

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-10/25

Roll No.: 7-9-061

Owners:	Esther & Robert Clements, 639 Irwin Crescent, Newmarket, ON, L3Y 5A1		
Address & Description:	1067 River Street, Unit #1 Lot 13, Concession B, Lot 232 and Lot 233, Plan 22, (Medora)		
Zoning:	Community Residential (R4)	Moon River (Category 2 River)	Schedule: 56
Hearing Date: Monday, April 14th, 2025 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

The applicants propose to construct a two-storey garage that exceeds the maximum permitted accessory building height. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	5.1.3	Maximum Permitted Height for an Accessory Building	20 ft.	25.5 ft.	5.5 ft.	Construct an Over-Height Two Storey Garage

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakess.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakess.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **April 9, 2025.**

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakess.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakess.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakess.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakess.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

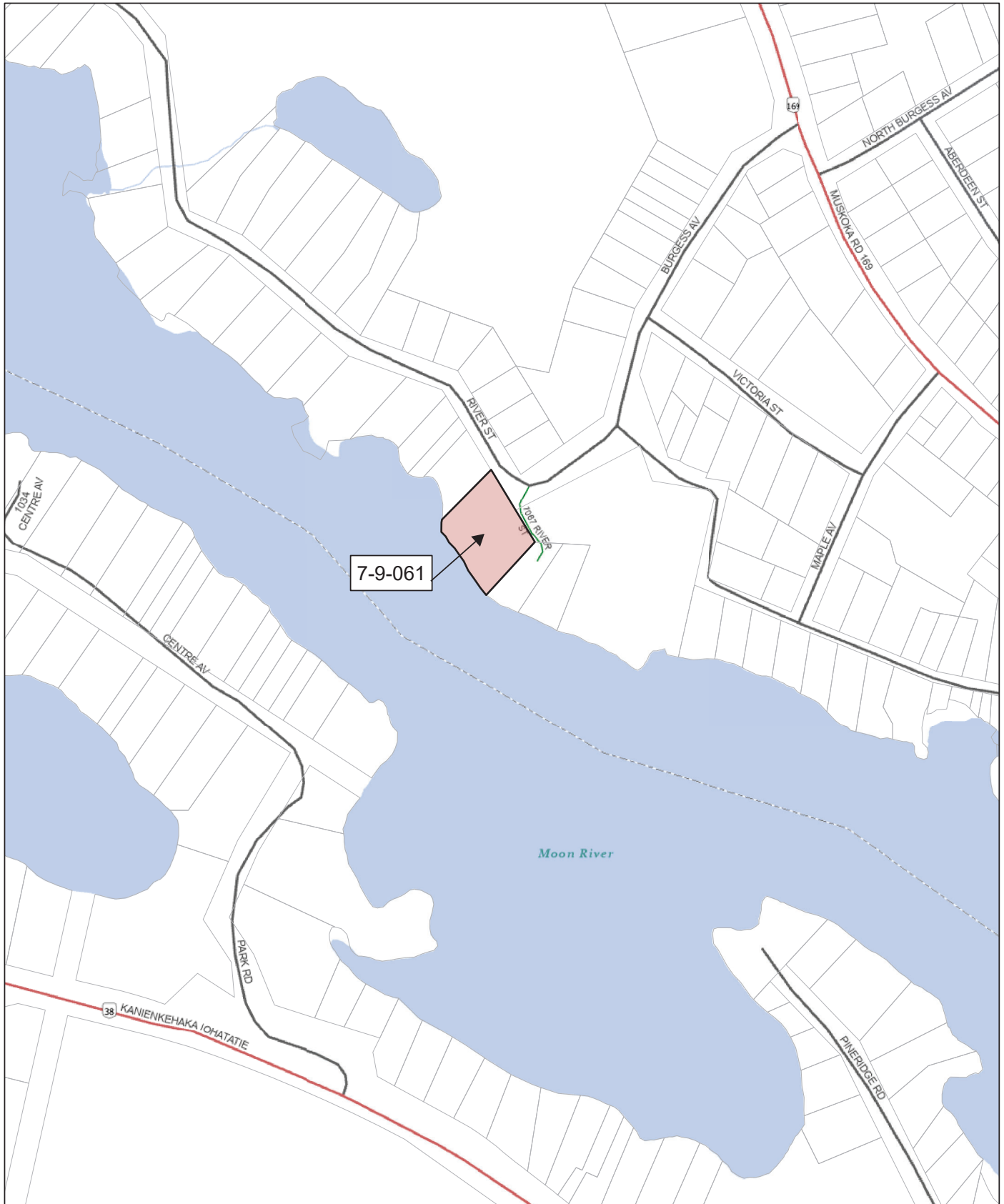
PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 20th day of March, 2025.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakess.ca



Key Map, A-10/25 (CLEMENTS)

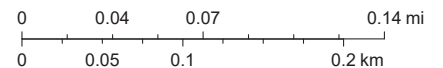


2/25/2025, 10:33:27 AM

NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

- | | | | | | |
|--|-----------------------|--|--------------|--|------------|
| | Parcel: Assessment | | Road Network | | Stream |
| | District Municipality | | District | | Waterbody |
| | Area Municipality | | Township | | Major Lake |
| | Geographic Township | | Private | | |

1:4,416



Esri Community Maps Contributors, Parry Sound Geography Net., Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/ NASA, USGS, EPA, NPS, US Census Bureau, USDA, NRCan, Parks Canada, Sources: Esri, Airbus DS, USGS,

NOT TO SCALE



SITE PLAN
SCALE: 1" = 30'-0"

LOT COVERAGE		
AREA	SQ. FT.	SQ. M.
HOUSE	1517 sq.ft.	141 sq.m.
GARAGE	1540 sq.ft.	143 sq.m.
TOTAL	3057 sq.ft.	284 sq.m.
SITE	24209 sq.ft.	2249 sq.m.
15% OF LOT 1632 sq.ft. 837 sq.m.		

NOTES:
THESE DRAWINGS MUST BE SIGNED
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ORIGINAL ADDRESS
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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C-3.2.3.1 of the 2012 O.B.C.

John Vanderwoerd BCIN 21611

REGISTRATION INFORMATION
Required unless design is exempt under Division C-3.2.4.1 of the 2012 O.B.C.
Firm Name: Vanderwoerd Drafting & Design
BCIN 39976

VANDERWOERD
DRAFTING & DESIGN

John Vanderwoerd, M.A.A.T.O.
34 Duke Street, Arthur, Ontario N0G 1A0
www.home-design-bcin.ca
519-848-2128

DRAWN BY:
JOHN VANDERWOERD,
M.A.A.T.O. BCIN: 21611

CONTRACTOR

STARTING DATE:
Dec 5, 2024

LAST REVISION DATE:
Jan 30, 2025

CUSTOMER:
Esther & Darren Clements
1067 River Str. Unit 1
Bala, On

PROJECT:
Residential Garage

DRAWING TITLE:
Site Plan

DRAWING #:
24-173

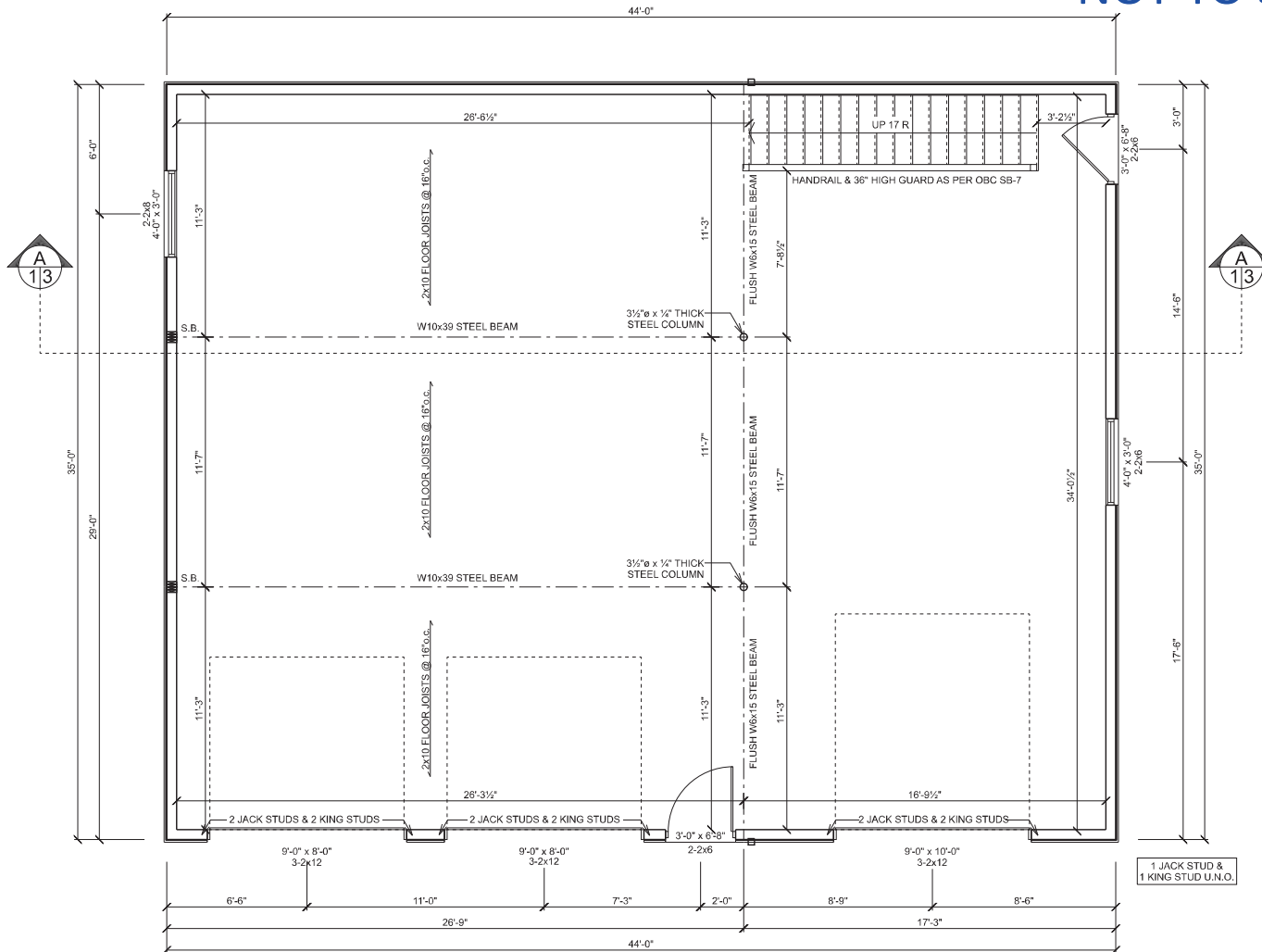
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7 of 7

SCALE:
1" = 30'-0"

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FLOOR PLANS

NOT TO SCALE



MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"

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John Vanderwoerd
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CONTRACTOR

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LAST REVISION DATE:
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CUSTOMER:
Esther & Darren Clements
1067 River Str. Unit 1
Bala, On

PROJECT:
Residential Garage

DRAWING TITLE:
Main Floor Plan

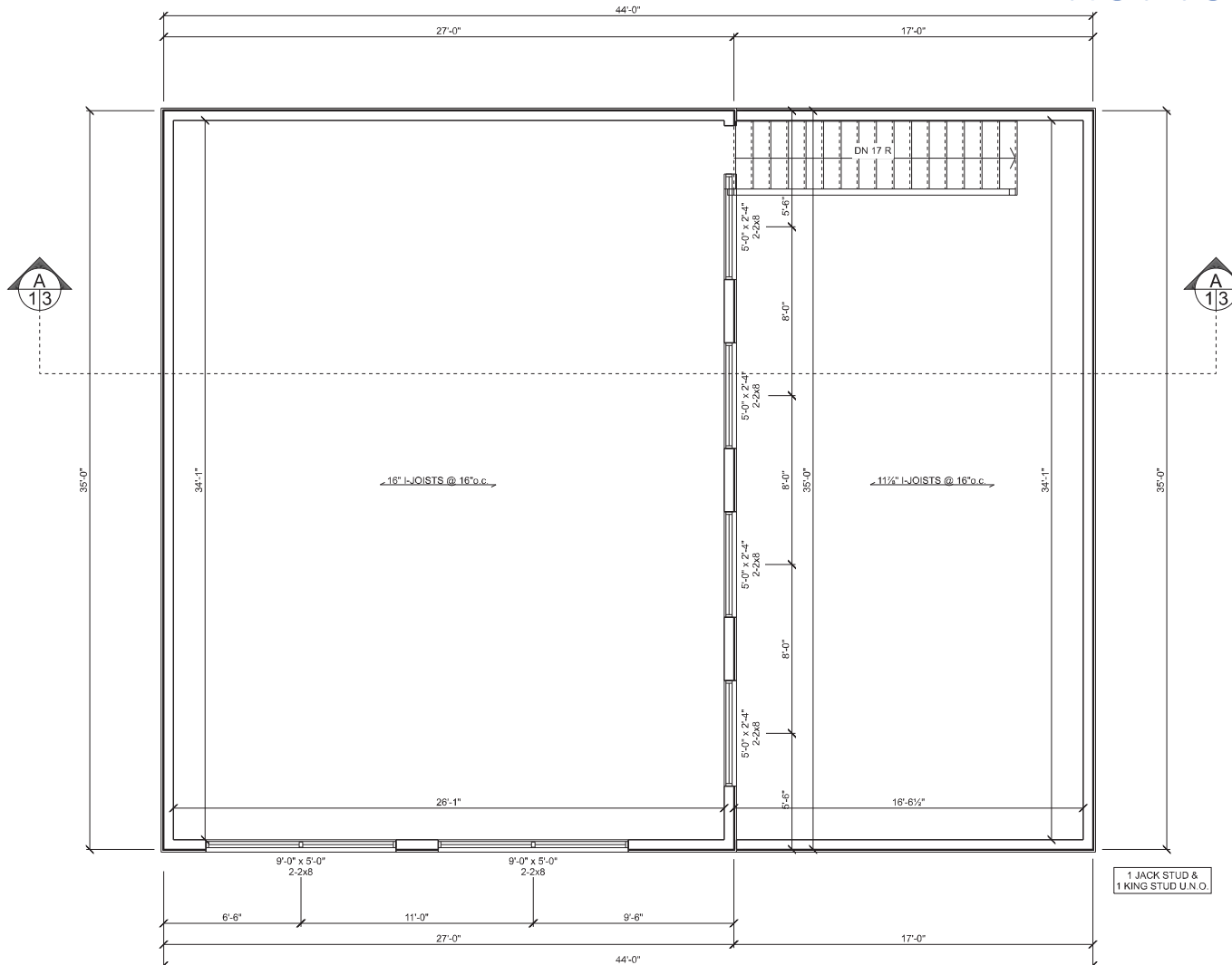
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24-173

PAGE #:
1 of 7

SCALE:
3/16" = 1'-0"

FLOOR PLANS

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LOFT FLOOR PLAN

SCALE: 3/16" = 1'-0"

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Bala, On

PROJECT:
Residential Garage

DRAWING TITLE:
Loft Floor Plan

DRAWING #:
24-173

PAGE #:
2 of 7

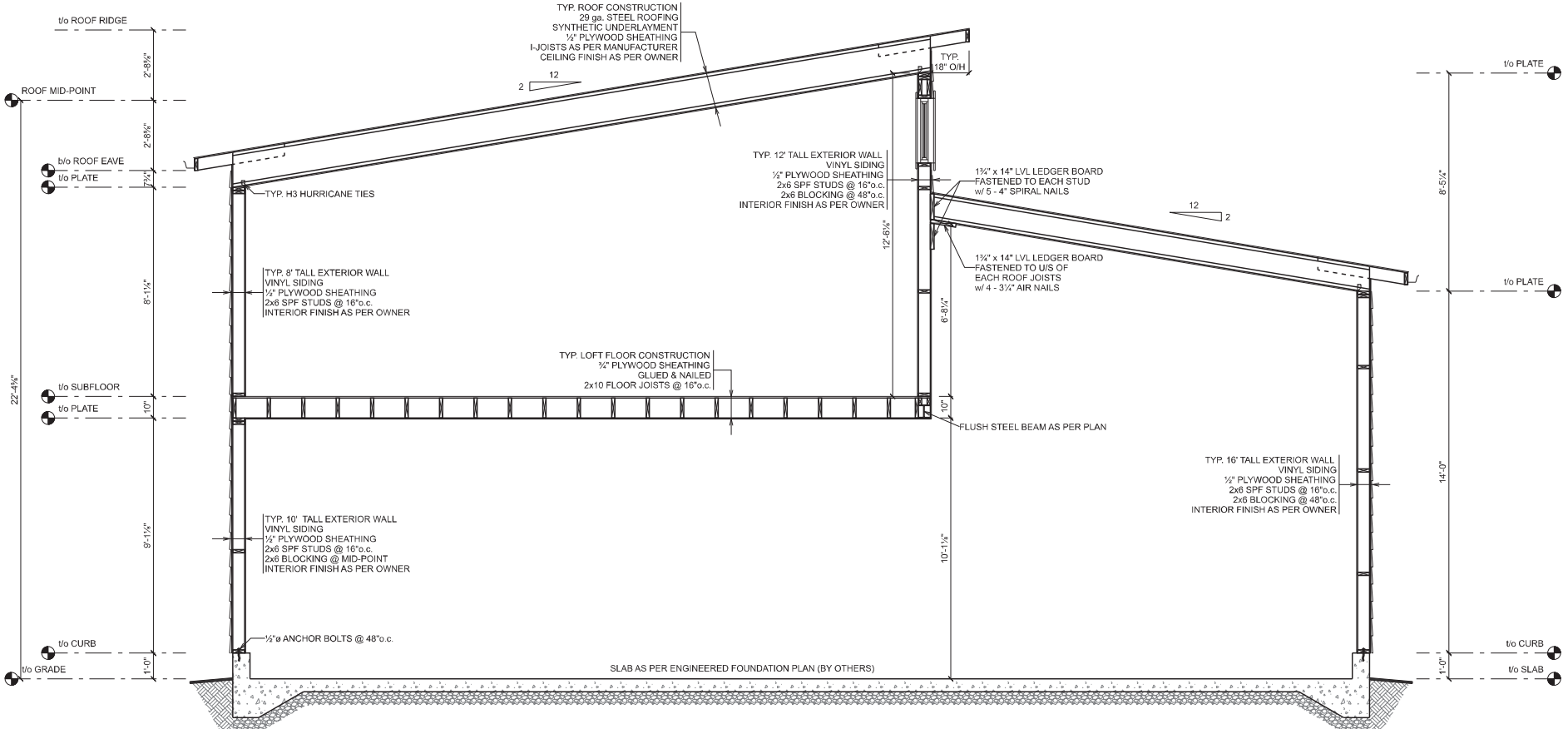
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3/16" = 1'-0"

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ELEVATIONS

Maximum height: 25.5 ft.

NOT TO SCALE



CROSS SECTION A

SCALE: 1/4" = 1'-0"

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John Vandenhoed BCIN 21618
REGISTRATION INFORMATION
Required unless design is exempt under Division C-3.2.4.1 of the 2012 O.B.C.
Firm Name: Vandenhoed Drafting & Design
BCIN 21628



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CONTRACTOR:

Esther & Darren Clements
1067 River Str. Unit 1
Bala, On

DRAWN BY:
JOHN VANDERWOERD,
M.A.A.T.O. BCIN: 21611

PROJECT:

Residential Garage

DRAWING TITLE:

Cross Section

STARTING DATE:
Dec 5, 2024

DRAWING #:
24-173

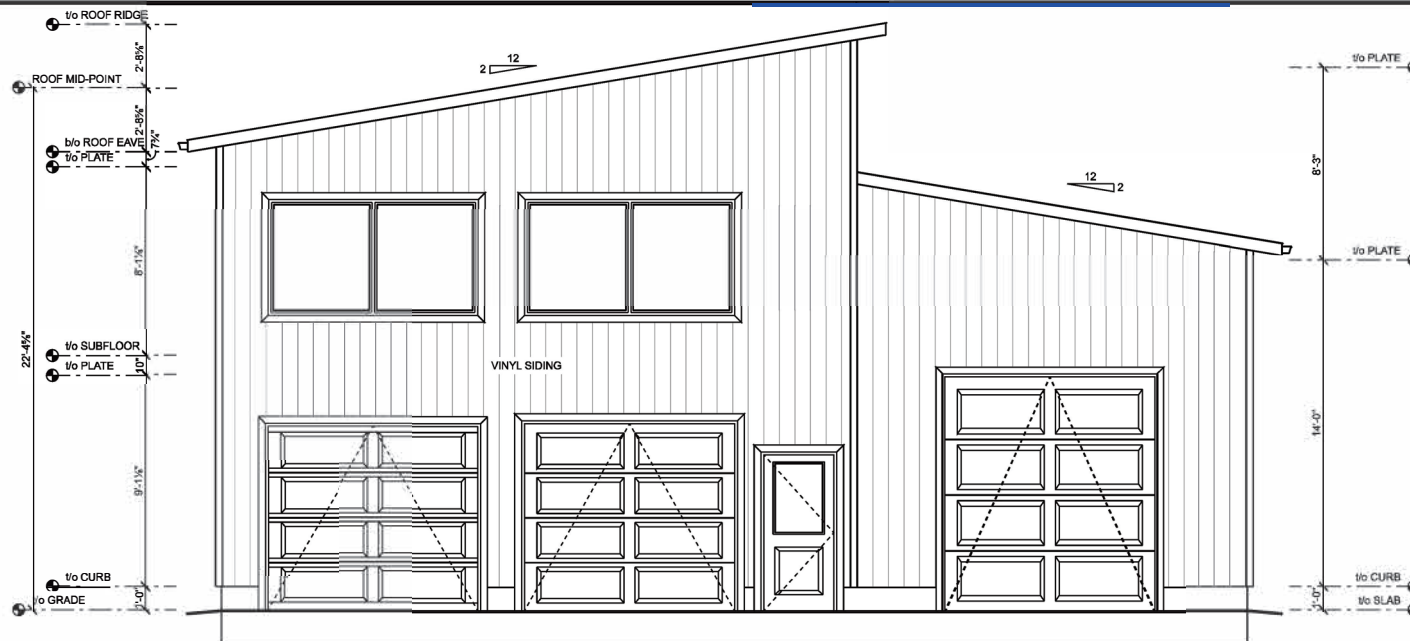
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LAST REVISION DATE:
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PAGE #:

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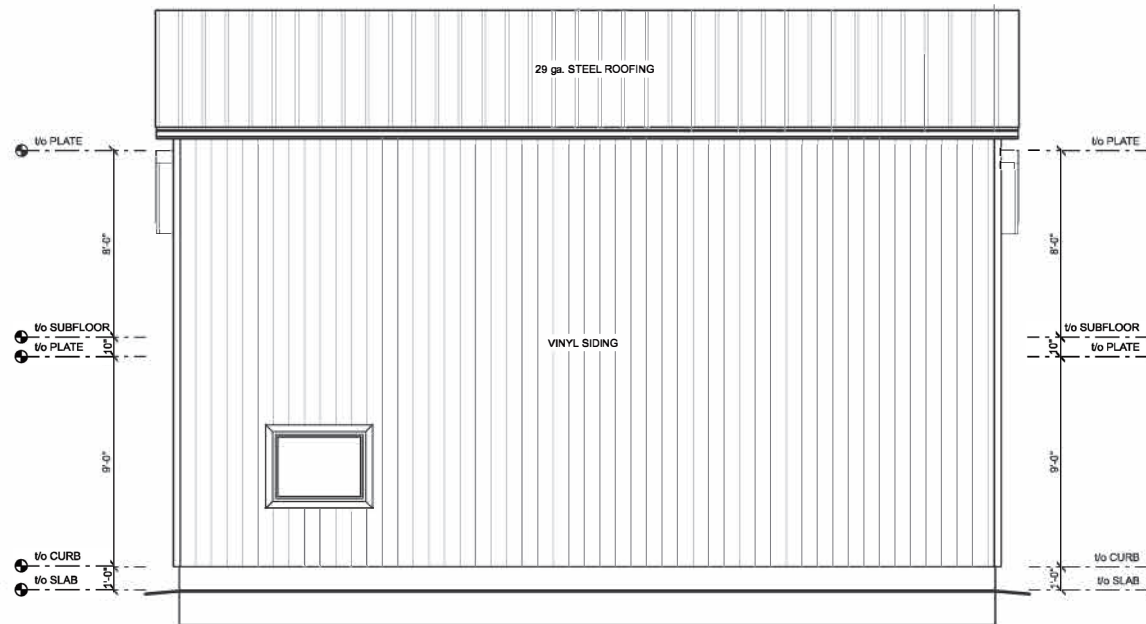
ELEVATIONS



FRONT ELEVATION

SCALE: 3/16" = 1'-0"

NOT TO SCALE



LEFT ELEVATION

SCALE: 3/16" = 1'-0"

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Jan 30, 2025

CUSTOMER:

Esther & Darren Clements
1067 River Str. Unit 1
Bala, On

PROJECT:

Residential Garage

DRAWING TITLE:

Front & Left Elevation

DRAWING #:

24-173

PAGE #:

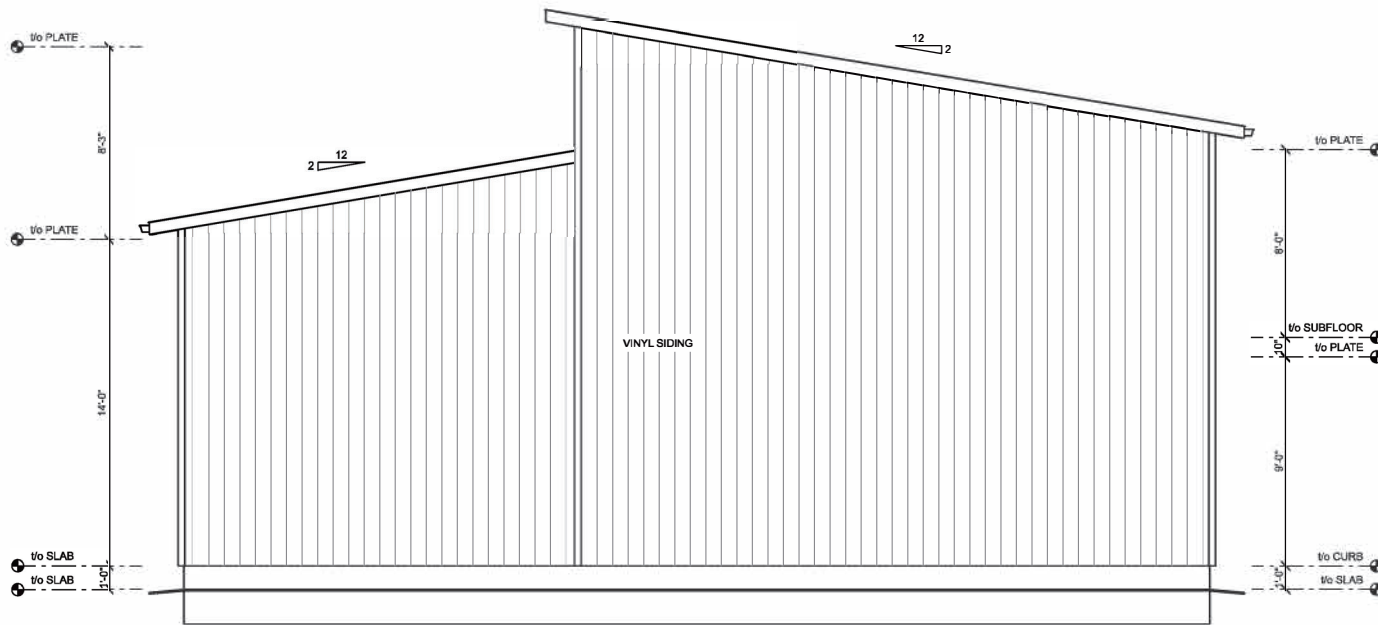
4 of 7

SCALE:

3/16" = 1'-0"

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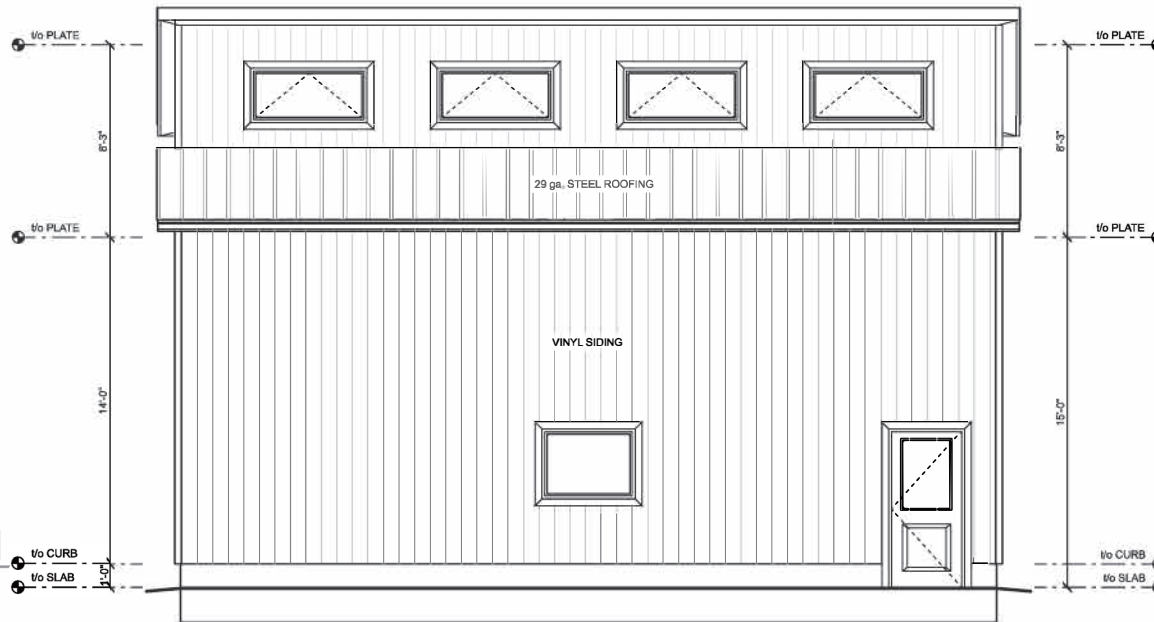
ELEVATIONS



REAR ELEVATION
SCALE: 3/16" = 1'-0"

NOT TO SCALE

RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



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1067 River Str. Unit 1
Bala, On

PROJECT:
Residential Garage

DRAWING TITLE:
Rear & Right Elevat ion

DRAWING #:
24-173

PAGE #:
5 of 7

SCALE:
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