

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

### THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: A-17/25**

**Roll No.: 6-9-027**

<b>Owner:</b>	Cynthia Thomas, 9 Pheasant Lane, Etobicoke, ON, M9A 1T1		
<b>Address &amp; Description:</b>	1009 Old Bala Road Part of Lot 27, Concession 8, Parts 1 to 3, Plan 35R-17575 (Wood)		
<b>Zoning:</b>	Waterfront Residential – Steep Slopes and/or Narrow Waterbody (WR6 & WR6-R)	Lake Muskoka (Category 1 Lake)	Schedule: 48
<b>Hearing Date: Friday, May 16<sup>th</sup>, 2025 at 9:00 a.m.</b>			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



### Explanation of the Purpose and Effect:

The applicant proposes to recognize two as-built sundecks, including a freestanding sundeck and a sundeck attached to an existing dwelling. The applicant also proposes to recognize an as-built dock. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	3.4.1 e.	Minimum Lot Area	15,000 sq. ft	12,686 sq. ft	2,314 sq. ft	Recognize an As-Built Dock and As-Built Sundecks on an Undersized Lot
B	4.1.3	Minimum Interior Side Yard Setback from the Easterly Side Lot Line	15 ft.	4 ft.	11 ft.	Recognize an As-Built Sundeck (Sundeck #1)



Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
C	4.1.3	Minimum Front Yard Setback	50 ft.	36 ft.	14 ft.	
D	4.1.3	Minimum Interior Side Yard Setback from the Easterly Side Lot Line	15 ft.	10.5 ft.	4.5 ft.	Recognize an As-Built Sundeck (Sundeck #2)
E	4.1.7 & 4.1.7.12 a.	Maximum Cumulative Dock Width	25.5 ft. (25%)	28.5 ft. (27.8%)	3 ft.	Recognize an As-Built Dock

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**

## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: May 7, 2025. **Please note that comments can still be submitted after the agenda has been published.**

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

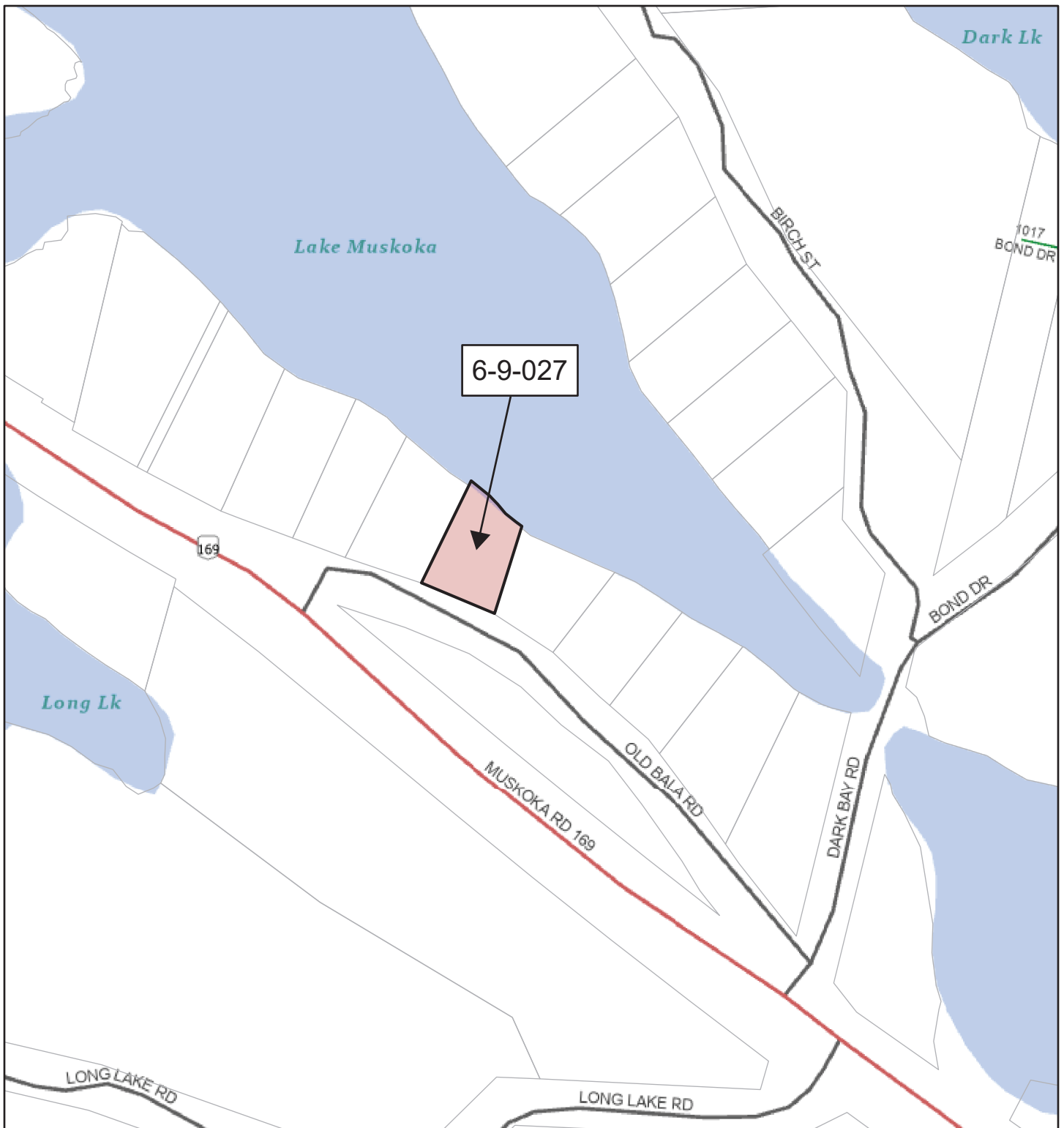
**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
this 29<sup>th</sup> day of April, 2025.

Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)

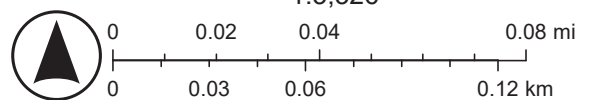
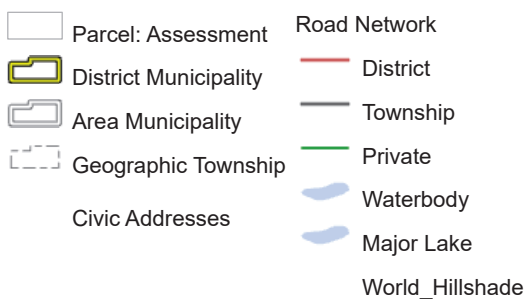


# Key Map, A-17/25 (THOMAS)



3/7/2025, 3:51:43 PM

NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.



Sources: NRCan, Esri, Canada, and Canadian Community Maps contributors., Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community

ZONING DETAILS	
STRUCTURES	OVER WATER
LAKE CLASS	CATEGORY 1
STRAIGHT LINE FRONTAGE	
DOCKS	
MAX. LENGTH	40'
MAX. CUMULATIVE WIDTH	25%
MIN. SIDE YARD SETBACK	30'
BOATHOUSE	
MAX. LENGTH	35'
MAX. CUMULATIVE WIDTH	10%
HABITABLE FLOOR AREA	NO
MAX. SIZE 2ND STOREY	NA
LOCATION OF 2ND STOREY	NA
MAX. HEIGHT	16'
MIN. SIDE YARD SETBACK (1 STOREY)	30'
MIN. SIDE YARD SETBACK (1 STOREY Y SUUNDECK)	NA

DEFINITION	CUMULATIVE WIDTH	% COVERAGE
STRAIGHT LINE FRONTAGE	102'-6"	--
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EXISTING DOCK	28'-5"	27.77%
EXISTING DOCK TOTAL	28'-5"	27.77%

EXISTING LOT AREA STATS		
DEFINITION	AREA (SQ)	% COVERAGE
TOTAL LOT AREA	12,686	—
AREA WITHIN 200' OF HW MARK	12,686	—
EXISTING STRUCTURES		
DWELLING	985	7.8%
BUNKIE	106.8	0.84%
WOOD SHED	24.3	0.19%
EXISTING TOTAL	1,116.1	8.8%



OLD BALA ROAD  
(COLONIZATION ROAD)  
P.I.N. 48030-0886(LT)

NOT TO SCALE



705.640.3800  
INFO@DEKONINGGROUP.COM  
3 ARMSTRONG POINT ROAD  
PORT CARLING, ONTARIO  
P0B 1J0

PROFESSIONAL ENGINEER

BCIN REGISTRATION INFORMATION	
DE KONING GROUP INC.	124300
FIRM NAME	FIRM BCIN

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.41 OF THE BUILDING CODE.

[illegible]

IND.	
CLIENT	

INTERIOR ATELIER

PROJECT

THOMAS PROPERTY  
1009 OLD BALA ROAD  
TOWNSHIP OF MUSKOKA LAKES

DRAWING

## SITE PLAN

PROJECT 25-71-01

DATE JANUARY 2025

DESIGNED	HQ
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REVIEWED	NOK
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SCALE AS SHOWN

SHEET

SP 1