

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-16/25 Roll No : 5-2-098-01

			0 3-2-030-01		
Owners:	Joseph & Lynne Brophy, 7222 Clayton Walk, London, ON, N6P 1W1				
Address &	2A Mirror Lake Drive				
Description:	Lot 30, Concession 3, Lot 97, Plan M373, Part 23, Plan BR-194 (Medora)				
Zoning:	Community Residential – Residential Mirror Lake Schedule: 55				
•	Waterfront (R4) & Environmental Protection	(Lake Muskoka -			
(EP2) Category 1)					
Hearing Date: Friday, May 16 th , 2025 at 9:00 a.m.					

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend inperson. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <u>https://www.muskokalakes.ca/planning-notices/</u> or scan the QR code.



Explanation of the Purpose and Effect:

The applicants propose to construct a two-storey addition to an existing dwelling. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	3.23.1	Minimum Setback from an Unopened Road Allowance	25 ft.	17 ft.	8 ft.	Construct a Two-
В	5.1.3	Minimum Exterior Side Yard Setback from the Southerly Side Lot Line	25 ft.	17 ft.	8 ft.	Storey Dwelling Addition and Attached
С	8.1.3 a.	Minimum Setback from an Environmental Protection (EP2) Zone	100 ft.	79 ft.	21 ft.	Covered Porch

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



Notice of Hearing A-16/25, Brophy

For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at <u>planning@muskokalakes.ca</u> or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O.

Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be

 \mathcal{V} included on the agenda, please submit your comments by: May 7th, 2025. Please note that comments can still be submitted after the agenda has been published.

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit <u>www.muskokalakes.ca/zoom</u>

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact <u>planning@muskokalakes.ca</u> by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on <u>www.muskokalakes.ca</u>

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

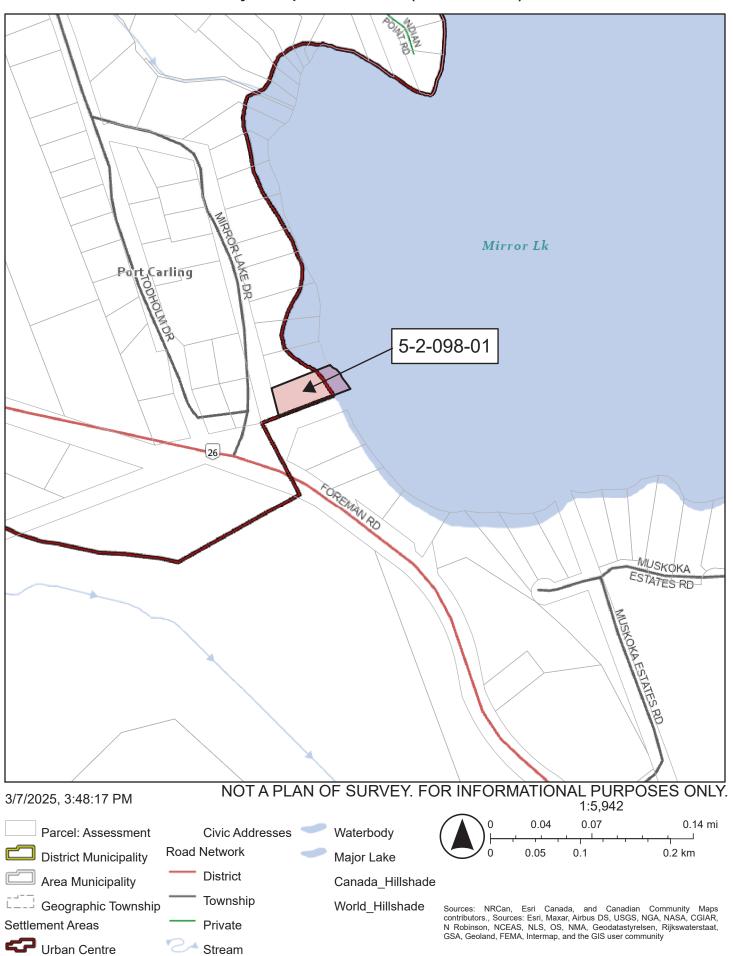
DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to <u>planning@muskokalakes.ca</u>. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

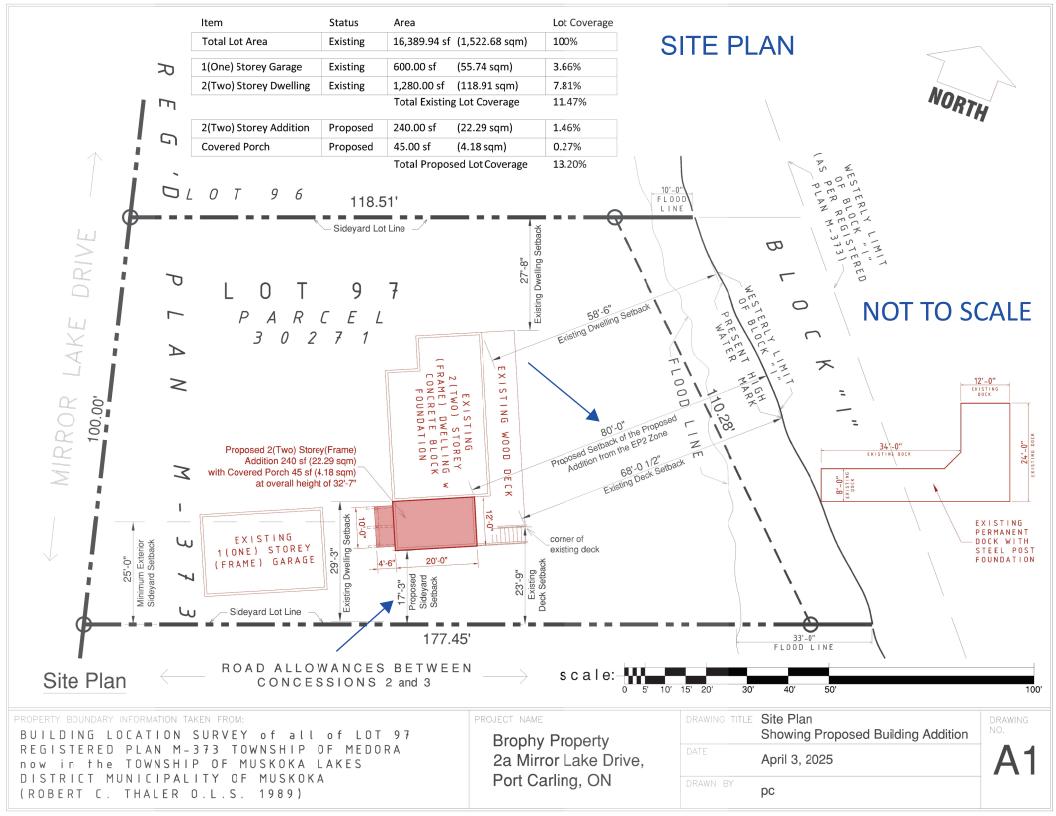
PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes this 1st day of May, 2025. Chelsea Ward, Secretary-Treasurer Committee of Adjustment <u>planning@muskokalakes.ca</u>



Key Map, A-16/25 (BROPHY)







North Country DESIGN & BUILD INC.

General Notes:

- These designs / drawings remain the property of North Country Design & Build Inc. License is granted for the construction of one only of the project represented herein.
- The contractor shall verify all dimensions on site prior to the construction and report any discrepancies or omissions immediately to the designer.
- Under no circumstances shall the contractor or sub-contractors proceed in uncertainty.
- It is the role of the builder / contractor: - to ensure that construction does not proceed
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9	DESIGN REVISIONS	13SEP24
8	DESIGN REVISIONS	02JUL24
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6	DESIGN REVISIONS	05APR24
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3	DESIGN REVISIONS	16AUG23
2	DESIGN REVISIONS	10AUG23
1	PRELIMINARY DESIGN	20JUL23
No.	Revision / Issue	Date

Project Name and Address:

BROPHY COTTAGE ADDITION 2A MIRROR LAKE ROAD PORT CARLING, ON

Scale: NTS

SH. 1

Designed / Drawn by: JEN SCHWINDT

Sheet: PERSPECTIVE VIEW

BCIN: 45837



NORTH COUNTRY DESIGN & BUILD INC

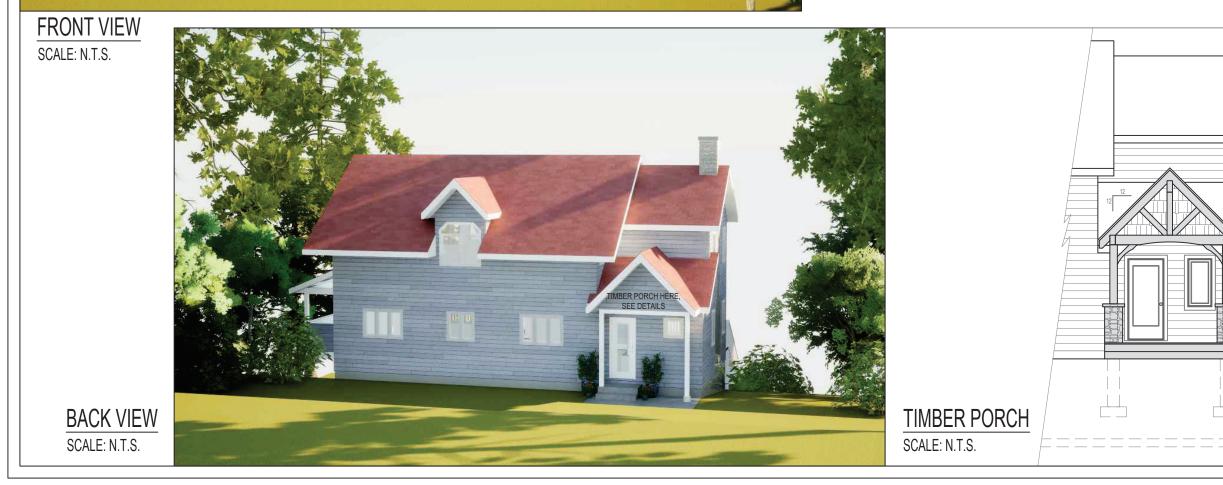
FIRM BCIN: 46662

- PHONE: 705-774-3146 EMAIL: northcountrydb@gmail.com WEB: northcountrydesignbuild.com



DWELLING ADDITION DRAWINGS

FOR INFORMATIONAL PURPOSES ONLY



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CONSTRUCTION FOR USED \mathbf{m} 10 NOT ARE DRAWINGS THESE FINALIZED,

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Project Name and Address:

BROPHY COTTAGE ADDITION 2A MIRROR LAKE ROAD PORT CARLING, ON

Scale: NTS

Sheet: FRONT & BACK VIEW

Designed / Drawn by: JEN SCHWINDT

BCIN: 45837

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NORTH COUNTRY DESIGN & BUILD INC

FIRM BCIN: 46662

SH. 2



DWELLING ADDITION DRAWINGS

LEFT VIEW SCALE: N.T.S.

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BROPHY COTTAGE ADDITION 2A MIRROR LAKE ROAD PORT CARLING, ON

Scale: NTS

Sheet: LEFT VIEW

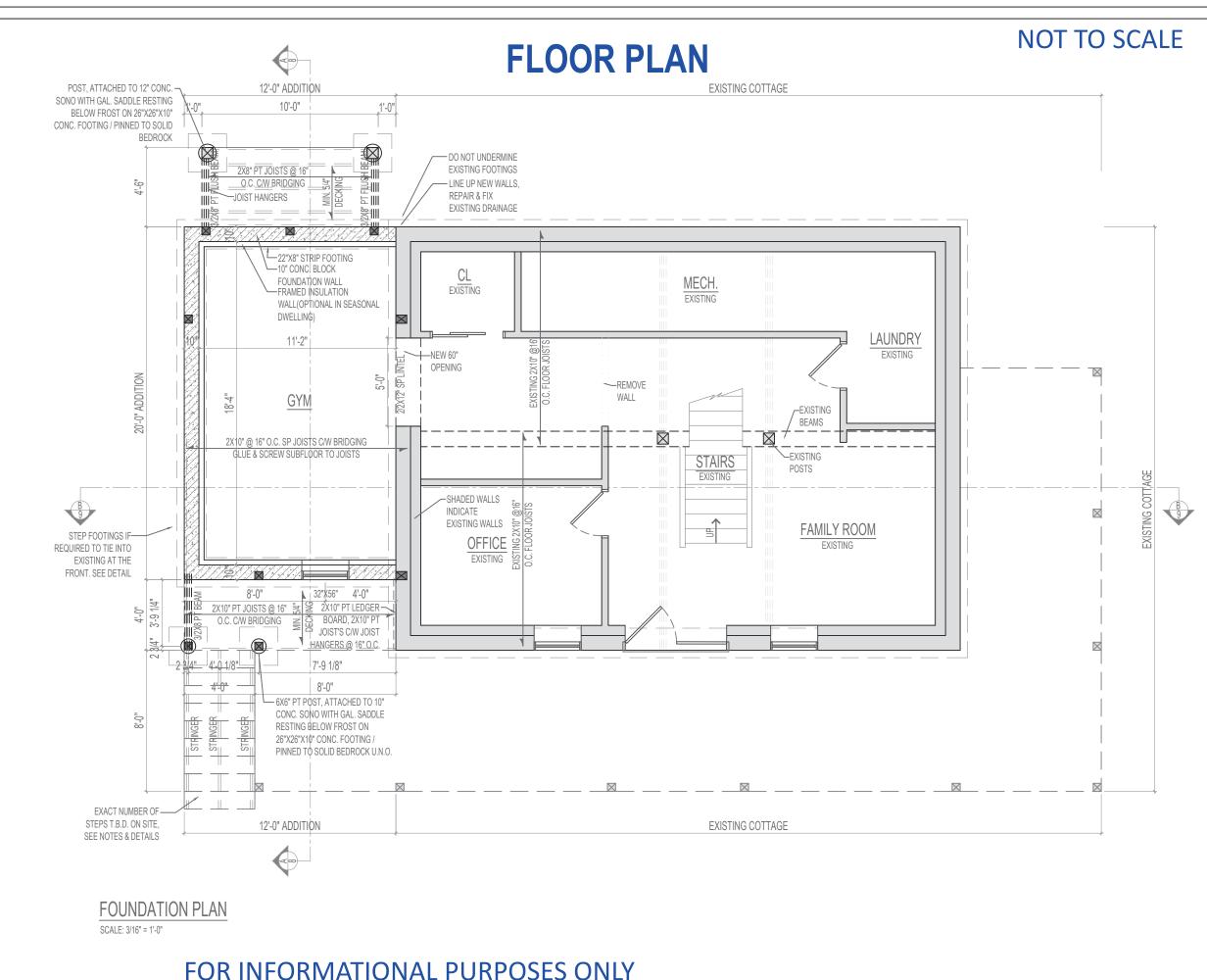
SH. 3

Designed / Drawn by: JEN SCHWINDT

BCIN: 45837

NORTH COUNTRY DESIGN & BUILD INC.

FIRM BCIN: 46662



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Project Name and Address:

BROPHY COTTAGE ADDITION 2A MIRROR LAKE ROAD PORT CARLING, ON

Scale: 3/16"=1'-0"

Sheet: FOUNDATION PLAN

SH. 4

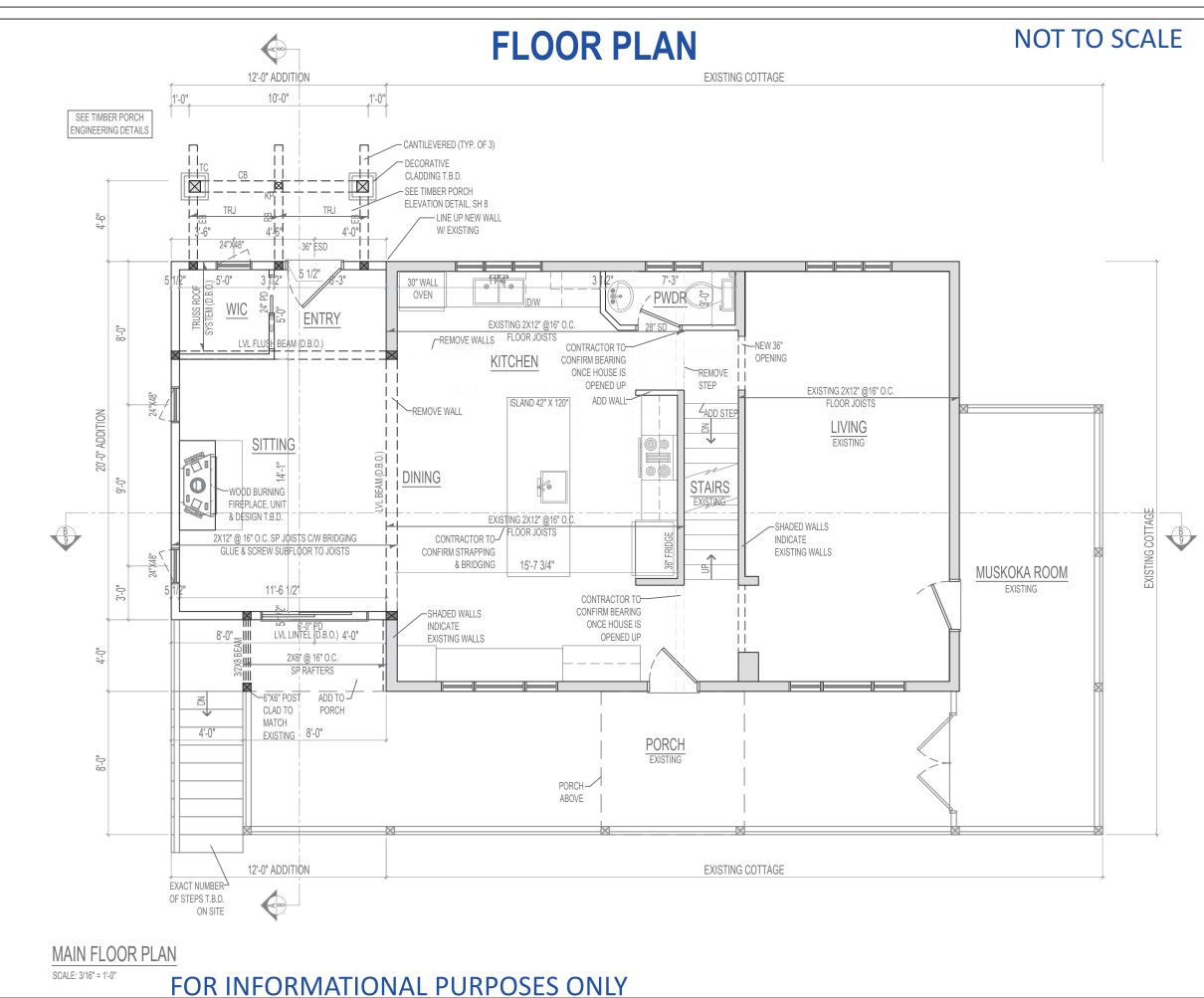
Designed / Drawn by: JEN SCHWINDT

BCIN: 45837



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BROPHY COTTAGE ADDITION 2A MIRROR LAKE ROAD PORT CARLING, ON

Scale: 3/16"=1'-0"

Sheet: MAIN FLOOR PLAN

SH. 5

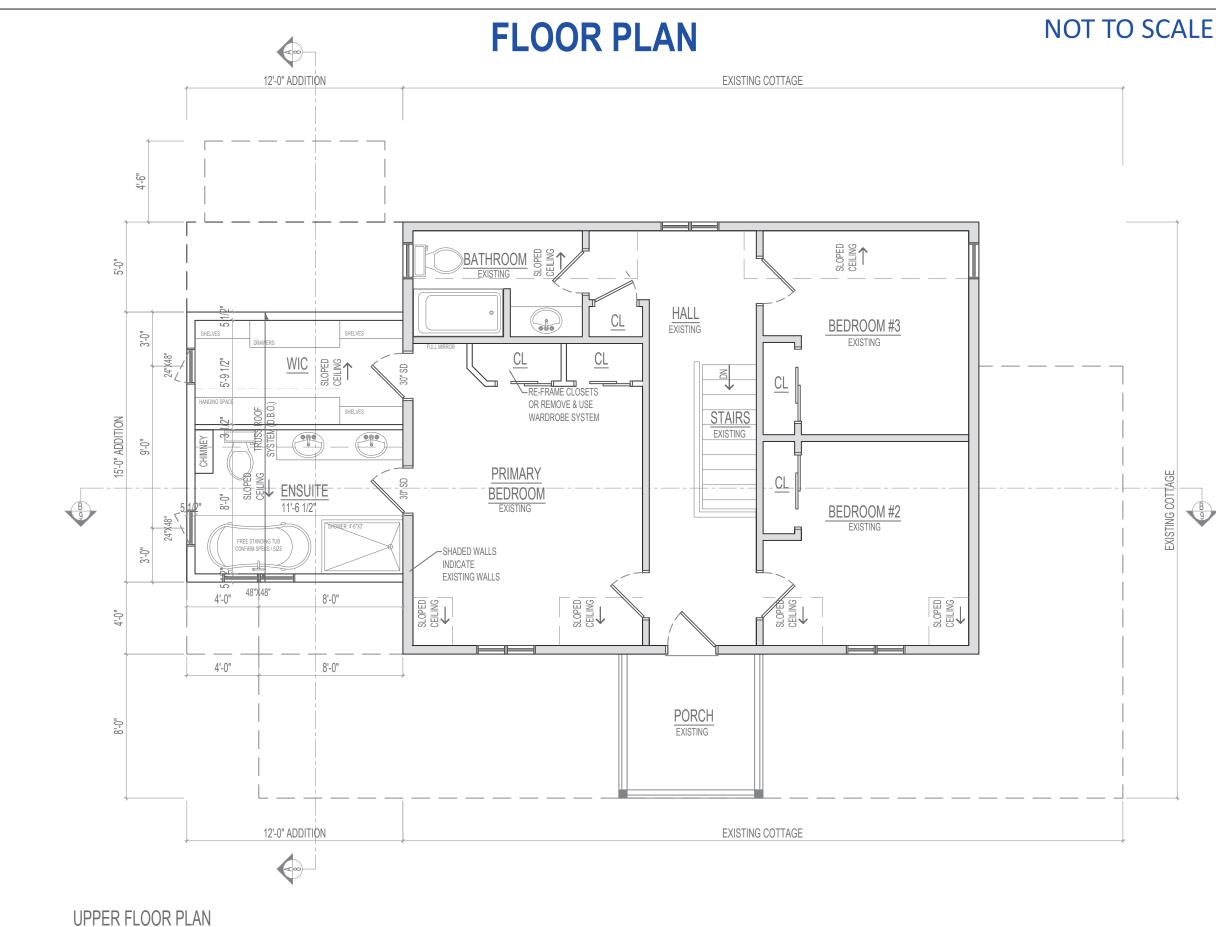
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SCALE: 3/16" = 1'-0"

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BROPHY COTTAGE ADDITION 2A MIRROR LAKE ROAD PORT CARLING, ON

Scale: 3/16"=1'-0"

Sheet: UPPER FLOOR PLAN

SH. 6

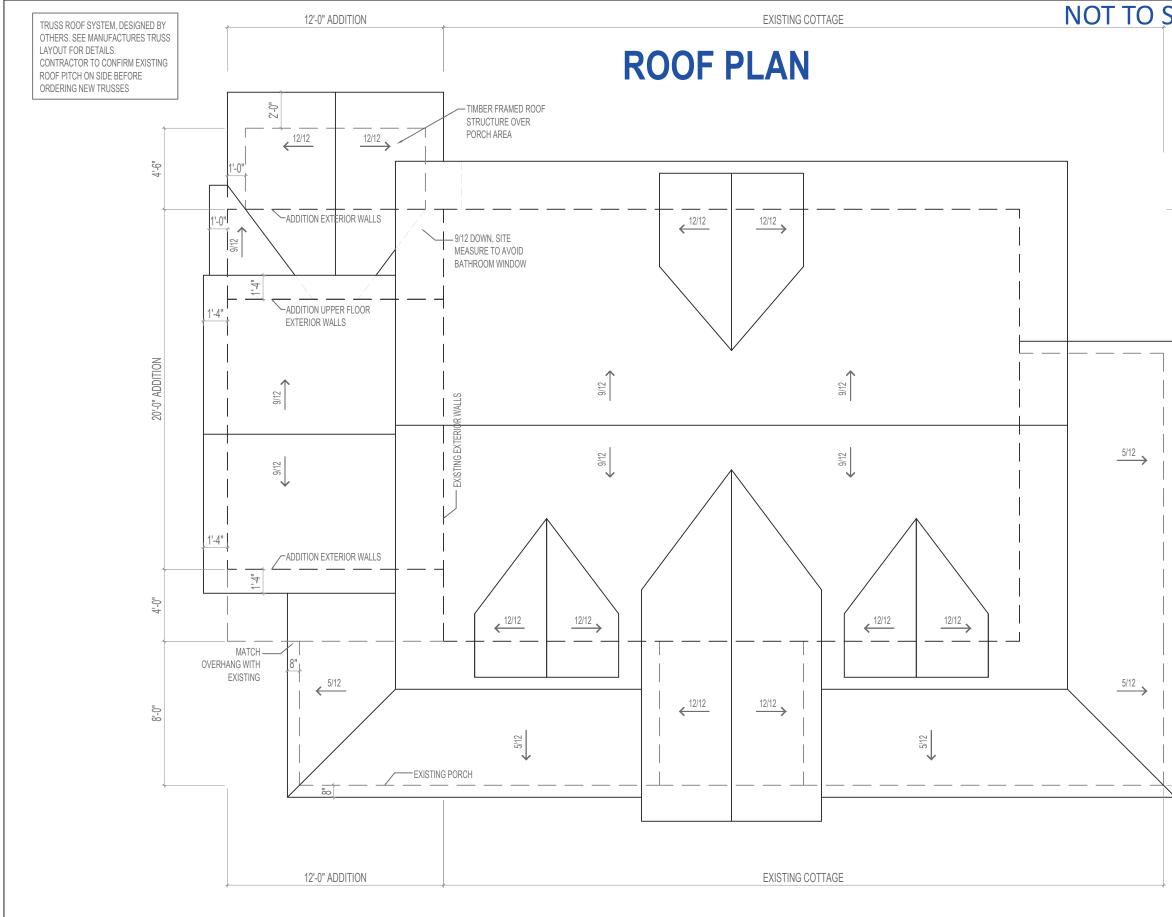
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BCIN: 45837



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FIRM BCIN: 46662



ROOF PLAN SCALE: 3/16" = 1'-0"

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BROPHY COTTAGE ADDITION 2A MIRROR LAKE ROAD PORT CARLING, ON

Scale: 3/16"=1'-0" Sheet: ROOF PLAN

SH. 7

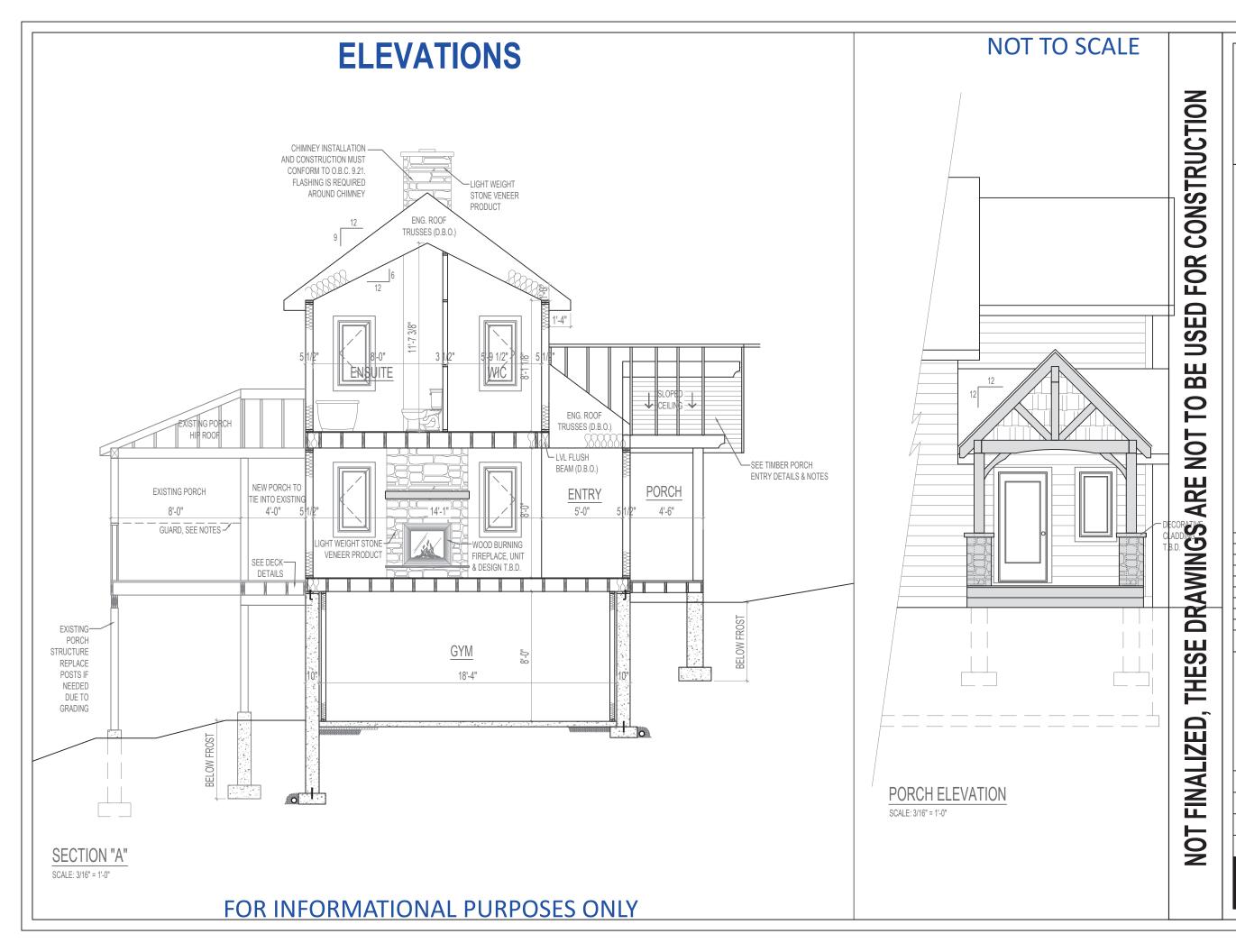
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Project Name and Address:

BROPHY COTTAGE ADDITION 2A MIRROR LAKE ROAD PORT CARLING, ON

Scale: 3/16"=1'-0"

Sheet: SECTION "A" & PORCH ELEVATION SH.8

Designed / Drawn by: JEN SCHWINDT

BCIN: 45837 FIRM BCIN: 46662

NORTH COUNTRY DESIGN & BUILD INC.

ELEVATIONS





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General Notes:

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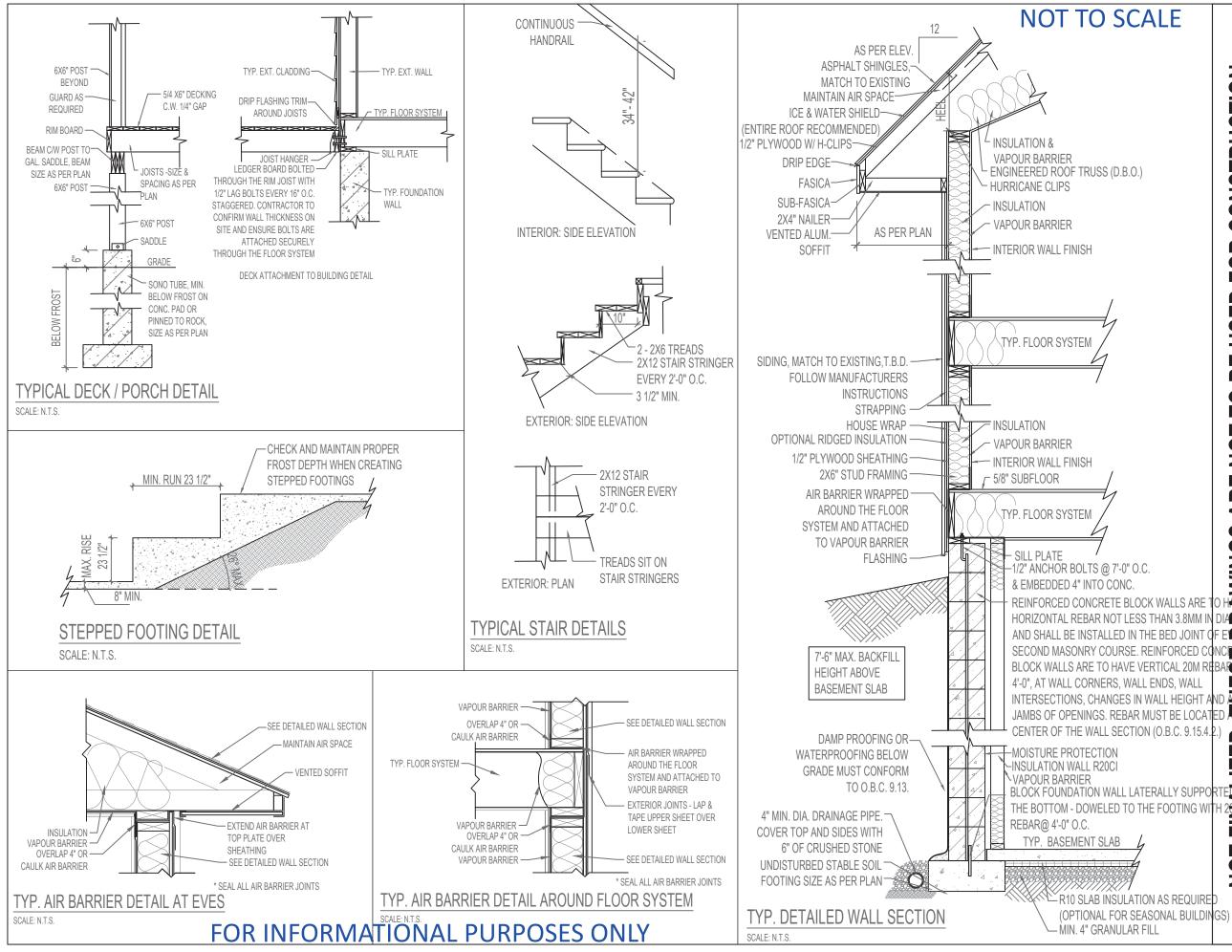
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Designed / Drawn by: JEN SCHWINDT

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FIRM BCIN: 46662



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NORTH COUNTRY DESIGN & BUILD INC

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PHONE: 705-774-3146

GENERAL PROJECT NOTES:

- 1. THE DRAWINGS AND DETAILS ARE TO BE READ TOGETHER. NOT AS INDIVIDUAL PAGES
- 2. THE OWNER / BUILDER IS RESPONSIBLE FOR THE SITE PLAN AND LOCATION OF THE BUILDING INCLUDING CONFIRMING THE TYPE OF SOIL AND THE BEARING SOI PRESSURE ALLOWED
- 3. ANYTHING LABELED D.B.O. MUST BE DESIGNED BY SOMEONE CERTIFIED TO DESIGN THAT PORTION OF THE STRUCTURE, SUCH AS A STRUCTURAL ENGINEER, NORTH COUNTRY DESIGN AND BUILD INC. CANNOT BE HELD RESPONSIBLE FOR THOSE COMPONENTS.
- 3D MODELED ELEVATIONS MAY NOT BE A PERFECT REPRESENTATION OF THE FINAL DESIGN. SEE ALL CONSTRUCTION NOTES & DETAILS.

GENERAL CONSTRUCTION MATERIAL NOTES:

- I. ALL CONSTRUCTION MATERIALS MUST BE APPROVED FOR IT'S INTENDED USE IN IT'S **BUILDING LOCATION**
- 2. LUMBER SHALL CONFORM TO THE REQUIREMENTS IN O.B.C. 9.3.2.

GENERAL INSULATION AND VENTILATION NOTES:

- THIS IS A SEASONAL COTTAGE. INSULATION IS NOT REQUIRED. IF INSULATING. INSULATION MUST BE INSTALLED IN ACCORDANCE WITH O.B.C.9.25
- 2. 6 MIL POLY VAPOUR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF THE INSULATION
- 3. ALL ROOF SPACES SHALL BE VENTED. EQUALLY DISTRIBUTED BETWEEN THE TOP / PEAK AND THE SOFFIT / OVERHANG
- VENTILATION MUST CONFORM TO O.B.C. 9.32.

GENERAL FOUNDATION NOTES:

- CONCRETE BLOCK FOUNDATIONS MUST CONFORM TO O.B.C. 9.15.4
- 2. FOUNDATION IS TO BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM
- 3. FOOTINGS HAVE BEEN DESIGNED ACCORDING TO O.B.C. 9.15. AND SHALL REST ON STABLE SOILS . ROCK. OR COMPACTED GRANULAR FILL.
- 4. THE DESIGN OF STEPPED FOOTINGS SHALL NOT EXCEED A VERTICAL RISE OF MORE THAN 23 5/8" BETWEEN HORIZONTAL PORTIONS, AND THE HORIZONTAL DISTANCE BETWEEN RISERS SHALL NOT BE LESS THAN 23 5/8" (SEE DETAIL)
- MUST CONFORM TO O.B.C. 9.12 FOR EXCAVATION & O.B.C. 9.12.3. FOR BACKFILL
- MUST CONFORM TO O.B.C. 9.13 FOR DAMPPROOFING AND WATERPROOFING.
- 7. MUST CONFORM TO O.B.C. 9.14 FOR DRAINAGE REQUIREMENTS
- CONCRETE SHALL CONFORM TO THE REQUIREMENTS IN O.B.C. 9.3. & 9.16.4.
- 9. EXTERIOR FOUNDATION WALLS SHALL EXTEND A MIN. OF 6" ABOVE FINISHED GRADE AND BE PARGED
- POSTS AND COLUMNS ARE TO CONFORM TO 9.17. COLUMNS SHALL BE CENTRALLY LOCATED ON THE FOOTING. COLUMNS SHALL BE SECURELY FASTENED TO THE SUPPORTED MEMBER TO REDUCE THE LIKELIHOOD OF LATERAL DIFFERENTIAL MOVEMENT BETWEEN THE COLUMN AND THE SUPPORTED MEMBER. WOOD COLUMNS SHALL CONFORM TO 9.17.4.

GENERAL FRAMING NOTES:

- ALL LINTELS ARE TO BE 2/2X10" SP UNO.
- 2. EXTERIOR WALLS ARE TYPICAL 2X6" CONSTRUCTION, INTERIOR 2X4" OR 2X6" AS SHOWN
- 3. ALL MEMBERS SHALL BE SO FRAMED, ANCHORED, FASTENED, TIED AND BRACED TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY. O.B.C. 9.23.2.1
- PROVIDE ADDITIONAL LATERAL SUPPORT BETWEEN THE POSTS & BEAMS AS REQUIRED. T.B.D. ON SITE.

- 5. ALL LOAD POINTS ARE TO BE SUPPORTED BY SOLID VERTICAL-GRAIN BLOCKING THROUGH TO THE FOUNDATION.
- 6. ALL EXPOSED LUMBER TO BE PRESSURE TREATED MATERIAL OR SUITED FOR THE ELEMENTS.

GENERAL DOOR & WINDOW NOTES:

- 1. GLASS SHALL CONFORM TO O.B.C. 9.6.
- 2. GLASS IN STORM DOOR DOORS, SLIDING DOORS, AND SIDELIGHTS GREATER THAN 19 3/4" MUST BE TEMPERED OR LAMINATED SAFETY GLASS.
- 3. THE PERFORMANCE OF WINDOWS AND DOORS SHALL CONFORM TO O.B.C. 9.7.3
- 4. THE INSTALLATION SHALL CONFORM TO MANUFACTURER'S WRITTEN INSTRUCTIONS
- 5. WINDOWS & DOORS SHALL BE SEALED TO AIR BARRIERS AND VAPOUR BARRIERS
- 6. DRIP FLASHING MUST BE USED ABOVE ALL WINDOWS AND DOORS.
- 7. DOOR CODE EXAMPLE: 36" ESD EXTERIOR SINGLE DOOR 36" WIDE, 2/24 DD TWO 24" DOUBLE DOOR, 36 PD - 36" POCKET DOOR, ETC.

GENERAL CO2 AND SMOKE DETECTORS / ALARM NOTES.

- 1. ALL SMOKE ALARMS TO BE HARDWIRED AND INTERCONNECTED BETWEEN FLOORS AND SHALL HAVE A VISUAL SIGNALING COMPONENT.
- 2. SMOKE ALARMS MUST BE INSTALLED IN EACH BEDROOM, AREA BETWEEN THE BEDROOM & THE REST OF THE LIVING AREA / HALLWAY TO THE BEDROOMS
- SMOKE ALARMS MUST CONFORM TO O.B.C. 9.10.19.
- 4. CARBON MONOXIDE ALARM MUST BE INSTALLED ADJACENT TO EACH SLEEPING AREA.
- 5. CARBON MONOXIDE ALARMS ARE TO BE HARDWIRED AND INTERCONNECTED
- 6. CARBON MONOXIDE ALARMS MUST CONFORM TO O.B.C. 9.33.4.3.

GENERAL STAIR NOTES FOR EXTERIOR STAIRS:

- 1. THE NUMBER OF STEPS IS TO BE DETERMINED ON SITE. MIN. RISE: 5" MAX. RISE: 7 7/8"
 - MIN. RUN: 10 1/16" MAX. RUN: 14" FOR RECTANGULAR TREADS
- 2. THE TREAD NOSING SHALL NOT BE MORE THAN 1" IN LENGTH.
- STAIRS SHOULD HAVE UNIFORM DIMENSIONS FOR RISERS AND TREADS (OBC: 9.8.4.4.)
- 4. STAIRS SHOULD HAVE A MINIMUM WIDTH OF NOT LESS THAN 2'-10" BETWEEN WALLS OR GUARDS, (9.8.2.1.)
- 5. HEAD ROOM HEIGHT ABOVE STAIRS MUST BE MAINTAINED AT 6'-4 3/4" MIN
- 6. THE VERTICAL HEIGHT OF A FLIGHT OF STAIRS OR BETWEEN LANDINGS SHALL NOT EXCEED 12'-1"
- A HANDRAIL IS REQUIRED ON EXTERIOR STAIRS IF THERE ARE MORE THAN 3 RISERS THE HANDRAIL SHALL NOT BE LESS THAN 34" HIGH AND NOT MORE THAN 38" HIGH (OBC: 9.8.7.)
- 8. A GUARD IS REQUIRED WHERE THE DISTANCE BETWEEN SURFACES IS GREATER THAN 23 1/2". (OBC: 9.8.8.1)
- 9. LOADS ON GUARDS MUST CONFORM TO OBC: 9.8.8.2.
- 10. EXTERIOR GUARDS MUST NOT BE LESS THAN 35 1/2" HIGH WHERE THE SURFACE BELOW IS LESS THAN 5'-10 3/4" AND NOT LESS THAN 42 1/4" HIGH WHERE THE SURFACE IS GREATER THAN 5'-10 3/4" BELOW. (OBC: 9.8.8.3.)
- 11. OPENINGS IN REQUIRED GUARDS MUST NOT BE MORE THAN 4". (OBC: 9.8.8.5.)
- 12. GUARDS MUST PREVENT CLIMBING. (OBC: 9.8.8.6.)
- 12. HANDRAIL/GUARDS: PROVIDE PRODUCT / MANUFACTURER SPECIFICATIONS OR CONNECTION DETAILS TO THE BUILDING DEPARTMENT PRIOR TO INSTALLATION SHALL CONFORM WITH 9.8.7. / 9.8.8. / SB-7 OF THE O.B.C

PROJECT DETAILS AND FINISHES:

- 1. 10" CONCRETE BLOCK FOUNDATION
- 2. WALL FRAMING 2X6" #2 SPRUCE STUDS @ 16" O.C. OR 2X4" #2 SPRUCE INTERIOR STUDS AS SHOWN U.N.O.
- 3. EXTERIOR SHEATHING 1/2" PLYWOOD
- 4. TYVEK HOUSE WRAP
- 5. FLOOR SYSTEM TYP. 2X10 OR 2X12 SPRUCE, SEE PLAN FOR DETAILS.
- SUBFLOOR 5/8" T&G PLYWOOD, GLUED & SCREWED
- 7. LVLS (D.B.O.) PROVIDE BUILDING DEPARTMENT WITH SPECS AND INSTALLATION REQUIREMENTS. REVIEW AND APPROVAL IS REQUIRED.
- 8. ROOF SYSTEM ENG. TRUSSES (D.B.O.) PROVIDE BUILDING DEPARTMENT WITH SPECS AND INSTALLATION REQUIREMENTS. REVIEW AND APPROVAL IS REQUIRED.
- 9. ROOF SHEATHING 1/2" PLY C/W H-CLIPS
- 10. ICE & WATER SHIELD, EAVE PROTECTION SHALL EXTEND MIN. 3' UP ROOF SLOPE TO A LINE MIN 12" INSIDE INTERIOR FACE OF EXTERIOR WALL (ENTIRE IS ROOF RECOMMENDED ON SEASONAL WATERFRONT PROPERTIES.
- 11. ROOFING: ASPHALT SHINGLES, MATCH TO EXISTING, T.B.D.
- 12. SIDING, MATCH TO EXISTING, INSTALL AS PER MANUFACTURER'S SPECIFICATIONS
- 13. SOFFIT VENTED
- 14. FASCIA T.B.D.
- 15. WINDOWS MANUFACTURER T.B.D.
- 16. PROVIDE FLASHING OVER ALL HORIZONTAL OPENINGS AND ROOF TO WALL INTERSECTIONS
- 17. PROVIDE EXTERIOR LIGHTING AT EACH ENTRANCE TO THE DWELLING.
- 18. INSULATION IS NOT REQUIRED AS THIS IS A SEASONAL RESIDENCE. THE BELOW CAN BE USED AS A GUIDE IF INSULATING. BASED ON SB-12 TABLE 3.1.1.11. ZONE 1
- 18 1 INSULATION VALUE IN THE CEILING WITHOUT ATTIC SPACE - R31
- 18.2. INSULATION VALUE IN THE CEILING WITH ATTIC SPACE - R60
- 18.3. **EXPOSED FLOORS - R31**
- HEATED SLAB OR < 24" BELOW GRADE R10 18.4.
- 18.5. INSULATION VALUE FOR WALLS ABOVE GRADE - R19 + 5 CI
- 18.6. WINDOWS AND SLIDING DOOR MAX, U -VALUE - 1.6

DESIGN & ENERGY COMPLIANCE DATA				
LOCATION:	BRACEBRIDGE, ON			
ZONE:	1			
WIND LOAD:	1/10 = 0.27, 1/50 = 0.35 kPa			
SNOW LOAD:	Ss = 3.1, Sr = 0.4 kPa			
GROUND SNOW LOAD:	3.1 kPa			
SPECIFIED SNOW LOAD:	2.1 kPa			
COMPLIANCE PACKAGE	N/A SEASONAL COTTAGE			

FOR INFORMATIONAL PURPOSES ONLY

ABBREVIATIONS

THE FOLLOWING IS A LIS OF ABBREVIATIONS USED T THESE PLANS:

C/W - COMPLETE WITH CONC. - CONCRETE S R.O. - ROUGH OPENING W/ - WITH R MIN. - MINIMUM MAX. - MAXIMIM S NO LB - LOAD BEARING TYP. - TYPICAL C EXT. - EXTERIOR INT. - INTERIOR 2 HDR. - HEADER O D.B.O. - DESIGNED BY C O.B.C. - ONTARIO BUILD ODE U.N.O.- UNLESS NOTED BM. - BEAM S **PT - PRESSURE TREATE** Ď SP - SPRUCE DIA. - DIAMETER \mathbf{m} O.C. - ON CENTER O D/W - DISHWASHER ELEV. - ELEVATION ALUM. - ALUMINUM Ö DIM(S). - DIMENSION(S)

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North COUNTRY **DESIGN & BUILD INC**

General Notes:

- These designs / drawings remain the property of North Country Design & Build Inc. License is granted for the construction of one only of the project represented herein
- The contractor shall verify all dimensions on site prior to the construction and report any discrepancies or omissions immediately to the designer.
- Under no circumstances shall the contractor or sub-contractors proceed in uncertainty.
- It is the role of the builder / contractor - to ensure that construction does not proceed unless any permits required under the Building Code Act have been issued
 - to construct the building in accordance with the permit.
 - to use appropriate building techniques to achieve compliance with the Building Code Act and the Building Code.
- when site conditions affect compliance with the Building Code, to notify the designer and building inspector
- No person shall make a design or material change without notifying and filing details with the chief building official
- At each stage of construction the chief building inspector shall be notified that the construction is ready for an inspection.
- All window and door sizes to be verified by the supplier.
- Unless these drawings are printed on 11"x17" paper they will not be to scale and should be read accordingly

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No.	Revision / Issue	Date

Project Name and Address

BROPHY COTTAGE ADDITION 2A MIRROR LAKE ROAD PORT CARLING, ON

Scale: NTS

Sheet: NOTES

SH. 11

Designed / Drawn by: JEN SCHWINDT

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