



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-14/25

Roll No.: 2-3-052

Owner:	Inge Herbertz, 3281 Mockingbird Common, Oakville, ON, L6H 0W9		
Address & Description:	1326 Windermere Road, Unit #8 Lot 9, Concession 5, Part 4 and 13, Plan RD-791, (Watt)		
Zoning:	Waterfront Residential (WR4)	Three Mile Lake (Category 4)	Schedule: 24
Hearing Date: Monday, April, 14th, 2025 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

The applicant proposes to recognize the side yard setbacks of an as-built dwelling, sundeck, and stairs and to construct a dwelling addition. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	3.4.1 e.	Minimum Lot Frontage	100 ft.	98 ft.	2 ft.	To Recognize an As-built Sundeck.
B	4.1.3	Minimum Required Interior Side Yard Setback (As-built Dwelling - Easterly)	15 ft.	13 ft.	2 ft.	To Recognize the Setback of an As-built Dwelling
C	4.1.3	Minimum Required Interior Side Yard Setback (As-built Sundeck - Easterly)	15 ft.	9.5 ft.	5.5 ft.	To Recognize the Setback of an As-built Sundeck

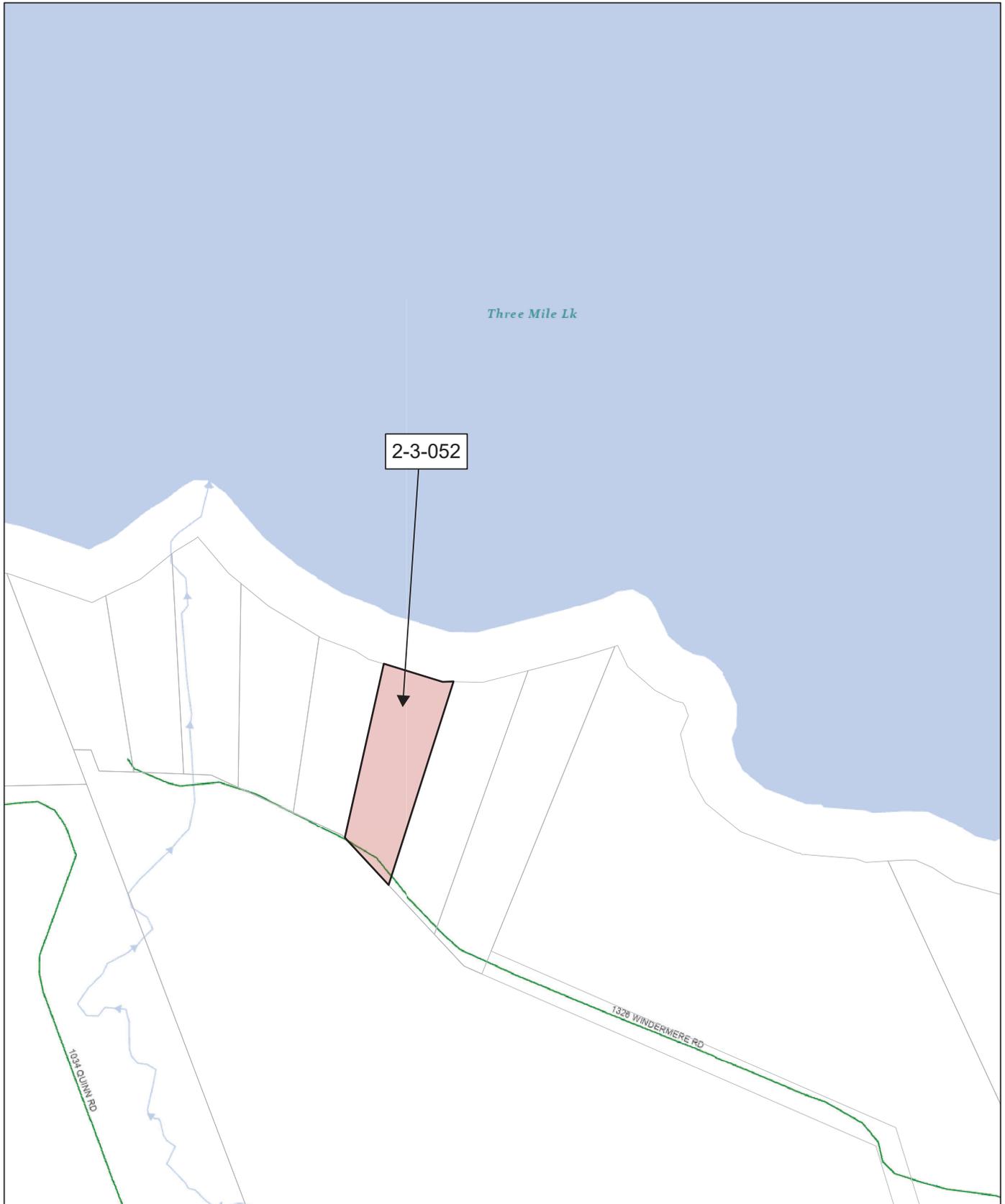


Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
D	4.1.3	Minimum Required Interior Side Yard Setback (As-built Stairs - Easterly)	15 ft.	4.6 ft.	10.4 ft	To Recognize the Setback of As-built Stairs
E	4.1.3	Minimum Required Interior Side Yard Setback (Dwelling Addition - Westerly)	15 ft.	11.5 ft.	3.5 ft.	To Permit the Construction of a Dwelling Addition

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



Key Map, A-14/25 (HERBERTZ)

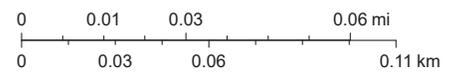


2/25/2025, 10:50:22 AM

NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

- | | |
|-----------------------|--------------|
| Parcel: Assessment | Road Network |
| District Municipality | Private |
| Area Municipality | Stream |
| Geographic Township | Waterbody |
| | Major Lake |

1:2,082



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Esri Community Maps Contributors, Province of Ontario, Esri Canada, Esri, TomTom, Garmin,

For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **April 9, 2025.**

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 25th day of March, 2025.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



1326 WINDERMERE ROAD, UNIT #8
 PART OF LOT 9 CON 5
 GEOGRAPHIC TOWNSHIP OF WATT
 PT 4 & 13 RD791,
 S/T & T/W DM70899;
 MUSKOKA LAKES

SITE PLAN

SITE PLAN TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT
 BY KEVIN P. KUJALA, O.L.S., SEPTEMBER 26, 2024

LOT STATISTICS:

ZONE: WR4 (SENSITIVE/OVER THRESHOLD LAKE)
 THREE MILE LAKE (CATEGORY 4)
 LOT AREA INCLUDING SRA: 2,259.3 m² (0.23 ha)
 LOT AREA WITHIN 61m INCLUDING SRA: 1,679.4 m²
 LOT AREA NOT INCLUDING SRA: 1,791m²

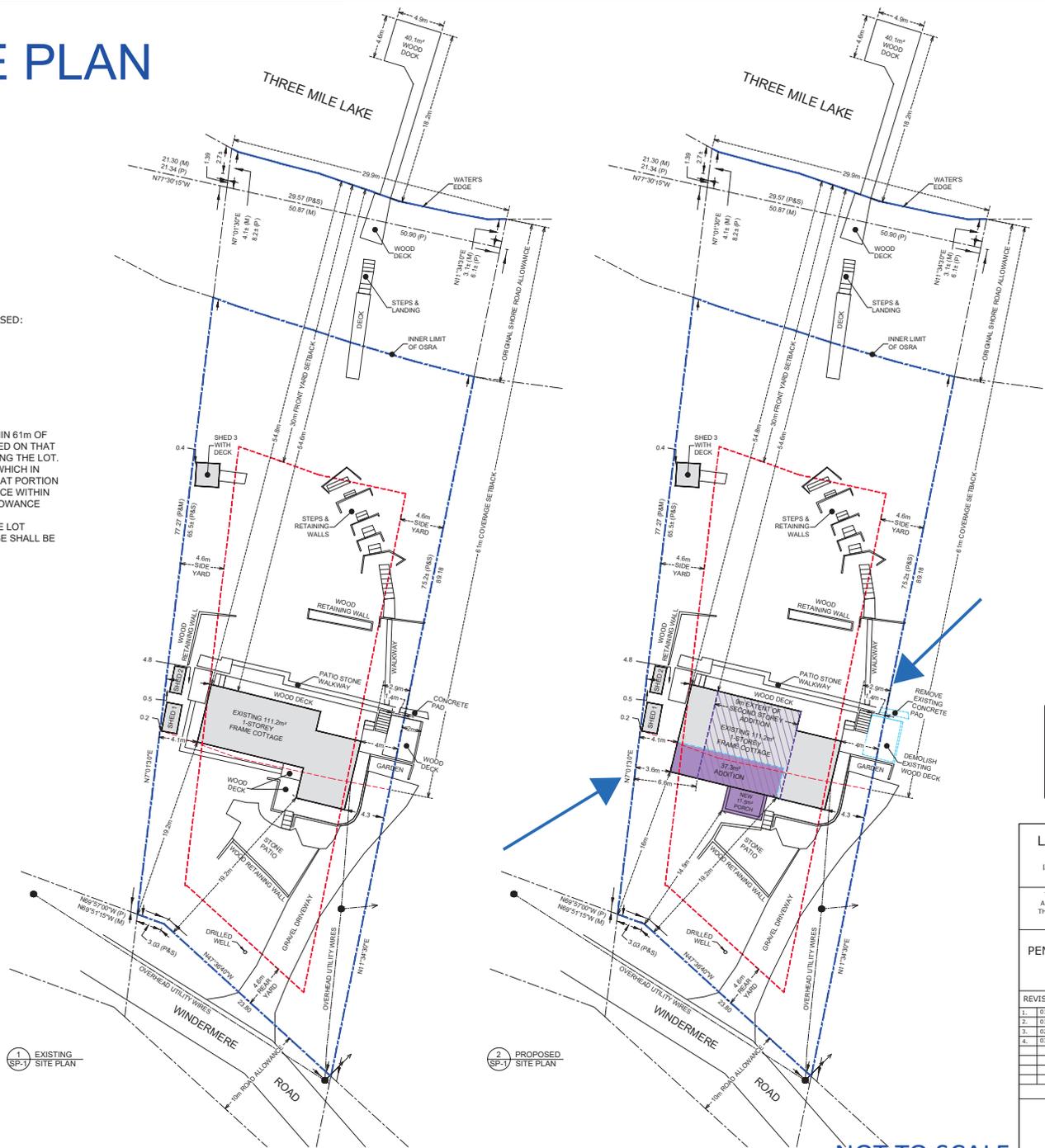
PROVISION:	REQUIRED:	EXISTING:	PROPOSED:
MAX COVERAGE BEYOND 61m	8%	5.6%	7.8%
MAX COVERAGE WITHIN 61m*	8%	6.6%	7.9%
MIN FRONT YARD SETBACK	30m	54.6m	54.6m
MIN. WEST SIDE YARD SETBACK	4m	4m	3.6m
MIN. EAST SIDE YARD SETBACK	4.6m	0m	2.9m
MIN. REAR YARD SETBACK	4.6m	19.2m	14.5m
MAX HEIGHT	10.7m	6.7m	9.5m
MAX HEIGHT ACCESSORY	7.7m	3m±	3m±

* FOR ALL BUILDINGS AND STRUCTURES CONSTRUCTED OR ERECTED WITHIN 61m OF THE HIGH WATER MARK ABUTTING THE LOT, LOT COVERAGE SHALL BE BASED ON THAT PORTION OF THE LOT AREA WITHIN 61m OF THE HIGH WATER MARK, ABUTTING THE LOT. IN THE CASE OF A LOT ABUTTING AN ORIGINAL SHORE ROAD ALLOWANCE, WHICH IN TURN ABUTS A HIGH WATER MARK, LOT COVERAGE SHALL BE BASED ON THAT PORTION OF THE LOT AREA AND THE AREA OF THE ORIGINAL SHORE ROAD ALLOWANCE WITHIN 61m OF THE HIGH WATER MARK ABUTTING THE ORIGINAL SHORE ROAD ALLOWANCE WITHIN THE PROJECTION OF THE SIDE LOT LINES. FOR ALL BUILDINGS AND STRUCTURES CONSTRUCTED OR ERECTED ON THE LOT BEYOND 61m OF THE HIGH WATER MARK ABUTTING THE LOT, LOT COVERAGE SHALL BE BASED ON THE TOTAL LOT AREA.

COVERAGE CALCULATIONS:

ENTIRE LOT:	EXISTING	PROPOSED
STRUCTURE	111.2m ²	160m ²
DWELLING	111.2m ²	160m ²
SHED 1	5m ²	5m ²
SHED 2	3.5m ²	3.5m ²
SHED 3	6.1m ²	6.1m ²
	125.8m ²	174.6m ²

WITHIN 61m:	EXISTING	PROPOSED
STRUCTURE	96.2m ²	101.8m ²
DWELLING	96.2m ²	101.8m ²
SHED 1	5m ²	5m ²
SHED 2	3.5m ²	3.5m ²
SHED 3	6.1m ²	6.1m ²
	110.8m ²	116.4m ²



1 EXISTING SITE PLAN

2 PROPOSED SITE PLAN



LAUREN SPIVAK
 BCIN# 115070
 lauren@laurenspivot.com
 705-787-6648

THE DESIGNER HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN ACTIVITIES RELATING TO THESE DOCUMENTS

PEMBLETON COTTAGE
 1326 WINDERMERE RD
 MUSKOKA LAKES

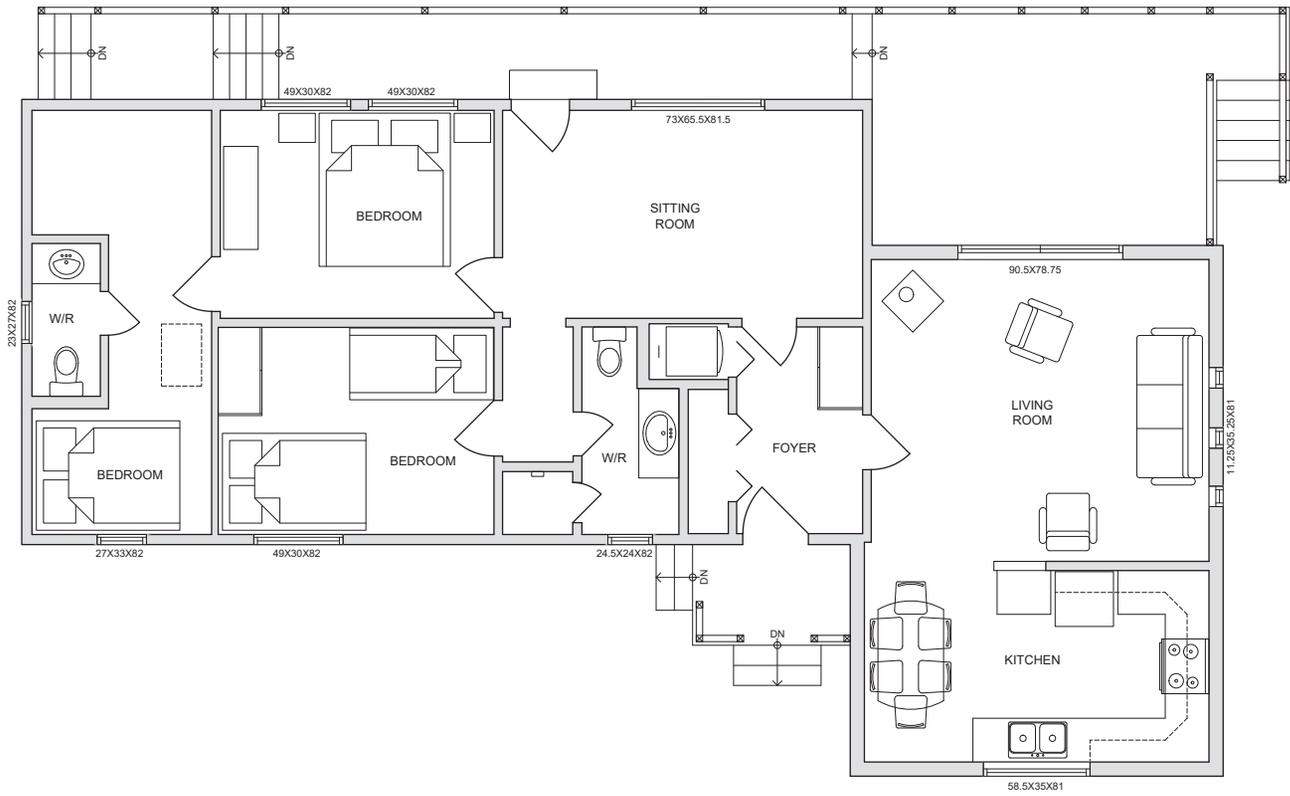
REVISIONS:	
1.	01/08/25 FOR CLIENT REVIEW
2.	01/23/25 FOR PRE-CONSULTATION
3.	02/03/25 FOR MINOR VARIANCE
4.	03/12/25 ADDED STAIR DIMENSION

SCALE: 1:300

SITE PLAN
 SP-1

NOT TO SCALE

EXISTING FLOOR PLAN - DWELLING



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PEMBLETON COTTAGE
 1326 WINDERMERE RD., UNIT #8
 MUSKOKA LAKES

REVISIONS:

1.	09/09/24	FOR CLIENT REVIEW
2.	01/14/25	FOR PRE-CONSULTATION
3.	02/03/25	FOR MENDOR VARIANCE

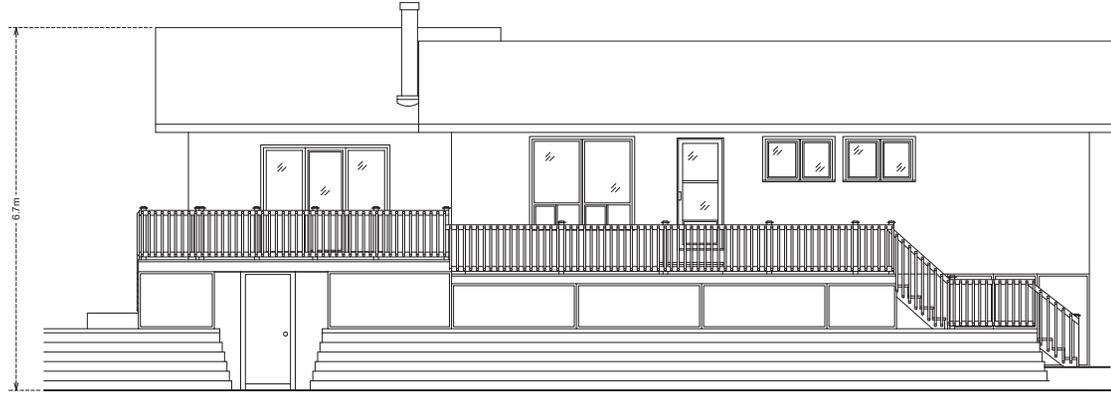
SCALE: 1/4" = 1'-0"

EXISTING MAIN FLOOR PLAN EX-2

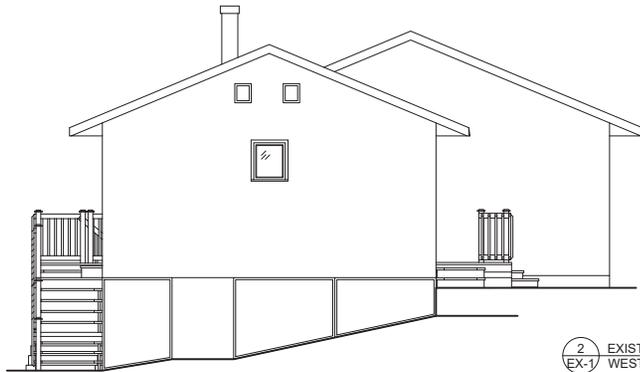
FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

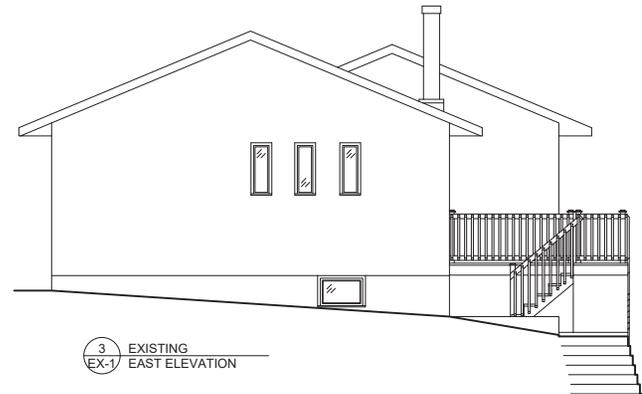
EXISTING ELEVATIONS - DWELLING



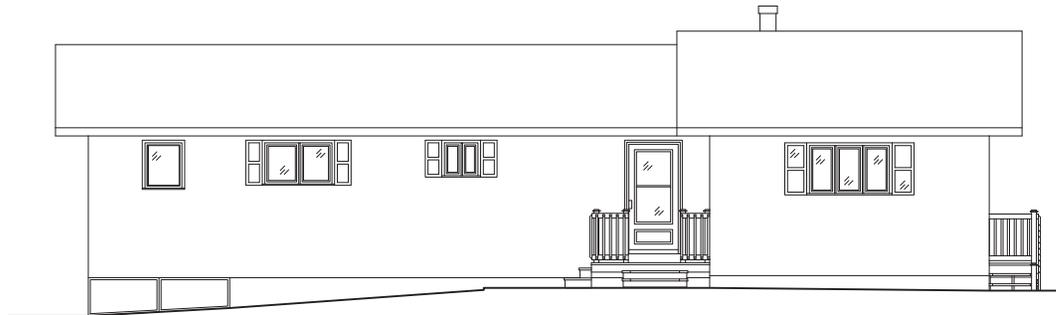
1 EXISTING NORTH
EX-1 (LAKESIDE) ELEVATION



2 EXISTING WEST ELEVATION



3 EXISTING EAST ELEVATION



4 EXISTING SOUTH ELEVATION

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PEMBLETON COTTAGE
1326 WINDERMERE RD., UNIT #8
MUSKOKA LAKES

REVISIONS:

1.	02/03/25	FOR MINOR VARIANCE

SCALE: 3/16" = 1'-0"

EXISTING ELEVATIONS
EX-3

EXISTING DWELLING RENDERINGS



NOT TO SCALE



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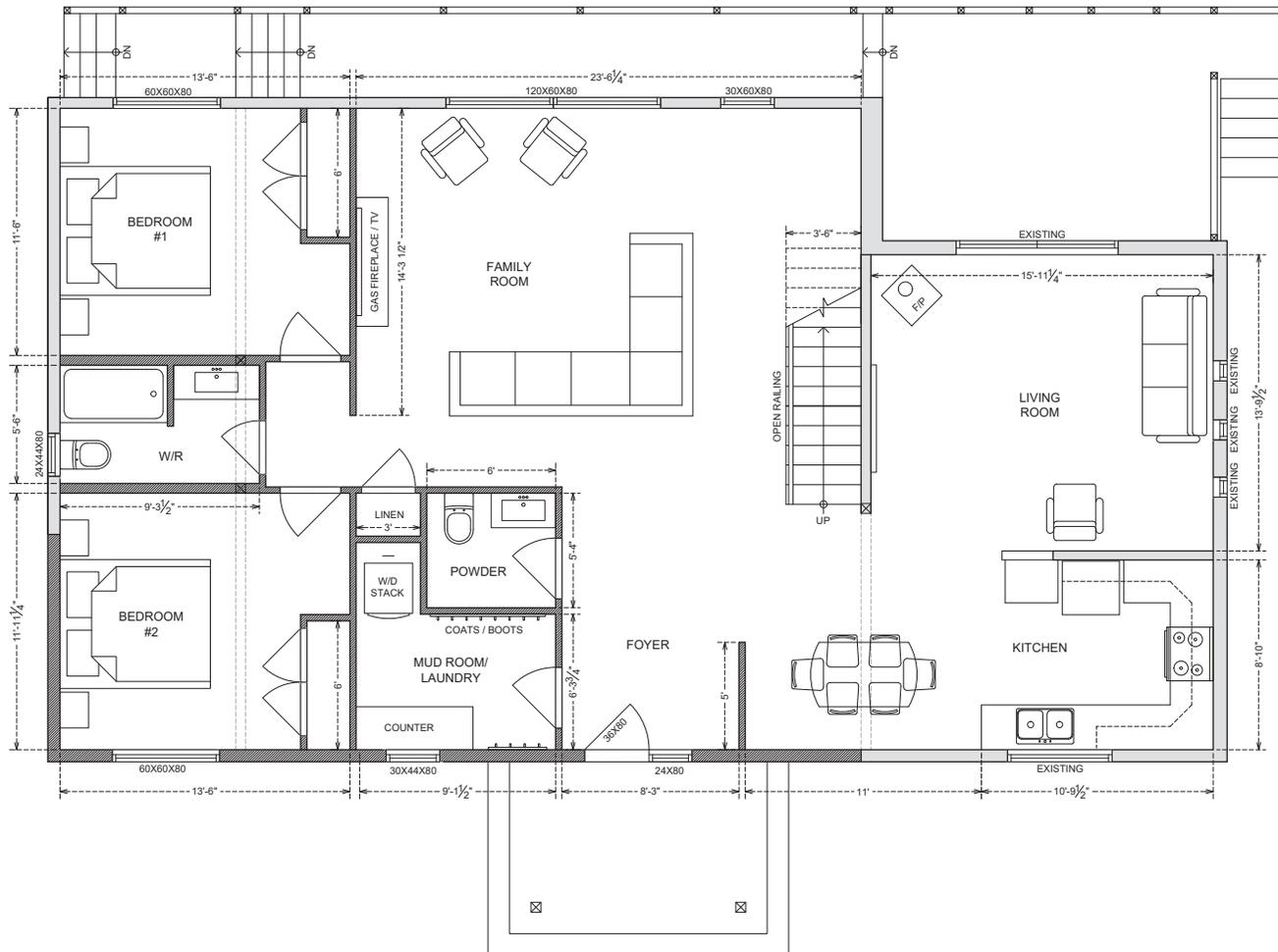
EXISTING DWELLING RENDERINGS



NOT TO SCALE

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PROPOSED FLOOR PLANS - DWELLING



FOR INFORMATIONAL PURPOSES ONLY

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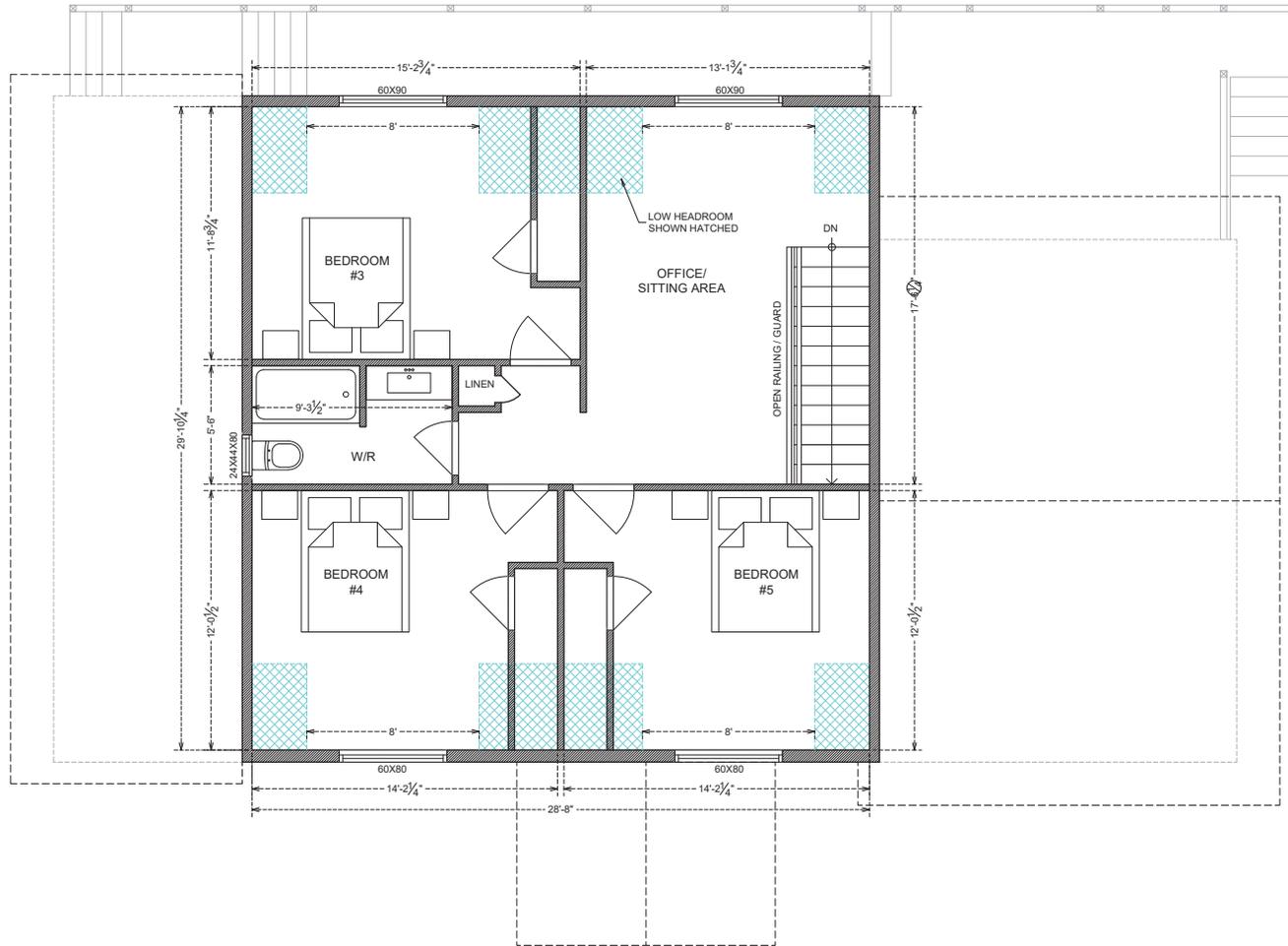
PEMBLETON COTTAGE
 1326 WINDERMERE RD., UNIT #8
 MUSKOKA LAKES

REVISIONS:

1.	01/14/25	FOR CLIENT REVIEW
2.	01/14/25	FOR PRE-CONSULTATION
3.	02/03/25	FOR MINOR VARIANCE

SCALE: 1/4" = 1'-0"
PROPOSED MAIN FLOOR PLAN
A-2

PROPOSED FLOOR PLANS - DWELLING



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3.	02/03/25	FOR MINOR VARIANCE

SCALE: 1/4" = 1'-0"

**PROPOSED
 SECOND FLOOR PLAN**

A-3

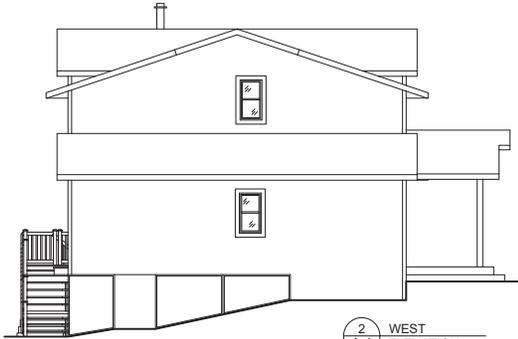
FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

PROPOSED ELEVATIONS - DWELLING



1 NORTH (LAKESIDE) ELEVATION
A-4



2 WEST ELEVATION
A-4



3 EAST ELEVATION
A-4



4 SOUTH ELEVATION
A-4

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PEMBLETON COTTAGE
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MUSKOKA LAKES

REVISIONS:

1.	02/03/25	FOR MINOR VARIANCE

SCALE: 1/8" = 1'-0"

ELEVATIONS

A-4

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

PROPOSED DWELLING RENDERINGS



NOT TO SCALE



FOR INFORMATIONAL PURPOSES ONLY

PROPOSED DWELLING RENDERINGS



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