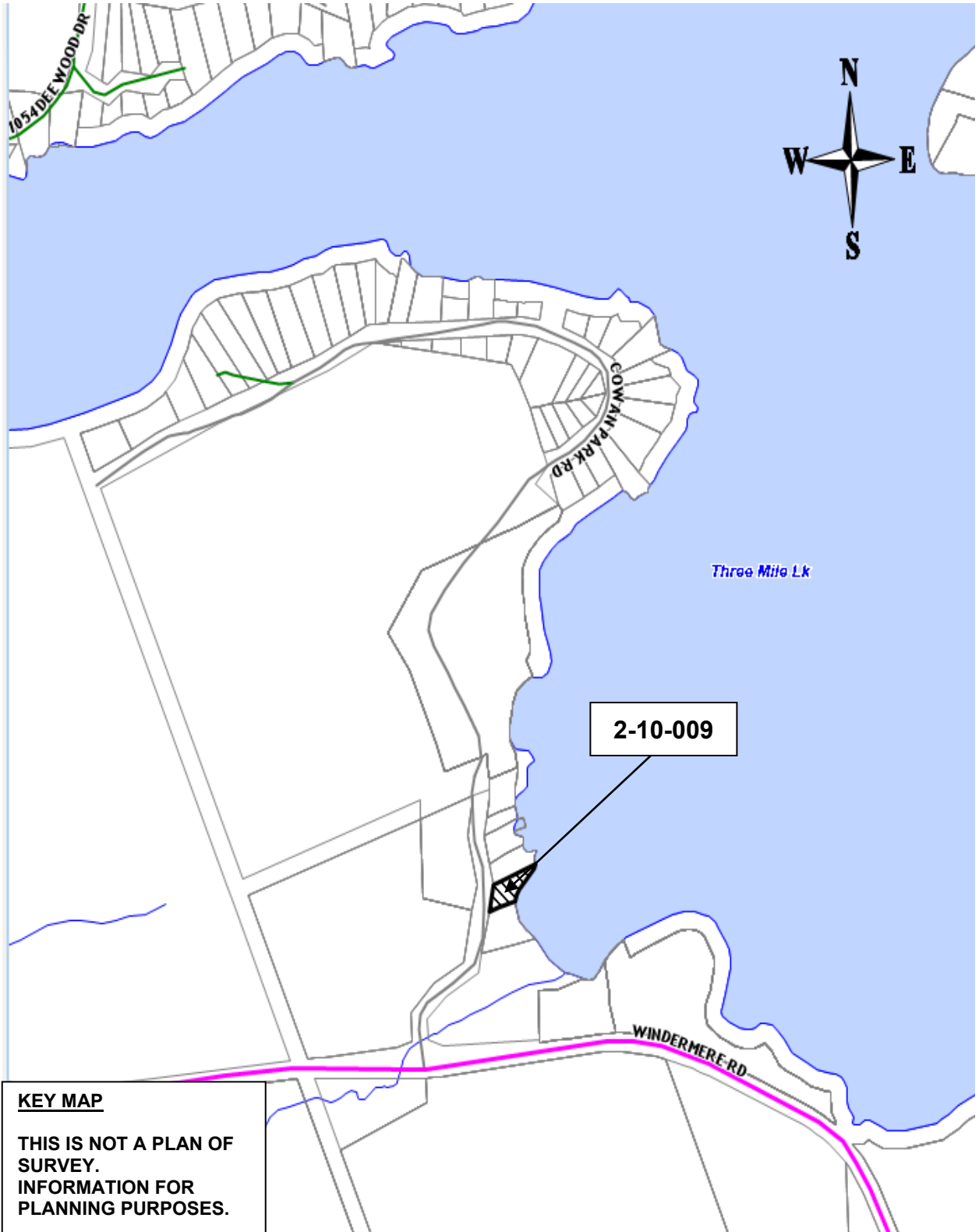
THE HEARING will be live-streamed on the Township's live webcast at: www.muskokalakes.ca If the live webcast fails, the meeting recording will be posted at: <https://muskokalakes.civicweb.net/Portal/>

PLEASE NOTE: THE COMMITTEE OF ADJUSTMENT IS A JUDICIAL BODY WHICH MAKES DECISIONS SOLELY ON INFORMATION GATHERED AS A COMMITTEE. COMMITTEE MEMBERS ARE NOT TO BE CONTACTED PRIOR TO THE HEARING DATE TO AVOID A CONFLICT OF INTEREST.

Dated this 30th day of August, 2023.

"Original Signed by K. Bavington"
Kitty Bavington,
Secretary-Treasurer
Committee of Adjustment

KEY MAP



KEY MAP
**THIS IS NOT A PLAN OF SURVEY.
INFORMATION FOR PLANNING PURPOSES.**

ZONING DETAILS	
ZONING	WR4
LOT AREA	13,525 ft ²
AREA WITHIN 200' OF HW MARK	13,525 ft ²
MAX. LOT COVERAGE	8%
MIN. FRONT YARD SETBACK	66'
MIN. INT. SIDE YARD SETBACK	15'
MIN. EXT. SIDE YARD SETBACK	30'
MIN. REAR YARD SETBACK	15'
MAX. HEIGHT	35'
MAX. HEIGHT ACCESSORY	25'

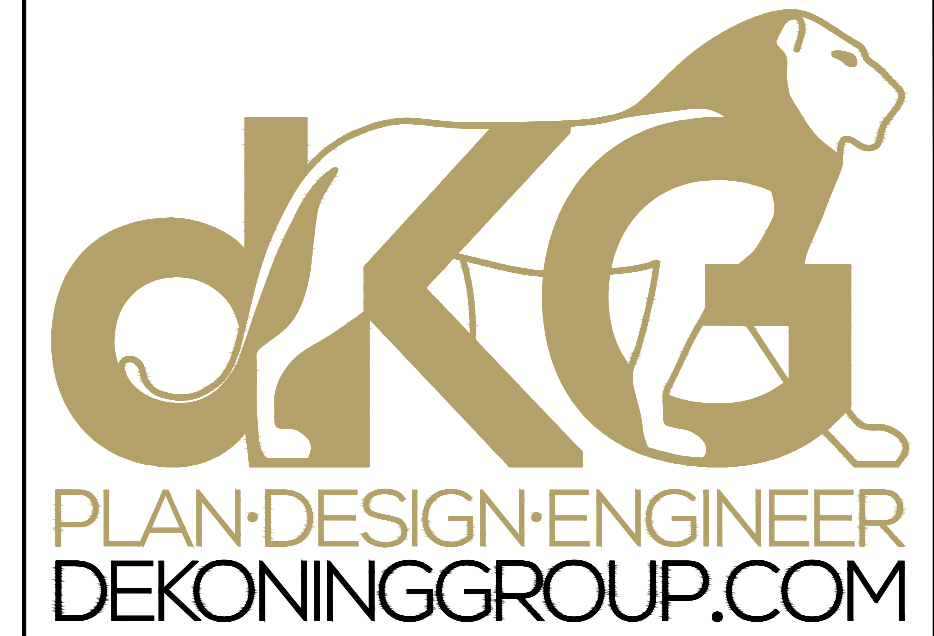
EXISTING LOT AREA DETAILS		
DEFINITION	AREA (ft ²)	% COVERAGE
TOTAL LOT AREA	13,525	-
AREA WITHIN 200' OF HW MARK	13,525	-
EXISTING STRUCTURES		
COTTAGE W COVERED PORCH	673	5.0%
DOCK	240	-
EXISTING TOTAL	673	5.0%

PROPOSED LOT AREA DETAILS		
DEFINITION	AREA (ft ²)	% COVERAGE
TOTAL LOT AREA	13,525	-
AREA WITHIN 200' OF HW MARK	13,525	-
PROPOSED STRUCTURES		
COTTAGE	1050	7.8%
WATERLOO BIOFILTER SHED	57.2	0.4%
PROPOSED TOTAL	1107.2	8.2%

SITE PLAN

NOT TO SCALE

STRAIGHT LINE FRONTAGE AS INDICATED IN APPLICATION = 131 FT.



705.640.3800
 INFO@DEKONINGGROUP.COM
 3 ARMSTRONG POINT ROAD
 PORT CARLING, ONTARIO
 POB 1J0

PROFESSIONAL ENGINEER

BCIN REGISTRATION INFORMATION
 DE KONING GROUP INC. 124300
 FIRM NAME FIRM BCIN

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE.

No.	Revision/Issue Column	Date
4	REVISED FOR MINOR VARIANCE	AUG 28 2023
3	ISSUED FOR MINOR VARIANCE	JUL 14 2023
2	ISSUED FOR REVIEW	JUN 28 2023
1	ISSUED FOR REVIEW	MAY 26 2023

CLIENT
VARITY

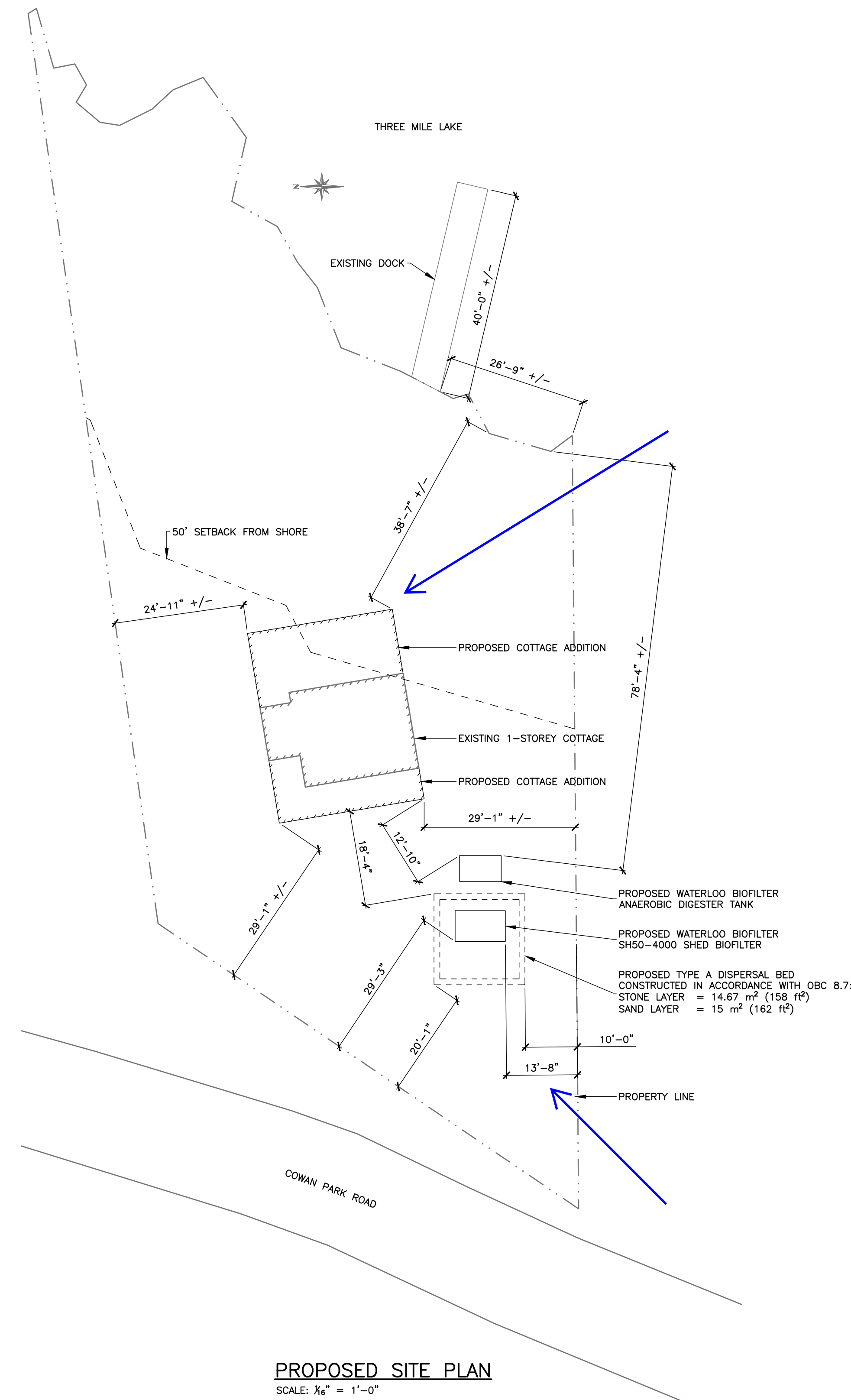
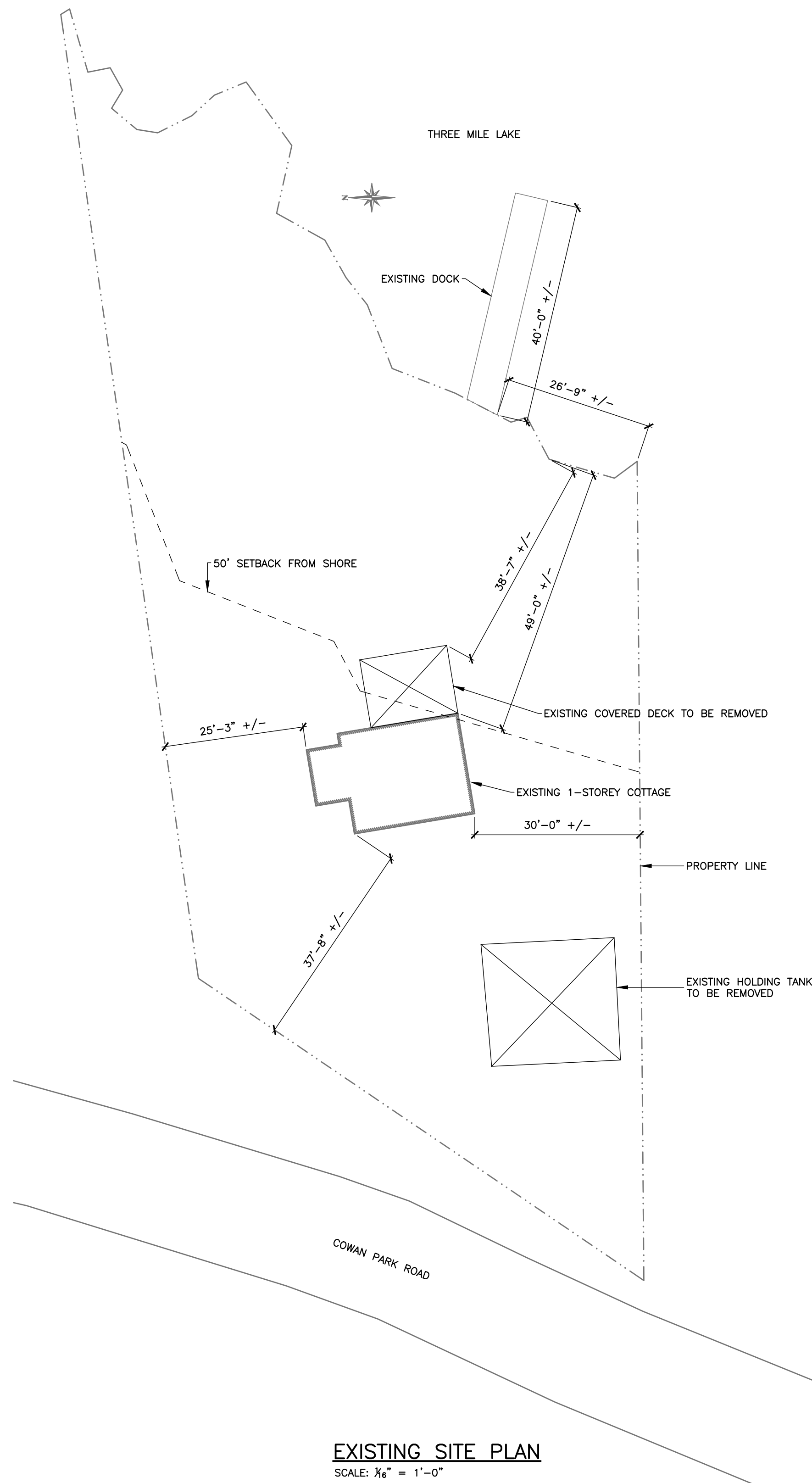
PROJECT
**BUHROW RESIDENCE
 1022 COWAN PARK ROAD
 TOWNSHIP OF MUSKOKA LAKES**

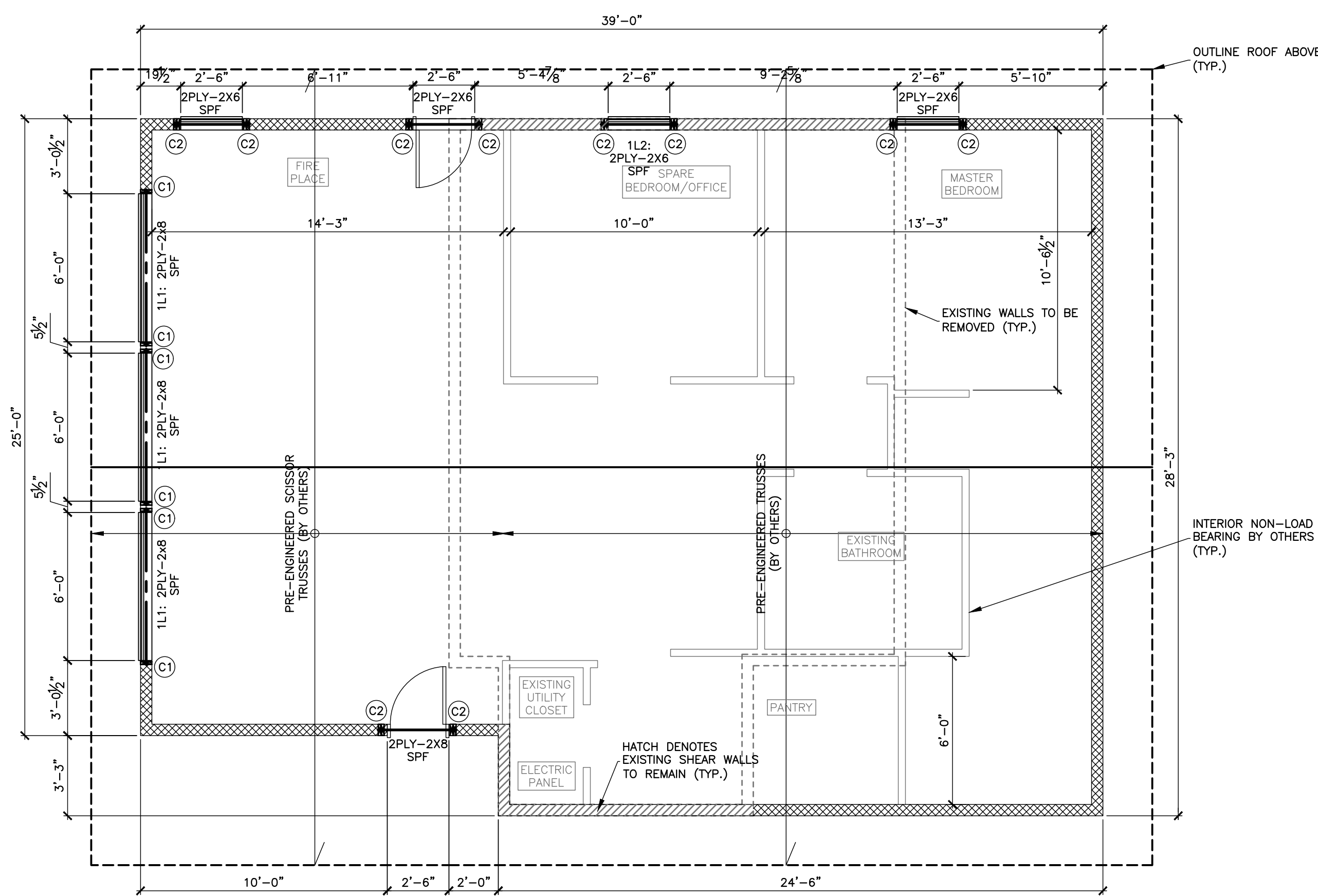
DRAWING
SITE PLAN

**ISSUED FOR PLANING APPROVAL
 NOT FOR CONSTRUCTION**

DATE	MAY 2023
PROJECT	21-68-05
DESIGNED	TK
REVIEWED	MWINJK
SCALE	AS SHOWN
SHEET	

SP1

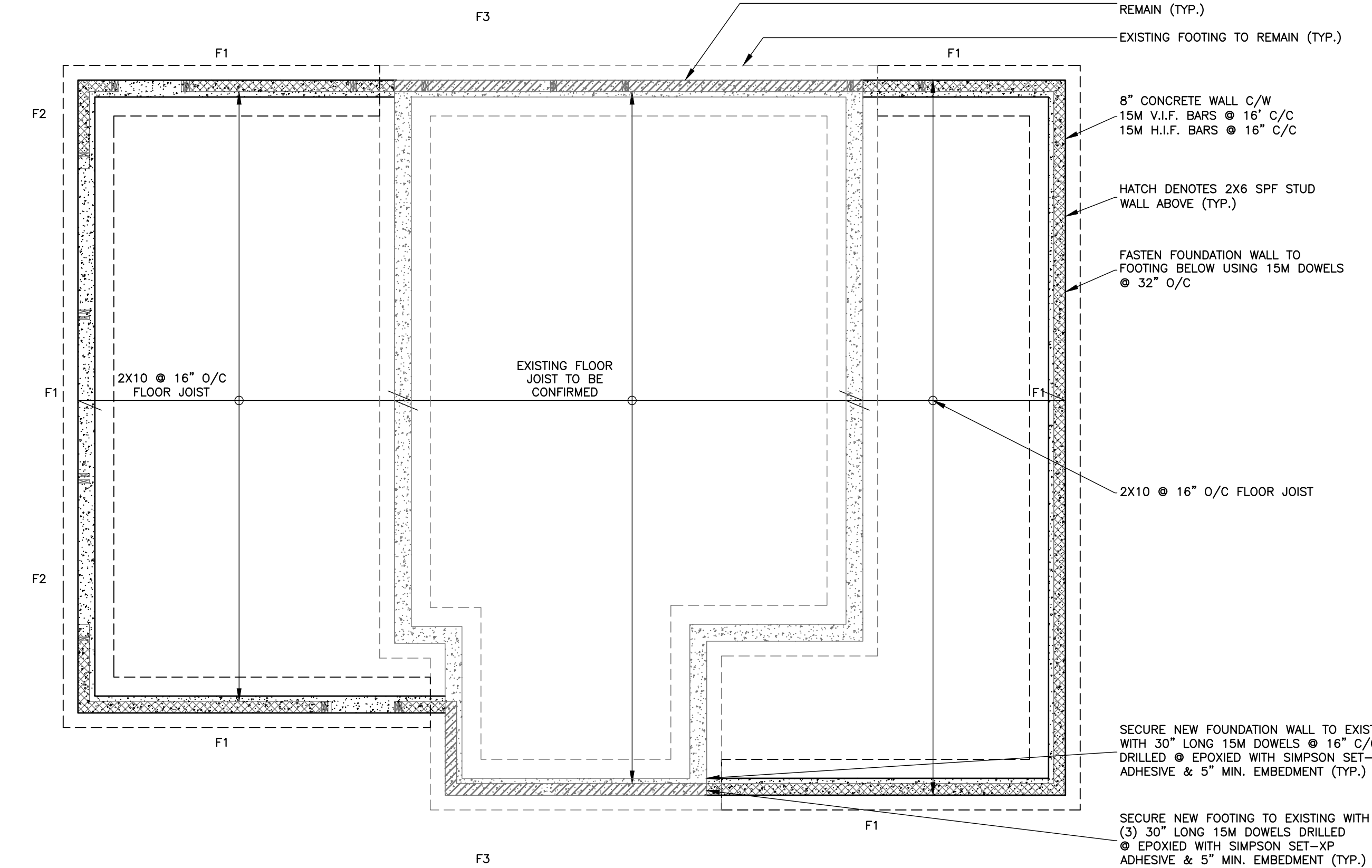




PROPOSED FLOOR PLAN & ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLANS



PROPOSED FOUNDATION PLAN & FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOT TO SCALE



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2	ISSUED FOR REVIEW	JUN 28 2023
1	ISSUED FOR REVIEW	MAY 26 2023
No.	Revision/Issue Column	Date

CLIENT

VARITY

PROJECT

BUHROW RESIDENCE
 1022 COWAN PARK ROAD
 TOWNSHIP OF MUSKOKA LAKES

DRAWING

PROPOSED FOUNDATION PLAN & MAIN FLOOR FRAMING PLAN

PROPOSED MAIN FLOOR PLAN & ROOF FRAMING PLAN

**ISSUED FOR PLANING APPROVAL
 NOT FOR CONSTRUCTION**

DATE MAY 2023

PROJECT 21-68-05

DESIGNED TK

REVIEWED MW/NJK

SCALE AS SHOWN

SHEET

GENERAL NOTES

- ALL STANDARDS, MANUALS AND CODES REFERENCED IN THIS SET OF DRAWINGS REFER TO THE MOST RECENTLY IMPLEMENTED VERSION/EDITION.
- ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE (OBC).
- ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT OF ONTARIO.
- THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS, CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY SHORING AS REQUIRED TO SUPPORT REMAINING OR ADJACENT STRUCTURES DURING CONSTRUCTION.
- ALL DESIGN LOADS NOTED ON DRAWINGS ARE WORKING LOADS.
- DESIGN LOADS USED FOR FOUNDATION LOADS SHALL BE AS FOLLOWS (ALL LOADS ARE UNFACTORED):

ROOF LOADS	
GROUND SNOW LOAD (S _g)	3.1 kPa (65 psf)
RAIN LOAD (S _r)	0.4 kPa (8 psf)
DEAD LOAD	1.0 kPa (21 psf)
FLOOR LOADS	
LIVE LOAD	1.9 kPa (40 psf)
DEAD LOAD	1.0 kPa (21 psf)
DECK LOADS (UNCOVERED)	
GROUND SNOW LOAD (S _g)	3.1 kPa (65 psf)
RAIN LOAD (S _r)	0.4 kPa (8 psf)
DEAD LOAD	1.0 kPa (21 psf)
DECK LOADS (COVERED)	
LIVE LOAD	1.9 kPa (40 psf)
DEAD LOAD	1.0 kPa (21 psf)

FOUNDATIONS

- DESIGN SOIL BEARING PRESSURE IS 75 kPa (1566 psf) UNLESS NOTED OTHERWISE.
- DESIGN SOIL UNIT WEIGHT IS 18.9 kN/m³ (118 lb/ft³).
- CONTRACTOR TO ENSURE THAT NATIVE SOILS TO A DEPTH OF 1.2 m (4'-0") ARE NON-FROST-SUSCEPTIBLE OR PROVIDE INSULATION AS PER THE FROST COVER TABLE.
- REPORT THE WATER TABLE DURING CONSTRUCTION TO THE ENGINEER.

CONCRETE

- ALL CONCRETE SHALL CONFORM TO CSA A23.1/A23.2 AND CSA A23.3.
- ALL CONCRETE SHALL BE HEATED AND/OR INSULATED SUCH THAT THE CONCRETE INTERNAL TEMPERATURE REMAINS ABOVE 5°C UNTIL CONCRETE HAS FULLY CURED.
- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE AS FOLLOWS:
 FOOTINGS: CLASS R1 (20 MPa) (2.9 ksi), 3-6% ENTRAINED AIR, MAX W/C = 0.70
 FOUNDATION/PIERS: CLASS R2 (20 MPa) (2.9 ksi), 4-7% ENTRAINED AIR, MAX W/C = 0.70
- ALL CONCRETE ADDITIVES SHALL BE APPROVED BY THE ENGINEER.
- CONCRETE PROTECTIVE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
 A. EXPOSED TO FILL - U/S OF FOOTING - 75 mm (3")
 B. FORMED - 50 mm (2")
 C. WALLS - INSIDE FACE - 30 mm (1 1/4")

FROST PROTECTION INSULATION

- MIN. R10 REQUIRED FOR INSULATION, USE EITHER:
 A. XPS: 206.8 kPa (30 psi) STYROFOAM SM BY DOW CORNING OR APPROVED EQUIVALENT.
 B. EPS: 154.6 kPa (22.4 psi) STYROFOAM FOR THICKENED SLAB EDGE AND 86.0 kPa (12.5 psi) ENVIROSHIELD STYROFOAM BELOW NON LOAD BEARING INTERIOR SLAB BY AMVIC OR APPROVED EQUIVALENT.

REINFORCING STEEL

- ALL REINFORCING SHALL BE DETAILED, FABRICATED, PLACED AND SUPPORTED IN ACCORDANCE WITH CSA A23.1/A23.2 AND CSA A23.3.
- ALL STEEL REINFORCING BARS SHALL HAVE A MINIMUM YIELD STRENGTH OF 400 MPa (58 ksi) AND CONFORM TO CSA G30.18.
- REINFORCING BARS SHALL BE CONTINUOUS ACROSS CONSTRUCTION JOINTS AND ELEVATION VARIATIONS UNLESS NOTED OTHERWISE.
- CONTINUOUS BARS SHALL BE FULLY DEVELOPED BY LAPPING WHERE SPICED.
- ALL REINFORCING BARS SHALL BE LAPPED A MINIMUM OF 36 BAR DIAMETERS UNLESS NOTED OTHERWISE.
- FOOTING BARS SHALL BE STRAIGHT BARS EXTENDING TO WITHIN 3" OF THE FACE OF THE FOOTING UNLESS NOTED OTHERWISE.
- FOOTING DOWELS SHALL BE THE SAME SIZE AND SPACING AS THE VERTICAL BARS UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION DURING PLACEMENT OF CONCRETE TO ENSURE THAT THE REINFORCEMENT IS MAINTAINED IN ITS CORRECT POSITION.
- ALL W/M SHALL CONFORM TO CSA G30.3 OR CSA G30.5 AND SHALL BE SUPPLIED IN FLAT SHEETS ONLY.

STRUCTURAL STEEL

- ALL NEW STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING GRADES AND STANDARDS:
 A. CSA G40.21 TYPE 350W FOR W SHAPES
 B. CSA G40.21 TYPE 350W CLASS C FOR HSS SECTIONS
 C. CSA G40.21 TYPE 350W UNLESS NOTED OTHERWISE
- FABRICATION, ERECTION AND WORKMANSHIP SHALL CONFORM TO CSA S16.
- ALL WELDING SHALL CONFORM TO CSA S16 AND W59, AND SHALL BE PERFORMED BY A FABRICATOR FULLY APPROVED UNDER CSA W47.1.
- ALL STEEL SHALL BE WELDED USING A MINIMUM OF 6 mm (1/4") CONTINUOUS FILLET OR GROOVE WELDS UNLESS NOTED OTHERWISE.
- ALL BOLTS, NUTS AND WASHERS FOR STRUCTURAL STEEL CONNECTIONS SHALL CONFORM TO ASTM A325.
- ALL ANCHOR BOLTS, NUTS AND WASHERS SHALL CONFORM TO ASTM A36 OR ASTM A307.
- ALL STEEL SHALL BE SHOP PRIMED.
- NO HOLES SHALL BE CUT IN STRUCTURAL STEEL WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
- SPLICES IN STEEL MEMBERS OTHER THAN THOSE SHOWN ON THE DRAWINGS SHALL NOT BE PERMITTED.
- STRUCTURAL STEEL NOTED COMPLIES WITH THE DESIGN, INTENT, SIZE AND ARRANGEMENT OF THE MEMBERS ONLY. ALL TRADES SHALL COMPLETE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. DIMENSIONS SHOWN ON THE SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONNECTION DETAILS SHALL BE DESIGNED FOR THE FULL CAPACITY OF THE CONNECTED MEMBER.

WOOD FRAMING

- ALL LUMBER SHALL BE SPF No.1/No.2 GRADE IN ACCORDANCE WITH CSA O86 UNLESS NOTED OTHERWISE.
- TIMBER SPECIES GROUP D.FIR-L No.2 OR BETTER UNLESS NOTED OTHERWISE.
- LUMBER SHALL BE GRADED TO NLGA STANDARD GRADING RULES FOR CANADIAN LUMBER IN ACCORDANCE WITH CSA O141.
- ALL LUMBER NOTED AS PRESSURE TREATED SHALL BE PRESERVATIVE TREATED WITH ALKALINE COPPER QUATERNARY (ACQ) AND COPPER AZOLE (CA), IN ACCORDANCE WITH CSA O80.
- ALL FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE DESIGNED FOR THIS APPLICATION.
- ALL NAILS, SPIKES, STAPLES AND SCREWS SHALL BE IN ACCORDANCE WITH OBC CLAUSE 9.23.3.
- ALL BOLTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM A307 OR SAE J429 GRADE 2.
- SIMPSON H2.5A OR EQUIVALENT HURRICANE TIES SHALL USED TO CONNECT ALL ROOFING MEMBERS TO TOP OF WALL FRAMING AS A MINIMUM UPLIFT RESTRAINT UNLESS NOTED OTHERWISE.
- SIMPSON LS90 OR EQUIVALENT FRAMING ANGLES SHALL BE USED TO FASTEN RAFTERS TO HIP & VALLEY BEAMS UNLESS NOTED OTHERWISE. (MAXIMUM RAFTER LENGTH 8'-0" @ 24" O/C OR 12'-0" @ 16" O/C)

LAMINATED VENEER LUMBER

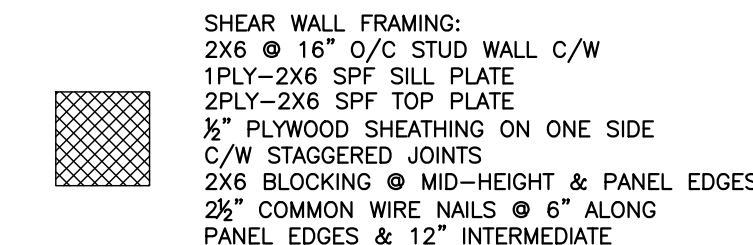
- ALL LVL MATERIAL SHALL BE SPECIES GRADE 2.0E UNLESS NOTED OTHERWISE.
- ALL NAILS/BOLTS TO BE 50 mm (2") FROM EDGES AND 64 mm (2 1/2") FROM ENDS. INTERMEDIATE ROWS OF NAILS/BOLTS TO BE SPACED EQUALLY BETWEEN OUTER ROWS.
- BOLTED CONNECTIONS REQUIRE 50 mm (2") OUTSIDE DIAMETER FLAT WASHER UNDER BOLT HEAD AND NUT.
- NAILING AND BOLTING PATTERNS:
 A. **SIDE/TOP LOAD - 2-3 PLIES**
 A.1. 184 mm-302 mm (7 1/4"-11 3/4") DEPTH: 2 ROWS OF 16d NAILS @ 152 mm (6") O/C
 A.2. 356 mm-457 mm (12 1/2"-18") DEPTH: 3 ROWS OF 16d NAILS @ 152 mm (6") O/C
 A.3. 476 mm-606 mm (18 3/4"-23 3/4") DEPTH: 4 ROWS OF 16d NAILS @ 152 mm (6") O/C
 B. **TOP LOAD ONLY - 4+ PLIES**
 B.1. 184 mm-302 mm (7 1/4"-11 3/4") DEPTH: 2 ROWS OF 1/2" A307 BOLTS @ 610 mm (24") O/C
 B.2. 356 mm-457 mm (12 1/2"-18") DEPTH: 3 ROWS OF 1/2" A307 BOLTS @ 610 mm (24") O/C
 B.3. 476 mm-606 mm (18 3/4"-23 3/4") DEPTH: 4 ROWS OF 1/2" A307 BOLTS @ 610 mm (24") O/C
 C. **SIDE LOAD - 4+ PLIES**
 C.1. 184 mm-302 mm (7 1/4"-11 3/4") DEPTH: 2 ROWS OF 1/2" A307 BOLTS @ 305 mm (12") O/C AND 2 ROWS OF 16d NAILS @ 305 mm (12") O/C OFFSET 152 mm (6") FROM BOLTS
 C.2. 356 mm-457 mm (12 1/2"-18") DEPTH: 3 ROWS OF 1/2" A307 BOLTS @ 305 mm (12") O/C AND 3 ROWS OF 16d NAILS @ 305 mm (12") O/C OFFSET 152 mm (6") FROM BOLTS
 C.3. 476 mm-606 mm (18 3/4"-23 3/4") DEPTH: 4 ROWS OF 1/2" A307 BOLTS @ 305 mm (12") O/C AND 4 ROWS OF 16d NAILS @ 305 mm (12") O/C OFFSET 152 mm (6") FROM BOLTS
- ALL LVL LINTELS SHALL BE SUPPORTED WITH 2 SPF JACK STUDS PER END UNLESS NOTED OTHERWISE.

NOTES TO CONTRACTOR

- CONTRACTOR TO CHECK ALL RELEVANT DIMENSIONS SHOWN ON THE DRAWINGS AND ADJUST DIMENSIONS AS REQUIRED TO MATCH THE STRUCTURE, AS APPROVED BY THE ENGINEER.
- FOLLOW ALL MANUFACTURER'S INSTRUCTIONS AND SPECIFICATION FOR MATERIALS USED TO CARRY OUT THE WORK.
- ALL ROOFING WORK BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH CURRENT STANDARD PRACTICES, AND IN ACCORDANCE WITH THE C.R.C.A. MANUAL AND ROOFING MEMBRANE MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWINGS.

REFERENCE DRAWINGS

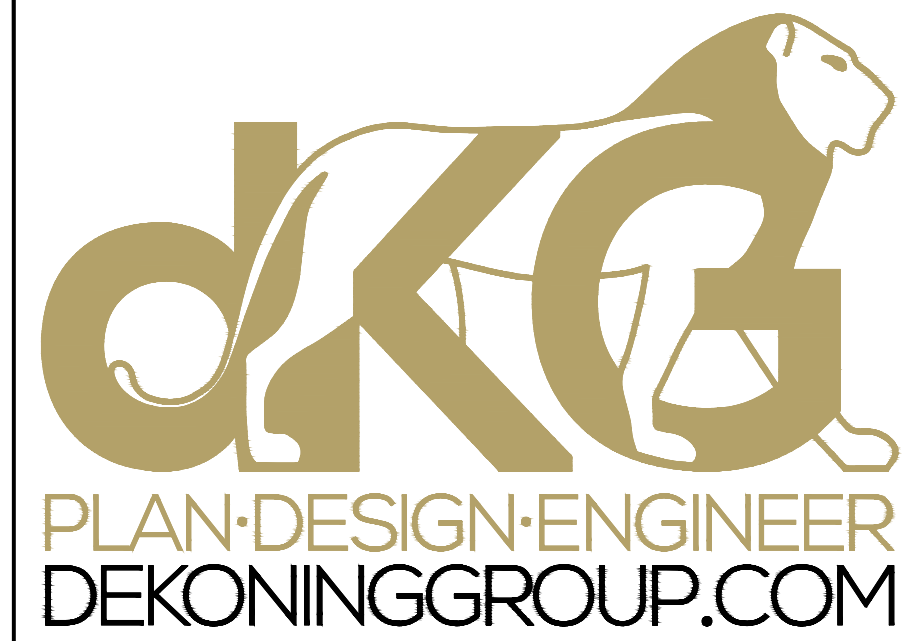
DETAILS OF THE PROPOSED STRUCTURE HAVE BEEN DERIVED FROM SKETCHES RECEIVED FROM FIDELIUS ON MAY 16, 2023.



FOOTING SCHEDULE		
#	SIZE	REINFORCEMENT
F1	24"x8"	3 - 15M LONGITUDINAL

ELEVATION DRAWINGS

NOT TO SCALE



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VARITY

PROJECT

BUHROW RESIDENCE
 1022 COWAN PARK ROAD
 TOWNSHIP OF MUSKOKA LAKES

DRAWING

**EXISTING LEFT SIDE ELEVATION
 &
 PROPOSED LEFT SIDE ELEVATION**

**ISSUED FOR PLANING APPROVAL
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DATE MAY 2023

PROJECT 21-68-05

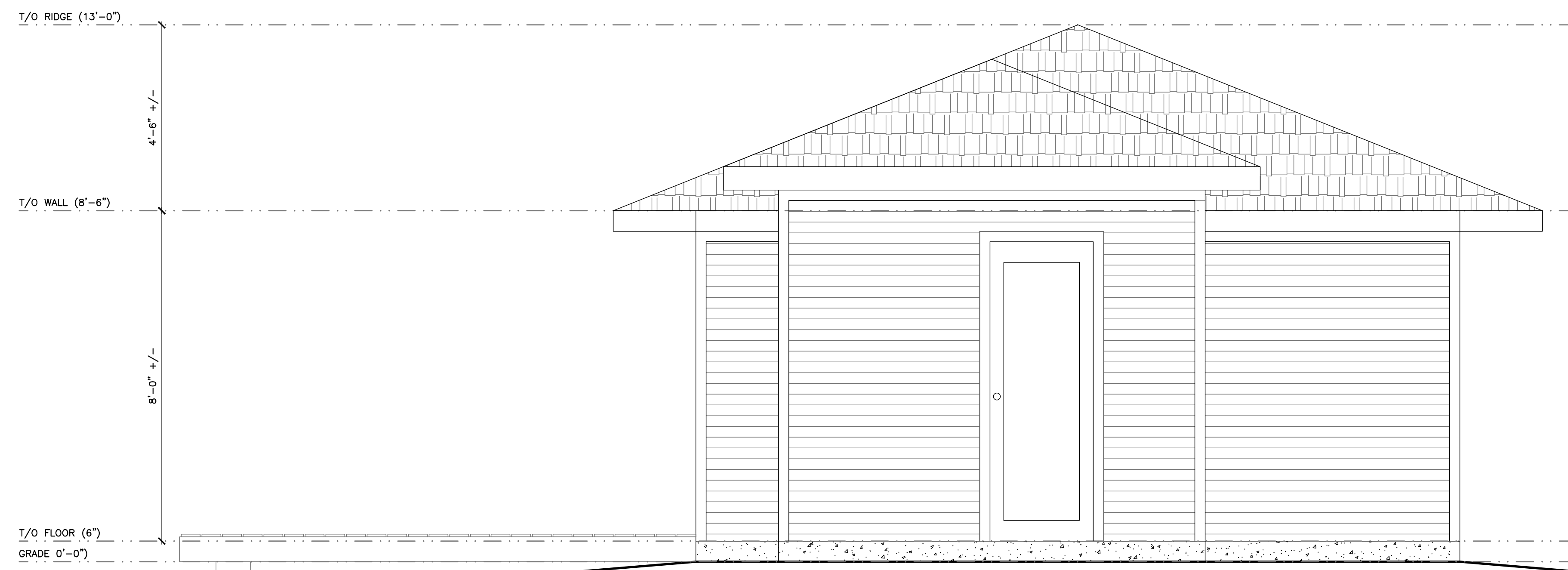
DESIGNED MW

REVIEWED NDK

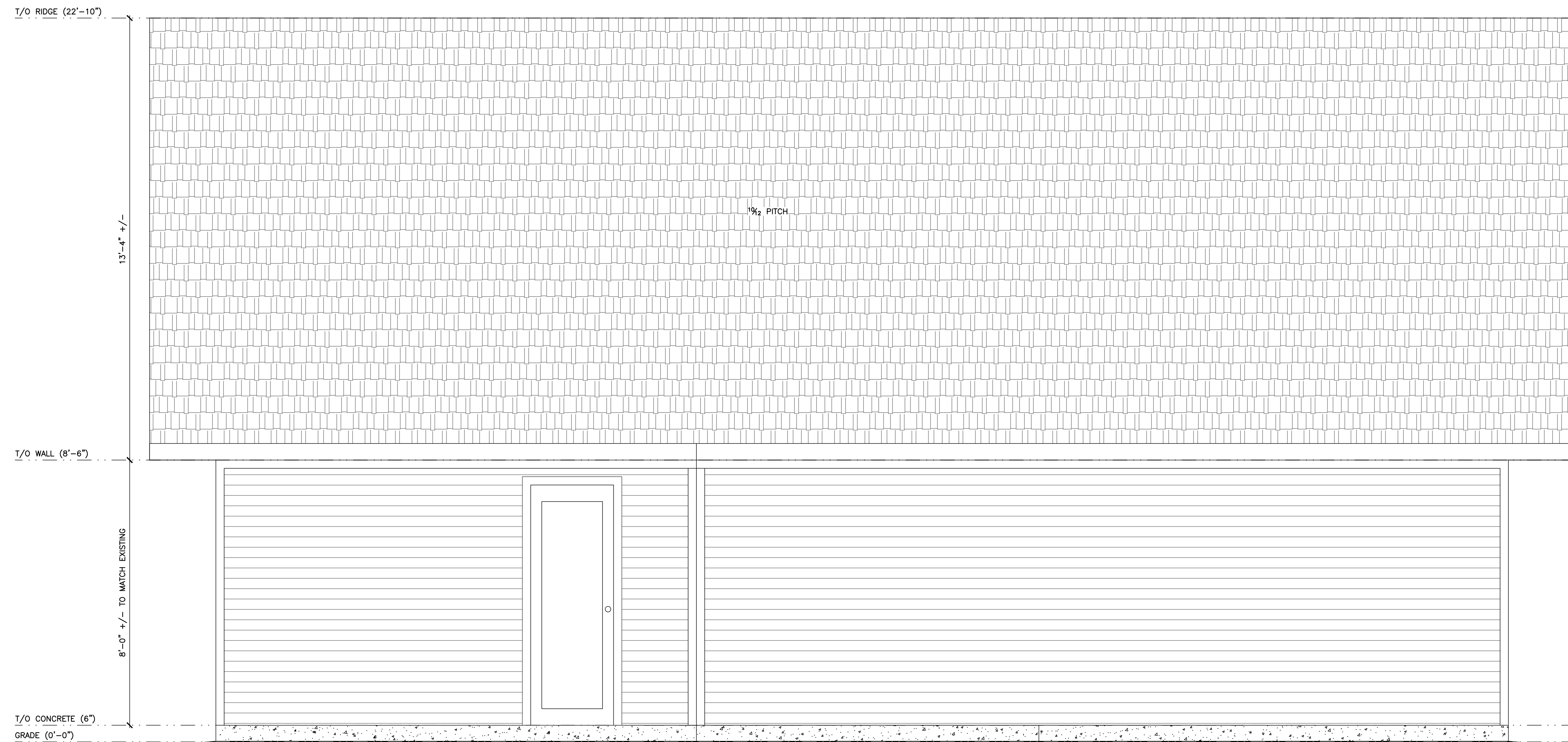
SCALE AS SHOWN

SHEET

A1



EXISTING LEFT SIDE ELEVATION
 SCALE: 1/2" = 1'-0"



PROPOSED LEFT SIDE ELEVATION
 SCALE: 1/2" = 1'-0"