

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-19/25

Roll No.: 7-5-048

Owners:	Bruce Stuart & Korine Markle, 1011 Hamill Road, RR 1, Torrance, ON, P0C 1M0		
Address & Description:	1011 Hamill Road, Unit #3 Lot 27, Concession 7, Lot 12, Plan M126 (Wood)		
Zoning:	Waterfront Residential – Highly Sensitive or Over Threshold Lakes (WR4)	Dark Lake – Lake Muskoka (Category 1 Lake)	Schedule: 48
Hearing Date: Friday, May, 16th, 2025 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notice/> or scan the QR code.



Explanation of the Purpose and Effect:

The applicant proposes to construct a detached garage. The following is a summary of the requested variance:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3 & 4.1.3.6	Maximum Lot Coverage (Entire Lot)	10% (2,168 sq. ft.)	10.8% (2,340 sq. ft.)	0.8% (172 sq. ft.)	To Construct a Detached Garage

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: May 7, 2025. **Please note that comments can still be submitted after the agenda has been published.**

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 23rd day of April, 2025.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



Key Map, A-19/25 (STUART & MARKLE)

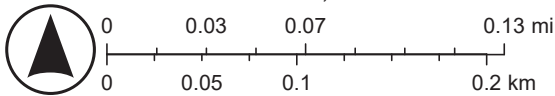


3/11/2025, 11:03:57 AM

NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

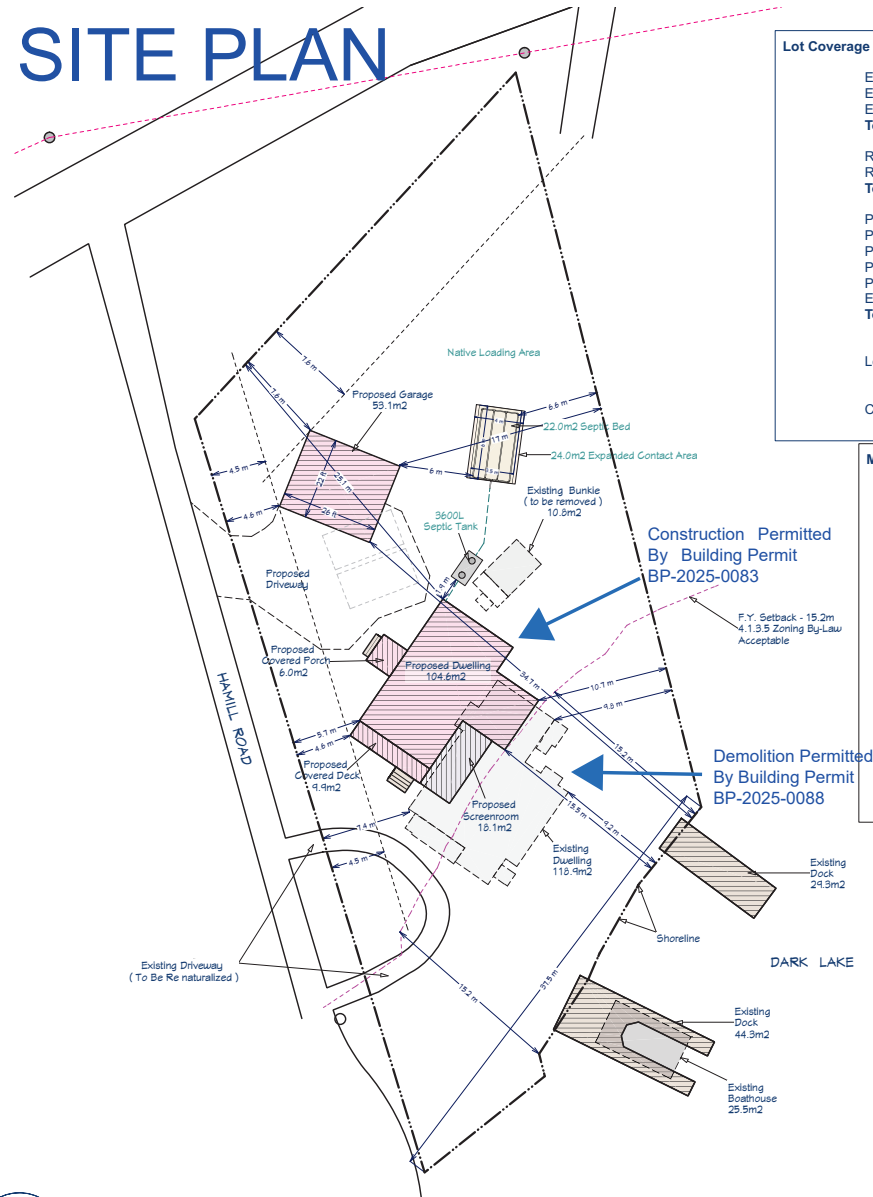
- Parcel: Assessment
-
- District Municipality

Civic Addresses



Sources: NRCan, Esri, Canada, and Canadian Community Maps contributors., Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community

SITE PLAN



Lot Coverage

Existing Dwelling	118.9m2
Existing Bunkie	10.8m2
Existing Boathouse	25.5m2
Total	155.2m2

Remove Dwelling	- 118.9m2
Remove Bunkie	- 10.8m2
Total	25.5m2

Proposed Dwelling	104.6m2
Proposed Garage	53.1m2
Proposed Covered Deck	9.9m2
Proposed Covered Porch	6.0m2
Proposed Screenroom	18.1m2
Existing Boathouse	25.5m2
Total	217.2m2

Lot Coverage	Full Lot (2014.1m2)	Required 10%	Existing 7.7%	Proposed 10.8%	Acceptable No (Variance Required)
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Category 1 Lake = 10% Lot Coverage

MUSKOKA LAKES ZONING WR4

LOT SETBACKS

Proposed Dwelling	Required	Proposed	Acceptable
FY	15.2m	15.5m	Yes
SY(E)	4.5m	22.6m	Yes
SY(W)	4.5m	4.8m	Yes
RY	7.5m	25.1m	Yes

Proposed Garage	Required	Proposed	Acceptable
FY	15.2m	34.7m	Yes
SY(E)	4.5m	17.0m	Yes
SY(W)	4.5m	4.8m	Yes
RY	7.5m	7.6m	Yes



Design By Bobbi

CONTACT INFORMATION:

Name: Bobbi Leppington
Phone: 705-321-8916
Email: designbybobbi@gmail.com

Location: 379 Regent St
Orillia, Ontario
L3V 1V4

GENERAL NOTE:

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO THE DESIGNER.

PROJECT INFORMATION:

BRUCE STUART AND KORINE MARKLE
1011 HAMILL ROAD , UNIT 3
TORRENCE ON

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

18465 **B. Leppington**

BCIN SIGNATURE

REGISTRATION INFORMATION:

103806 **Design by Bobbi**

BCIN FIRM NAME

REVISIONS

NUM	DATE	REVISED BY	DESCRIPTION
01	24.09.06	SLR	SITE PLAN
02	24.10.16	SLR	REV 1
03	24.11.01	SLR	REV 2
04	25.04.10	SLR	REV 4

DRAWN BY:

STEVE ROSSITER

SCALE:

1 : 400

DRAWING:

SITE PLAN

PROJECT NUMBER:

2024-031

SHEET NUMBER:

SP 1.0

NOT TO SCALE

Information for Site Plan taken from Survey
By CHAPPLE , GALBRAITH OLS
Dated NOVEMBER 17 , 2022



SP SITE PLAN AND ZONING ANALYSIS
SP-1.0 MUSKOKA LAKES

GARAGE - ELEVATIONS & FLOOR PLANS



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PROJECT INFORMATION:

BRUCE & KORINE STUART

DETACHED GARAGE

UNIT 3 - 1011 HAMIL ROAD,
TORRENCE, ON.
POC 1M0

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REVISIONS

NO	DATE	REVISED BY	DESCRIPTION
01	25.02.26	JDT	CLIENT REVIEW
02	25.03.13	BJL	PERMIT
03			
04			
05			

DRAWN BY: JESSICA DAVIES-THOMPSON

APPROVED BY: BOBBI LEPPINGTON

SCALE:

N.T.S.

DRAWING:

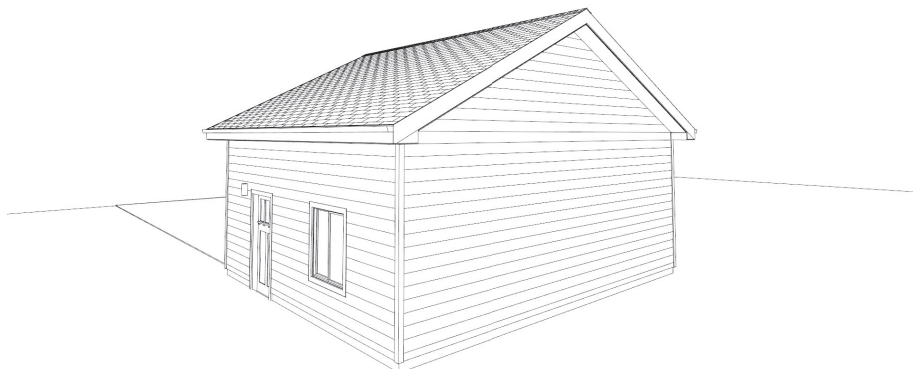
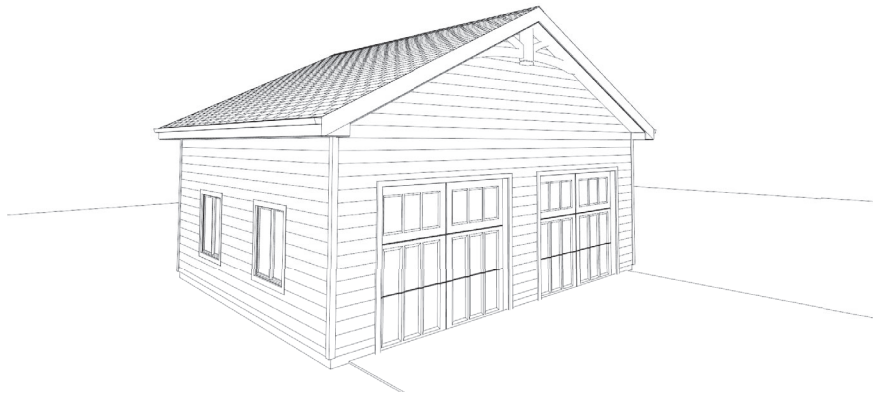
TITLE SHEET

PROJECT
NUMBER:

2025-040

SHEET
NUMBER:

D - 0.0.



3D RENDERINGS NOT TO SCALE.

FOR INFORMATIONAL PURPOSES ONLY

**THIS PROJECT INVOLVES THE NEW
CONSTRUCTION OF A DETACHED
TWO CAR GARAGE.**

Building Information:

Proposed Detached Garage: 572 SQFT

List of Drawings:

- D - 0.0. TITLE SHEET
- D- 1.0. CONSTRUCTION NOTES & DISCLAIMER
- A - 1.0. EXTERIOR ELEVATIONS (E1 & E2)
- A - 1.1. EXTERIOR ELEVATIONS (E3 & E4)
- A - 2.0. ARCHITECTURAL FLOOR PLAN
DOOR & WINDOW SCHEDULES
ELECTRICAL PLAN
- S - 1.0. STRUCTURAL FOUNDATION PLAN
- S - 2.0. STRUCTURAL FLOOR PLAN
- S - 3.0. STRUCTURAL ROOF PLAN
- S - 4.0. SECTIONS

NOT TO SCALE



Design By Bobbi

CONTACT INFORMATION:

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L3V 4E1

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DETACHED GARAGE
UNIT 3 - 1011 HAMILL ROAD,
TORRENCE, ON.
POC 1M0

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04			
05			

DRAWN BY: JESSICA DAVIES-THOMPSON

APPROVED BY: BOBBI LEPPINGTON

SCALE:

3/16" = 1' - 0"

DRAWING:

EXTERIOR
ELEVATIONS

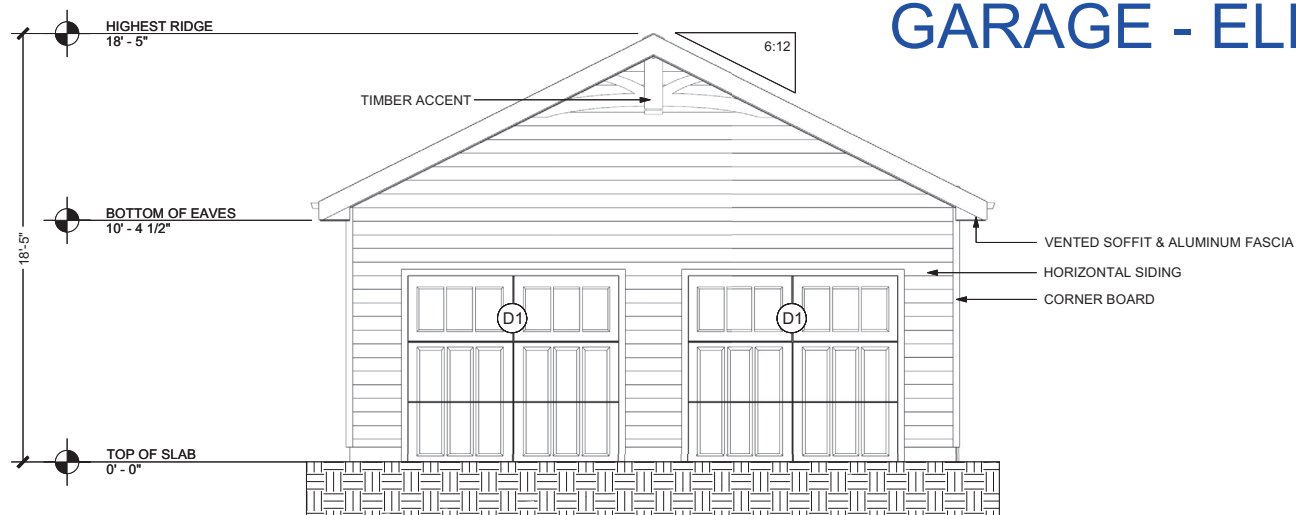
PROJECT
NUMBER:

2025-040

SHEET
NUMBER:

A - 1.0.

GARAGE - ELEVATIONS

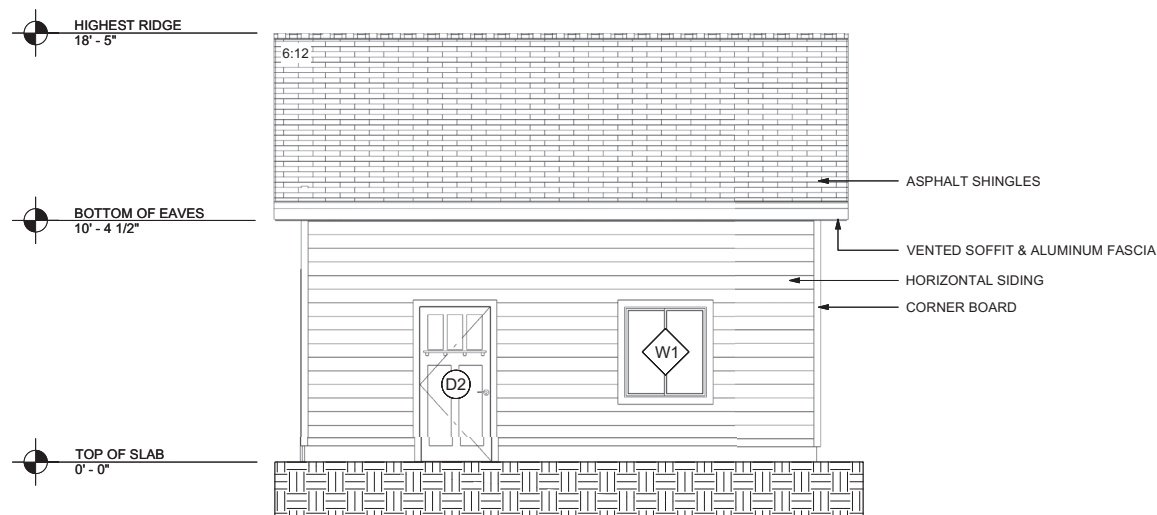


E1

A - 1.0.

EXTERIOR ELEVATION: FRONT

SCALE: 3/16" = 1' - 0"



E2

A - 1.0.

EXTERIOR ELEVATION

SCALE: 3/16" = 1' - 0"

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

GARAGE - ELEVATIONS



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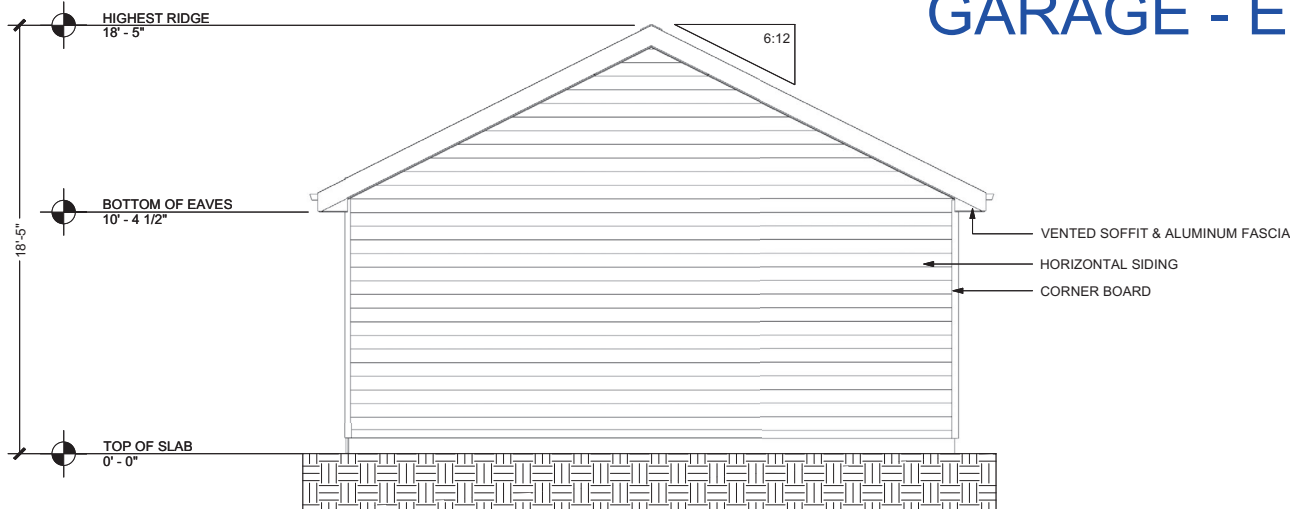
APPROVED BY: BOBBI LEPPINGTON

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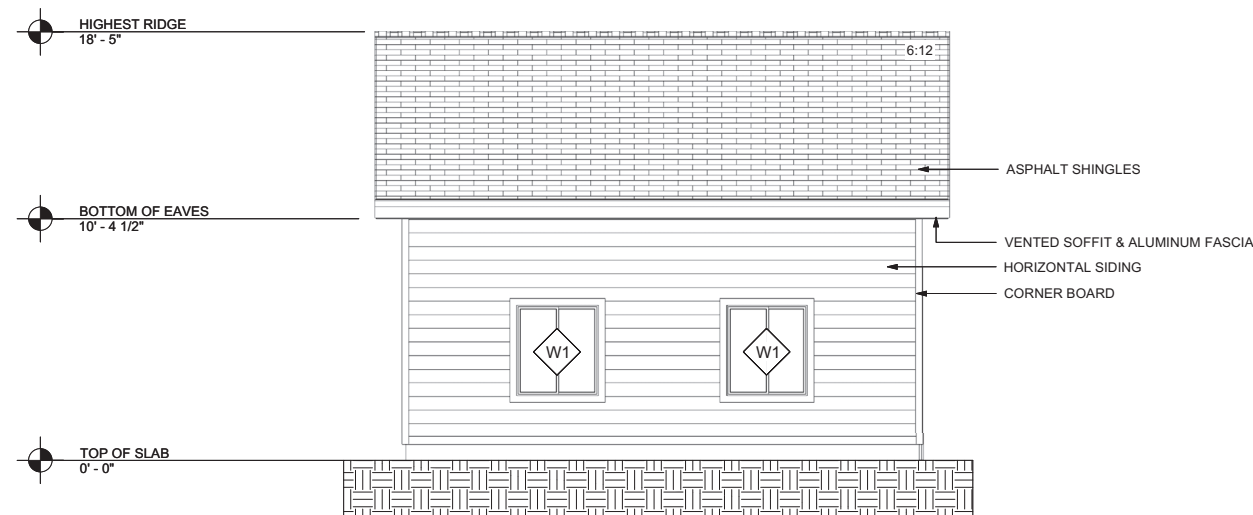
DRAWING:
EXTERIOR
ELEVATIONS

PROJECT
NUMBER:
2025-040

SHEET
NUMBER:
A - 1.1.



E3
A - 1.1. EXTERIOR ELEVATION: REAR
SCALE: 3/16" = 1' - 0"



E4
A - 1.1. EXTERIOR ELEVATION
SCALE: 3/16" = 1' - 0"

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GARAGE - FLOOR PLANS



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UNIT 3 - 1011 HAMILL ROAD,
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BCIN FIRM NAME

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DRAWN BY: JESSICA DAVIES-THOMPSON

APPROVED BY: BOBBI LEPPINGTON

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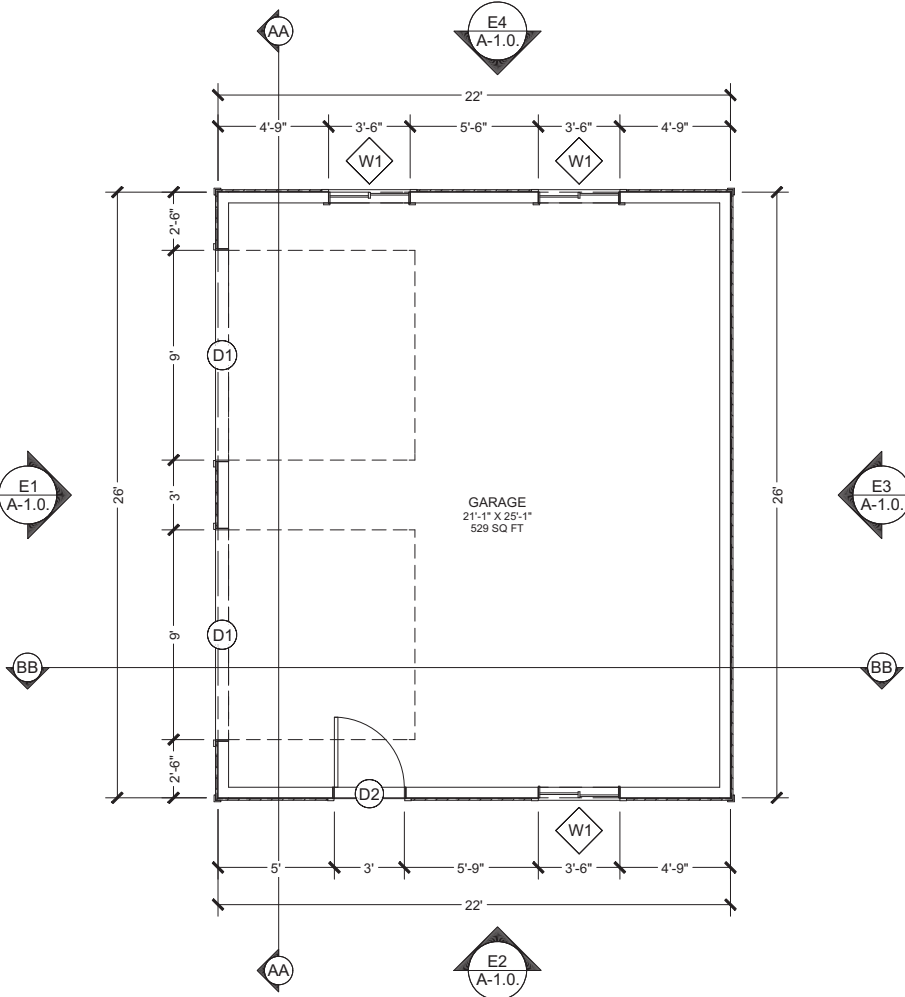
DRAWING:
ARCHITECTURAL
FLOOR PLAN &
ELECTRICAL PLAN

PROJECT
NUMBER:

2025-040

SHEET
NUMBER:

A - 2.0.



P2
A - 2.0.

ARCHITECTURAL FLOOR PLAN: MAIN
SCALE: 3/16" = 1' - 0"

DOOR SCHEDULE:					
CODE	DESCRIPTION	QTY	WIDTH	HEIGHT	COMMENTS
D1	OVERHEAD - GARAGE DOOR	2	108"	96"	2 - 1 3/4" x 11 7/8" N/A
D2	EXTERIOR - HINGED	1	36"	80"	3 - 2" x 8" N/A

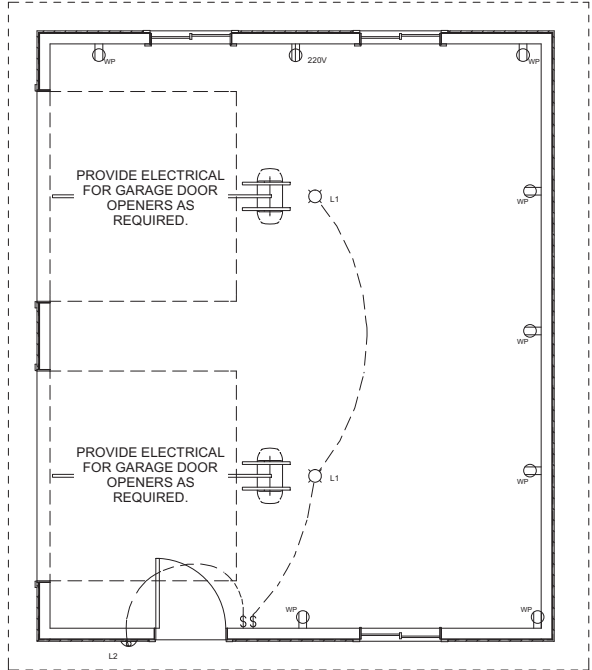
WINDOW SCHEDULE:					
CODE	DESCRIPTION	QTY	WIDTH	HEIGHT	COMMENTS
W1	SLIDER	3	42"	46 1/2"	33 1/2" 3 - 2" x 8" PROVIDED BY OWNER.

ELECTRICAL

1. ALL ELECTRICAL UNDER ESA AND ONTARIO BUILDING CODE
2. ESA PERMIT REQUIRED
3. CAPACITY REQUIRED TO BE DETERMINED BY ELECTRICIAN
4. ALL WORK UNDER SUPERVISION OF MASTER ELECTRICIAN
5. EACH ROOM SHALL HAVE SWITCH INSIDE ROOM TO LIGHT ON CEILING
6. EACH EXTERIOR TO HAVE LIGHT WITH SWITCH NEAR DOOR (DARK SKY FRIENDLY)
7. LIGHTS, OUTLETS & SWITCHES PER OWNER FINAL DECISION
8. ELECTRICAL PANEL IN COTTAGE.

P2
A - 2.0.

ELECTRICAL PLAN: MAIN
SCALE: 3/16" = 1' - 0"



ELECTRICAL LEGEND:

SYMBOL DESCRIPTION

L1	INDICATES FLUSH MOUNT LIGHT FIXTURE SELECTED BY CLIENT.
L2	INDICATES EXTERIOR WALL SCONCE SELECTED BY CLIENT. MOUNTING HEIGHT TO BE DETERMINED ON SITE.
S	INDICATES SINGLE SWITCH.
SS	INDICATES 2 GANG SWITCH.
SSS	INDICATES 3 GANG SWITCH.
SSS	INDICATES 3-WAY SWITCH.
220V	INDICATES 220V RECEPTACLE.
WP	INDICATES WEATHERPROOF RECEPTACLE

NOT TO SCALE

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GARAGE - FLOOR PLANS



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APPROVED BY: BOBBI LEPPINGTON

SCALE:

3/16" = 1' - 0"

DRAWING:

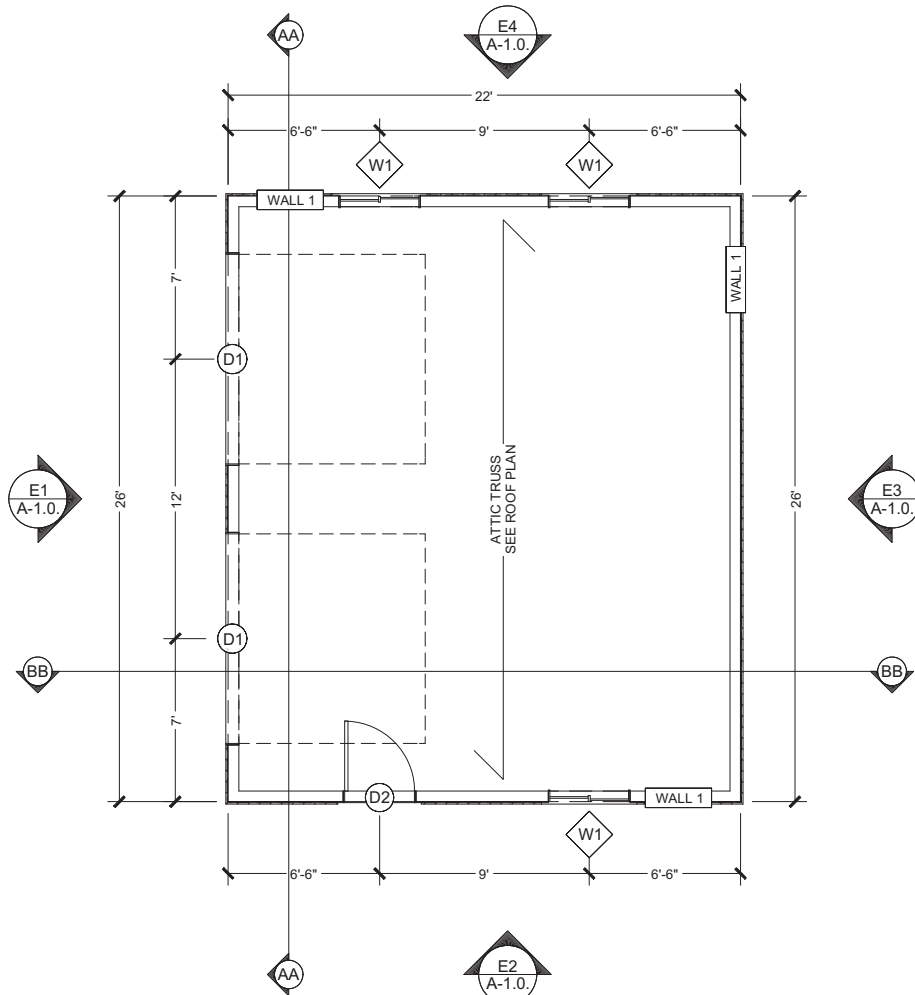
STRUCTURAL
FLOOR PLAN

PROJECT
NUMBER:

2025-040

SHEET
NUMBER:

S - 2.0.



NOT TO SCALE

P1

S - 2.0.

STRUCTURAL FLOOR PLAN
SCALE: 3/16" = 1' - 0"

WALL ASSEMBLIES LEGEND:

SYMBOL DESCRIPTION

WALL 1

HORIZONTAL SIDING
STRAPPING
TYPAR
7/16" OSB WALL SHEATHING
2" x 6" @ 16 O/C WALL STUD

DOOR SCHEDULE:

CODE	DESCRIPTION	QTY	WIDTH	HEIGHT	LINTEL	COMMENTS
D1	OVERHEAD - GARAGE DOOR	2	108"	96"	2 - 1 3/4" x 11 7/8"	N/A
D2	EXTERIOR - HINGED	1	36"	80"	3 - 2" x 8"	N/A

WINDOW SCHEDULE:

CODE	DESCRIPTION	QTY	WIDTH	HEIGHT	A.F.F.	LINTEL	COMMENTS
W1	SLIDER	3	42"	46 1/2"	33 1/2"	3 - 2" x 8"	PROVIDED BY OWNER.

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