

## PLANNING COMMITTEE - NOTICE OF PUBLIC MEETING

### THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

Take notice that the Council for the Corporation of the Township of Muskoka Lakes will be considering an application for a proposed Amendment to Zoning By-law 2014-14 pursuant to Section 34 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: ZBA-03/25**

**Roll No.: 9-12-034 & 9-12-035**

**By-law No.: To Be Assigned**

<b>Owner:</b>	James Wesseling 1825 Highway 11 South, Kilworthy, ON., P0E 1G0		
<b>Address &amp; Description:</b>	1951 Falkenburg Rd & Unassigned Part of Lot 21 and West Part of Lot 21, Concession 12, Monck		
<b>Zoning:</b>	Rural – Area 3 (RU1), Rural Residential (RUR) & Environmental Protection (EP1)	Lake Category- Not Applicable	Schedules: 31 & 38
<b>Meeting Date: Thursday, May 15<sup>th</sup>, 2025 at 9:00 a.m.</b>			

Take further notice that this public meeting will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



#### Explanation of the Purpose and Effect:

The applicant has installed a driveway and constructed an as-built dwelling with attached as-built sun decks, an as-built sleeping cabin with attached as-built sun decks, and an as-built 'tenting deck'. The 'tenting deck' is intended to be demolished whereas all other buildings and structures are proposed to remain.

The applicant also proposes to establish a sawmill operation consisting of a sawmill, a storage shed, an open storage area, and a gravel parking area.

A Zoning By-law Amendment Application (ZBA-03/25) has been submitted to implement recommendations of an Environmental Impact Study and Remediation Plan prepared by RiverStone Environmental Solutions Inc., dated January 31, 2025. Parts of the subject lands are to be rezoned from Rural Residential – Area 3 (RU1) and Rural Residential (RUR) to Environmental Protection (EP1) and Rural Commercial – Commercial Industrial (RUC6). Further, part of the subject lands are to be rezoned from Environmental Protection (EP1) to Rural – Area 3 (RU1).



The permitted use within the proposed Rural Commercial – Commercial Industrial (RUC6) zoned portion of the subject lands is to be limited to a sawmill only, with an accessory storage shed, an accessory open storage area, and a parking area. The following RUC6 uses (main and accessory) will not be included as permitted uses in the proposed RUC6 zoned portion of the subject lands : automobile sales establishment, automobile service station, building supply yard, contractor's yard, convenience store, kennel, landscaping centre, light industry, marina, recreational vehicle and equipment centre, service shop, veterinary clinic, warehousing, residential – dwelling unit, office, open space recreation, personal service shop, retail store and storage facilities.

ZBA-03/25 also seeks to recognize an as-built sleeping cabin with attached sundeck within the Environmental Protection (EP1) Zone.

Lastly, ZBA-03/25 also seeks to permit part of an as-built driveway within the Environmental Protection (EP1) Zone.

Existing Zoning (RUR) Permitted Uses	Existing Zoning (RU1) Permitted Uses	Existing/Proposed Zoning (EP1) Permitted Uses	Proposed Zoning (RUC6) Permitted Uses
<u>Main:</u> <ul style="list-style-type: none"> <li>• Bed &amp; Breakfast</li> <li>• Conservation</li> <li>• Residential – Dwelling Unit</li> <li>• Open Space Recreation</li> <li>• Rooming Houses</li> </ul> <u>Accessory:</u> <ul style="list-style-type: none"> <li>• Residential – Secondary Dwelling Unit</li> <li>• Home Based Business</li> </ul>	<u>Main:</u> <ul style="list-style-type: none"> <li>• Agricultural Uses</li> <li>• Bed &amp; Breakfast</li> <li>• Conservation</li> <li>• Residential – Dwelling Unit</li> <li>• Farm</li> <li>• Forestry Operation</li> <li>• Kennel</li> <li>• Open Space Recreation</li> <li>• Rooming Houses</li> <li>• Wayside Pit or Quarry</li> </ul> <u>Accessory:</u> <ul style="list-style-type: none"> <li>• Residential – Secondary Dwelling Unit</li> <li>• Home Based Business</li> </ul>	Structures, Buildings and Facilities Necessary in Conjunction with: The Production of Cranberries Excluding Buildings and Structures, Flood Control, Erosion Control, and Provision of Pedestrian Access Such as a Boardwalk but not Including Shoreline Structures	<u>Main:</u> <ul style="list-style-type: none"> <li>• Automobile Sales Establishment</li> <li>• Automobile Service Station</li> <li>• Building Supply Yard</li> <li>• Contractor's Yard</li> <li>• Kennel</li> <li>• Landscaping Centre</li> <li>• Light Industry</li> <li>• Marina</li> <li>• Recreational Vehicle and Equipment Centre</li> <li>• Service Shop</li> <li>• Veterinary Clinic</li> <li>• Warehousing</li> </ul> <u>Accessory:</u> <ul style="list-style-type: none"> <li>• Convenience Store</li> <li>• Residential – Dwelling unit</li> <li>• Office</li> <li>• Open Space Recreation</li> <li>• Parking Areas</li> <li>• Parking Spaces</li> </ul>



Notice of Public Meeting  
ZBA-03/25, Wesseling

			<ul style="list-style-type: none"> <li>• Retail Store</li> <li>• Service Shop</li> <li>• Storage Facilities</li> </ul>
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Exemption	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Relief	Proposal
A	6.2.1 & 6.2.2	Permitted Uses (Main and Accessory) within the Rural Commercial – Commercial Industrial (RUC6) Zone	<u>Main:</u> Automobile Sales Establishment, Automobile Service Station, Building Supply Yard, Contractor's Yard, Kennel, Landscaping Centre, Light Industry, Marina, Recreational Vehicle and Equipment Centre, Service Shop, Veterinary Clinic, Warehousing  <u>Accessory:</u> Convenience Store, Residential – Dwelling unit, Office, Open Space Recreation, Parking Areas, Parking Spaces, Retail Store, Service Shop and Storage Facilities	<u>Main:</u> Sawmill  <u>Accessory:</u> Storage Shed, Open Storage, Parking Area and Spaces	-	Permit the Establishment of a Sawmill Operation within Lands Zoned RUC6



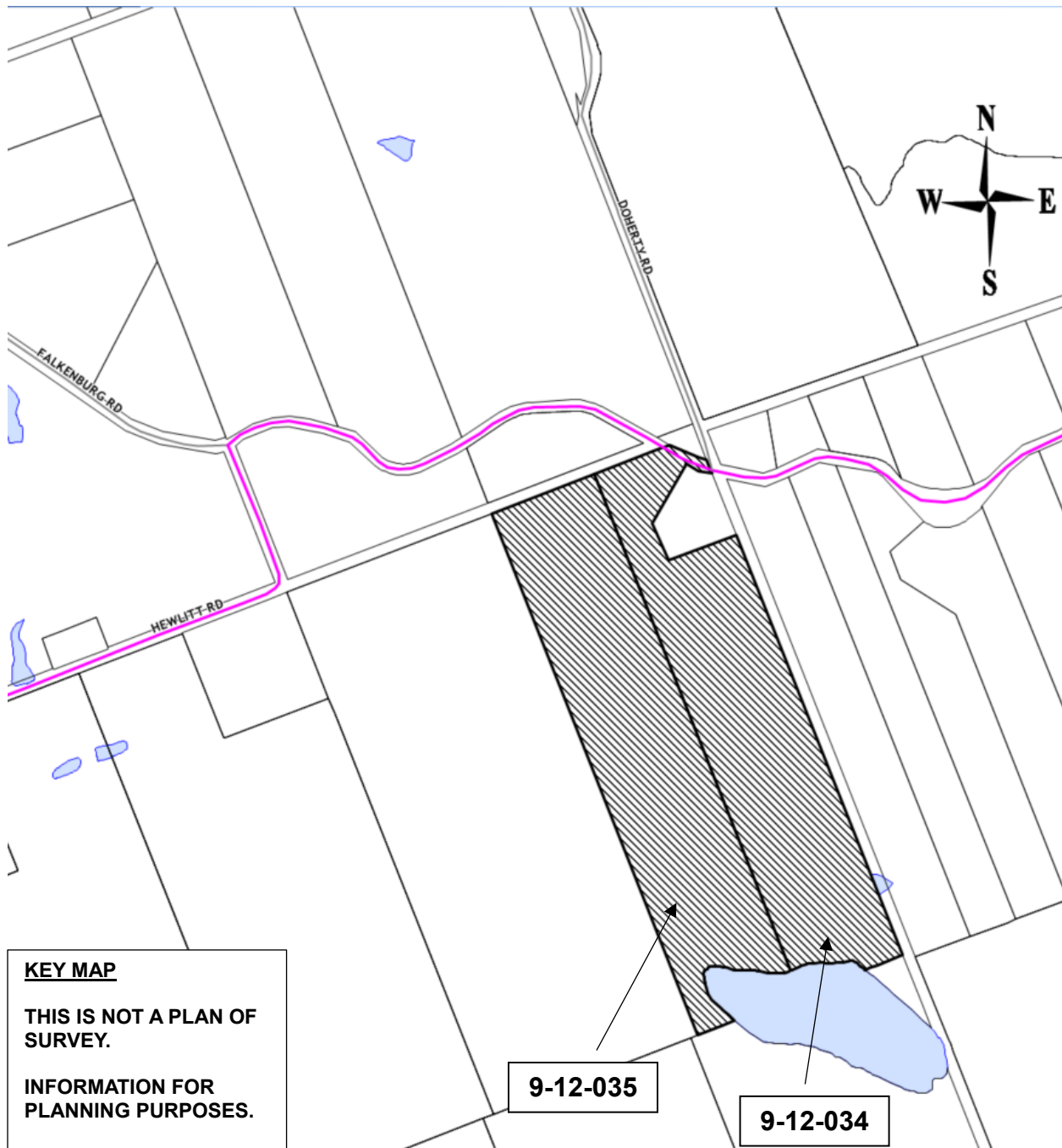
Notice of Public Meeting  
ZBA-03/25, Wesseling

B	8.1	Permitted Uses within the Environmental Protection (EP1) Zone	Structures, Buildings and Facilities Necessary in Conjunction with: The Production of Cranberries Excluding Buildings and Structures, Flood Control, Erosion Control, and Provision of Pedestrian Access Such as a Boardwalk but not Including Shoreline Structures.	As-Built Driveway, As-Built Sleeping Cabin with Attached As-Built Sundeck	Add the As-Built Driveway, As-Built Sleeping Cabin and Attached As-built Sundeck to the Permitted Uses of the EP1 Zone	Permit the As-Built Driveway, As-Built Sleeping Cabin and Attached As-Built Sundeck within the EP1 Zone
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A key map of the subject property, the applicant's zoning sketch, site plan and any drawings, and a draft By-law are included in this notice.



## KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**



## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Planning Committee at the meeting by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled meeting.

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### **Watch the Meeting Online**



You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN MEETING:** If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**REQUIREMENT FOR OWNERS OF MULTI-TENANT BUILDINGS:** Upon receiving this Notice, owners of multi-tenant buildings with seven (7) or more residential units are asked to post this Notice in a location that is clearly visible to all tenants (i.e. building or community notice board), in accordance with O.Reg 545/06.

**NOTICE OF PASSING & APPEALS:** If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca).

Furthermore, if a person or public body would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.



Notwithstanding the above, subsection 34(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

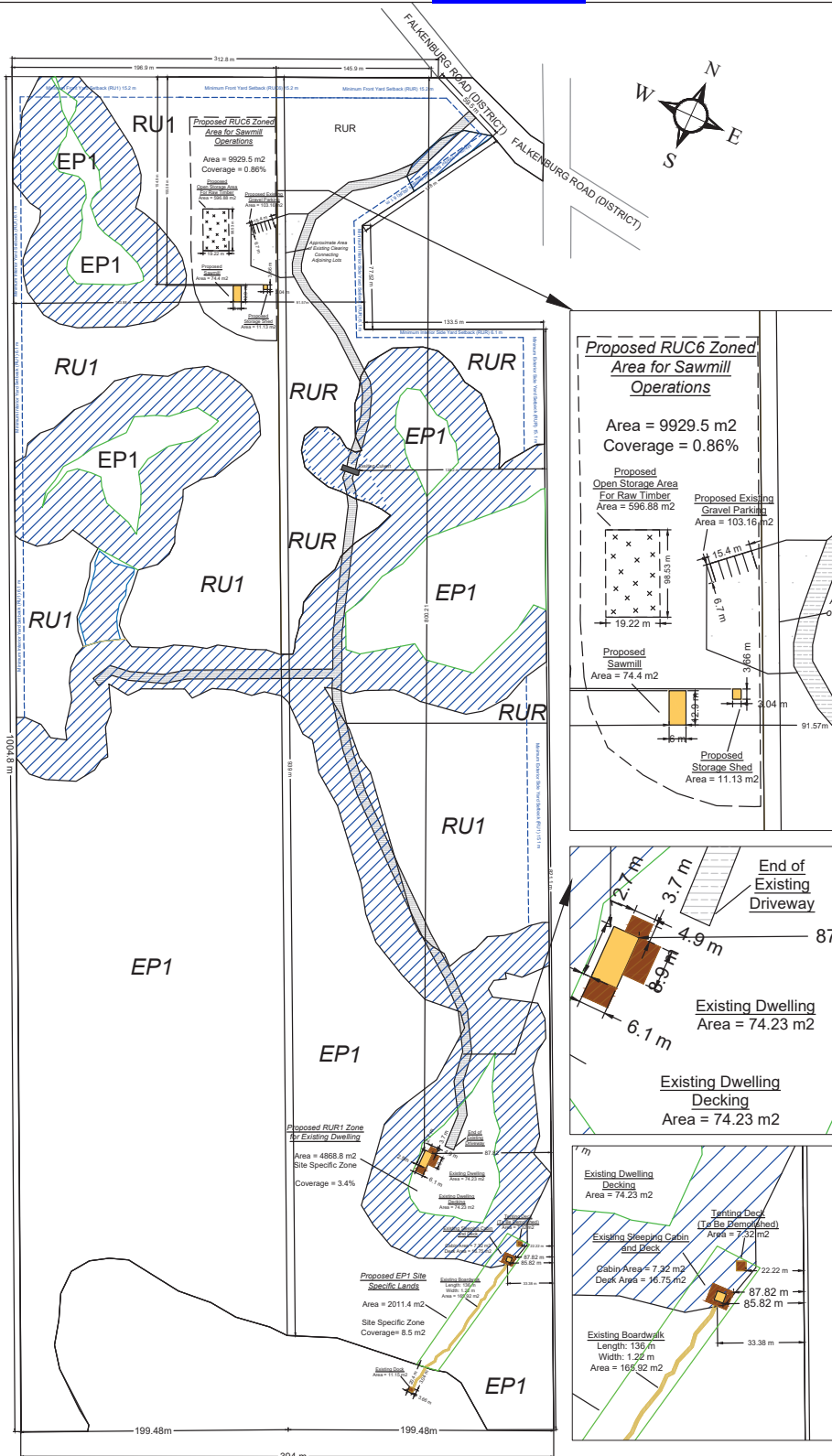
Dated at the Township of Muskoka Lakes this 24th day of April, 2025.

Crystal Paroschy, Clerk  
Corporation of the Township of Muskoka Lakes





# SITE PLAN



## LEGEND:

- = Lot Lines
- = Setbacks
- = Roadway
- = Structures
- = Driveway
- = Boardwalk
- = Docks and Decks
- = RUC6 Area Proposed
- = Proposed Open Storage for Raw Timber Materials
- = Rural Urban Residential
- = Rural Residential 1
- = Environmental Protection Lands
- = EP1 Area
- = EP1 30 m Buffer

## LOT STATISTICS:

PROPOSED MERGED  
 LOT AREA =  
 ±363219.2 m<sup>2</sup> (89.8 ac)

### EXISTING

#### STRUCTURES

DWELLING = ±74.23 m<sup>2</sup>

BUNKIE = ±7.32 m<sup>2</sup>

TENTING DECK\* = ±7.32 m<sup>2</sup>  
 (\*TO BE DEMOLISHED)

BOARDWALK = ±165.92

DOCK = ±11.15 m<sup>2</sup>

EXISTING COVERAGE =  
 ±258.62 m<sup>2</sup> (0.70%)

### PROPOSED

SAWMILL = 74.4 m<sup>2</sup>

SHED = 11.13

PROPOSED COVERAGE =  
 ±344.15 m<sup>2</sup> (0.95%)

Not To Scale

For Informational Purposes Only



Produced by MP Planning Inc. This is not a Plan of Survey.

## SKETCH FOR PLANNING PURPOSES

Civic Address: 1951 Falkenburg Road

Owner: James Wesseling

Date: 2025-01-31

Rev. #: 1

Drawing By: Maeve Crowne



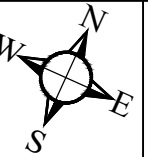
**MP PLANNING INC.**

PLANNING & ASSOCIATES INC.

44-A King William Street, Huntsville, ON, P1G 1G3  
 Ph: 705-789-9860 E: marie@mpplanning.com

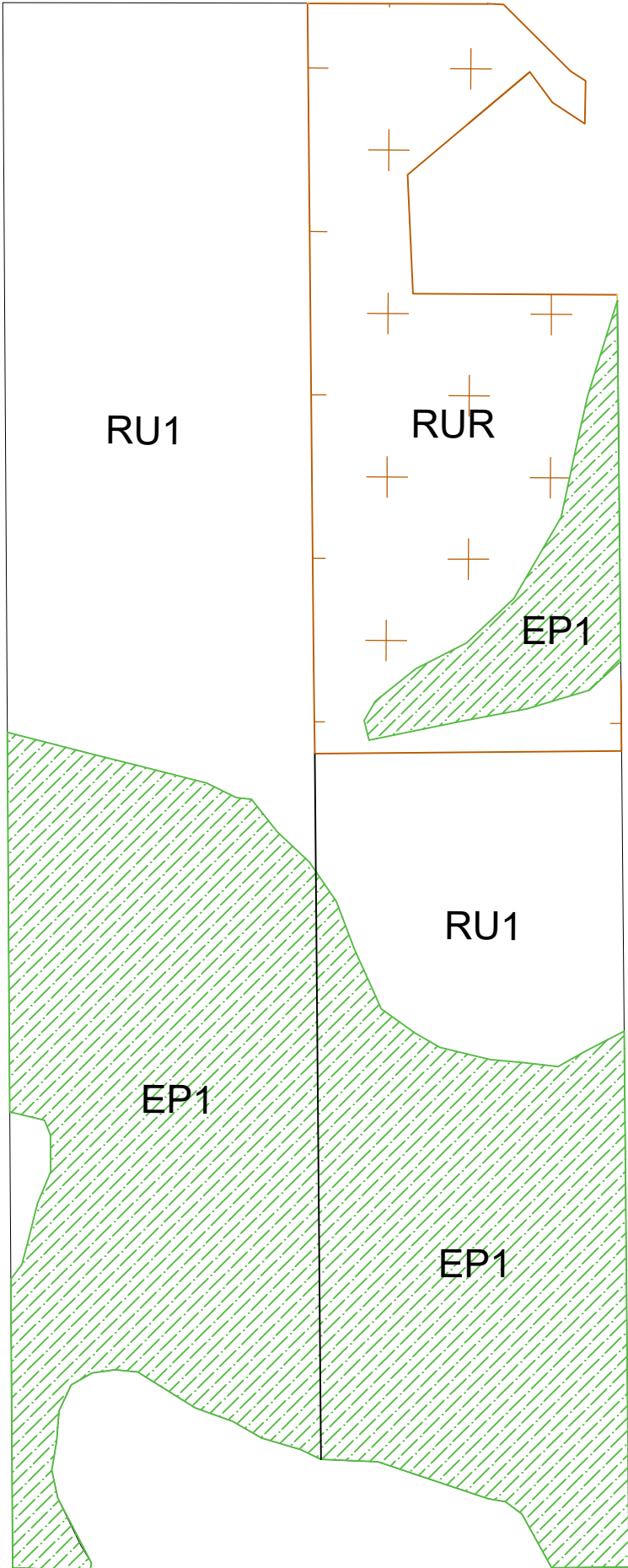


## ZONING SKETCH



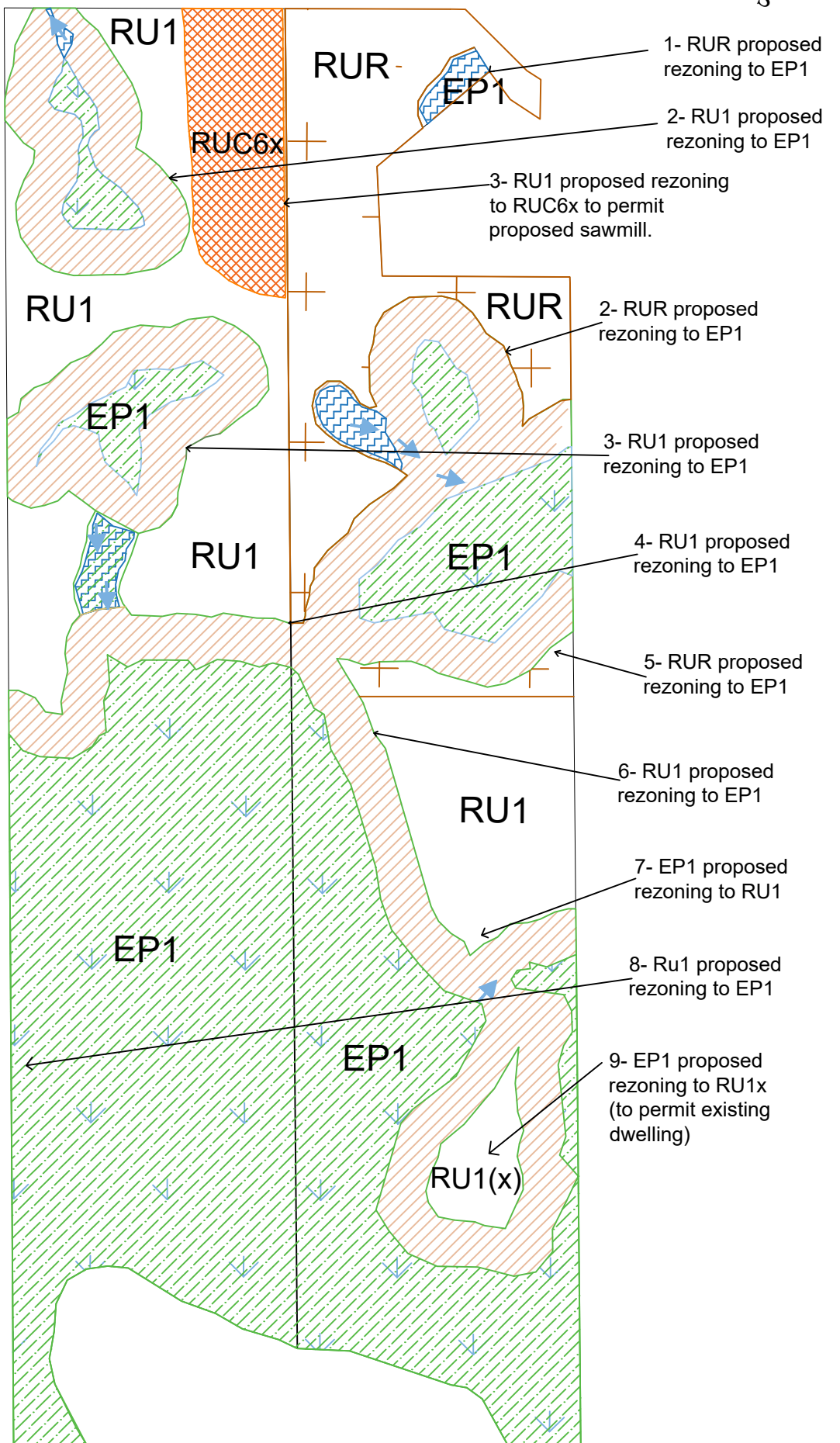
**CURRENT ZONING:**

(Source: Township of Muskoka Lakes Geohub)













PROPOSED ZONING:

(Source: Riverstone Environmental EIS Report)



**LEGEND:**

	= EP1 Zoning		= RU1
	= Wetland		= RU1(x)
	= 30 m Wetland Setback		= RUR
	= Intermittent Watercourse		= RUC6 (x) (Proposed for Sawmill)
	= 15 m Watercourse Setback		= Lot Boundaries

## Description:

The following sketch is intended to assist the proposed Zoning By-law Amendment presented for the subject lands located at 1951 Falkenburg Road and the adjoining land locked property.

*Map 1A* depicts existing zoning as it is depicted by the Township of Muskoka Lakes Geohub Mapping. *Map 1B* presents the proposed rezoning of the lands. This has been determined through the professional environmental opinion of Senior Ecologist Bev Wicks, and the planning opinion of Land Use Planning firm MP Planning Inc.



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## SKETCH FOR PLANNING PURPOSES

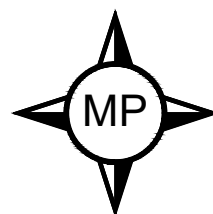
**Civic Address:** 1951 Falkenburg Road

Owner: James Wesseling

Date: 2025-02-07

Rev. #: 2

Drawing By: Maeve Crowne



**MP PLANNING INC.**  
**PLANNING & ASSOCIATES INC.**  
44-A King William Street, Huntsville, ON, P1G 1G3  
Ph: 705-789-9860 E: [marie@mpplanning.com](mailto:marie@mpplanning.com)

Not To Scale

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**THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES**

**DRAFT BY-LAW NUMBER 2025-XXX**

**Being a By-law to amend Comprehensive Zoning By-law  
2014-14, as amended, in the Township of Muskoka Lakes**

**WHEREAS** the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

**AND WHEREAS** By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

**AND WHEREAS** the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

**NOW THEREFORE** the Council of the Corporation of the Township of Muskoka Lakes enacts as follows:

1. Schedules 31 and 38 of By-law 2014-14, as amended, are hereby further amended by rezoning lands known as Part of Lot 21 and West Part of Lot 21, Concession 12, in the former Township of Monck, now in the Township of Muskoka Lakes, as shown hatched on Schedule I to By-law 2025-XXX, from Rural Residential – Area 3 (RU1) and Rural - Rural Residential (RUR) to Environmental Protection (EP1), inclusive of identified 49.2 foot watercourse setbacks, as shown hatched on Schedule II to By-law 2025-XXX.
2. Schedule 31 of By-law 2014-14, as amended, is hereby further amended by rezoning lands known as Part of Lot 21 and West Part of Lot 21, Concession 12, in the former Township of Monck, now in the Township of Muskoka Lakes, as shown hatched on Schedule I to By-law 2025-XXX, from Rural – Area 3 (RU1) to Rural Commercial – Commercial Industrial (RUC6) as shown cross-hatched on Schedule II to By-law 2025-XXX.
3. Schedules 31 and 38 of By-law 2014-14, as amended, are hereby further amended by rezoning lands known as Part of Lot 21, Concession 12, in the former Township of Monck, now in the Township of Muskoka Lakes, as shown hatched on Schedule I to By-law 2025-XXX, from Environmental Protection (EP1) to Rural – Area 3 (RU1) as shown stippled on Schedule II to By-law .
4. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:

87-XXXX

i)

The lands affected by this amendment are described as Part of Lot 21 and West Part of Lot 21, Concession 12, in the former Township of Monck, now in the Township of Muskoka Lakes, as shown hatched on Schedule I to By-law 2025-XXX.

ii)

Despite the provisions of Sections 6.2.1 and 6.2.2 of Zoning By-law 2014-14, as amended, for those lands described above, permitted main and accessory uses and buildings and structures in the Rural Commercial – Commercial Industrial (RUC6) Zone, as shown cross-hatched on Schedule II to By-law 2025-XXX, shall be a sawmill, an accessory storage shed, an accessory open storage area, and an accessory parking area and spaces, as shown in the extent and location on Schedule III to By-law 2025-XXX.

iii)

Despite the provisions of Section 8.1 of Zoning By-law 2014-14, as amended, for those lands described above, a driveway, sleeping cabin and sundeck shall be permitted within an Environmental Protection

(EP1) Zone, as shown in the extent and location on Schedule III to By-law 2025-XXX.

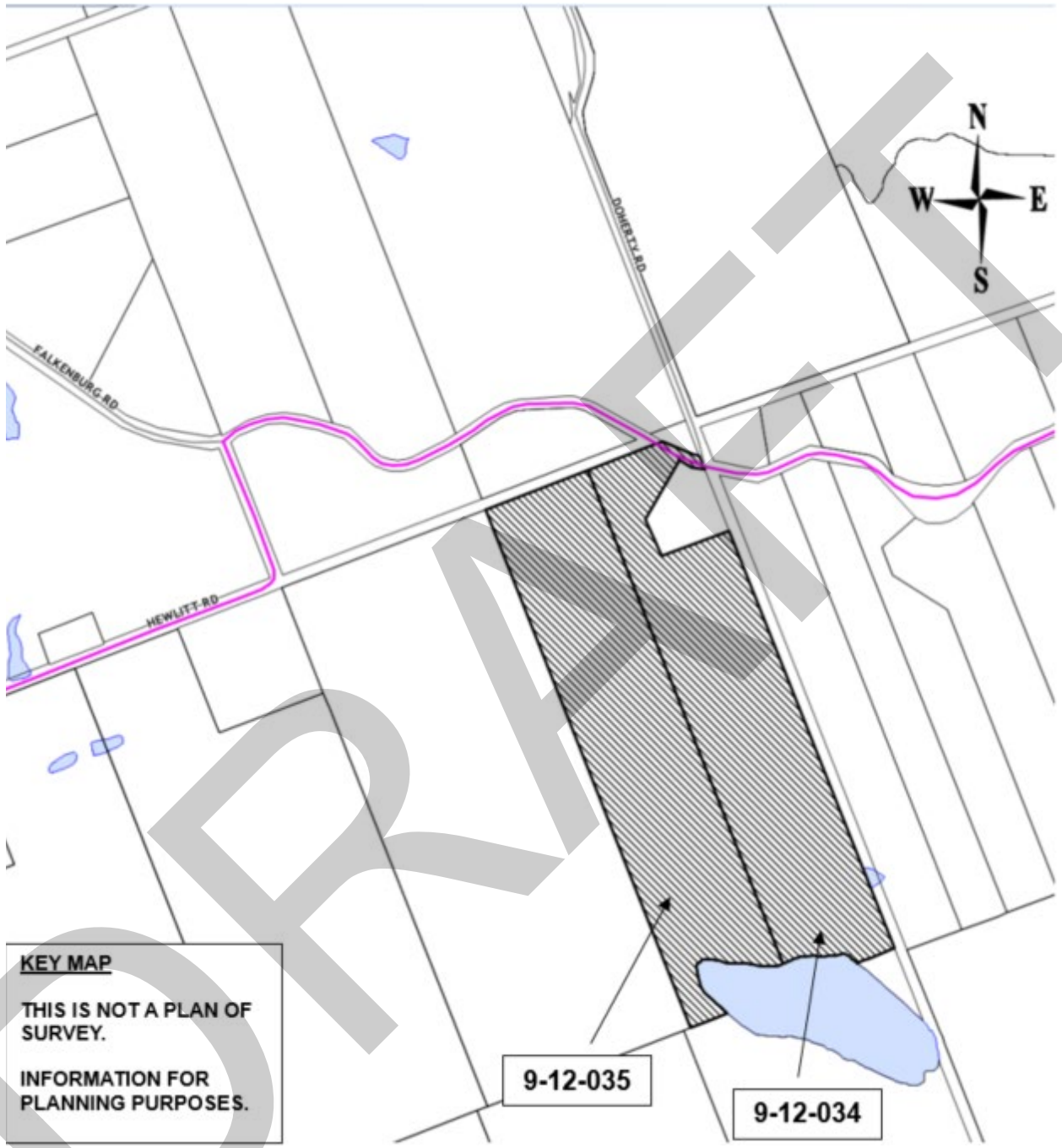
5. Schedules I, II and III attached hereto are hereby made part of this By-law.
6. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2025-XXX and By-law 2014-14, as amended, the provisions of By-law 2025-XXX shall apply.

Read a **first, second and third time** and **finally passed** this \_\_\_\_\_ day of \_\_\_\_\_, **2025**.

\_\_\_\_\_  
Peter Kelley, Mayor

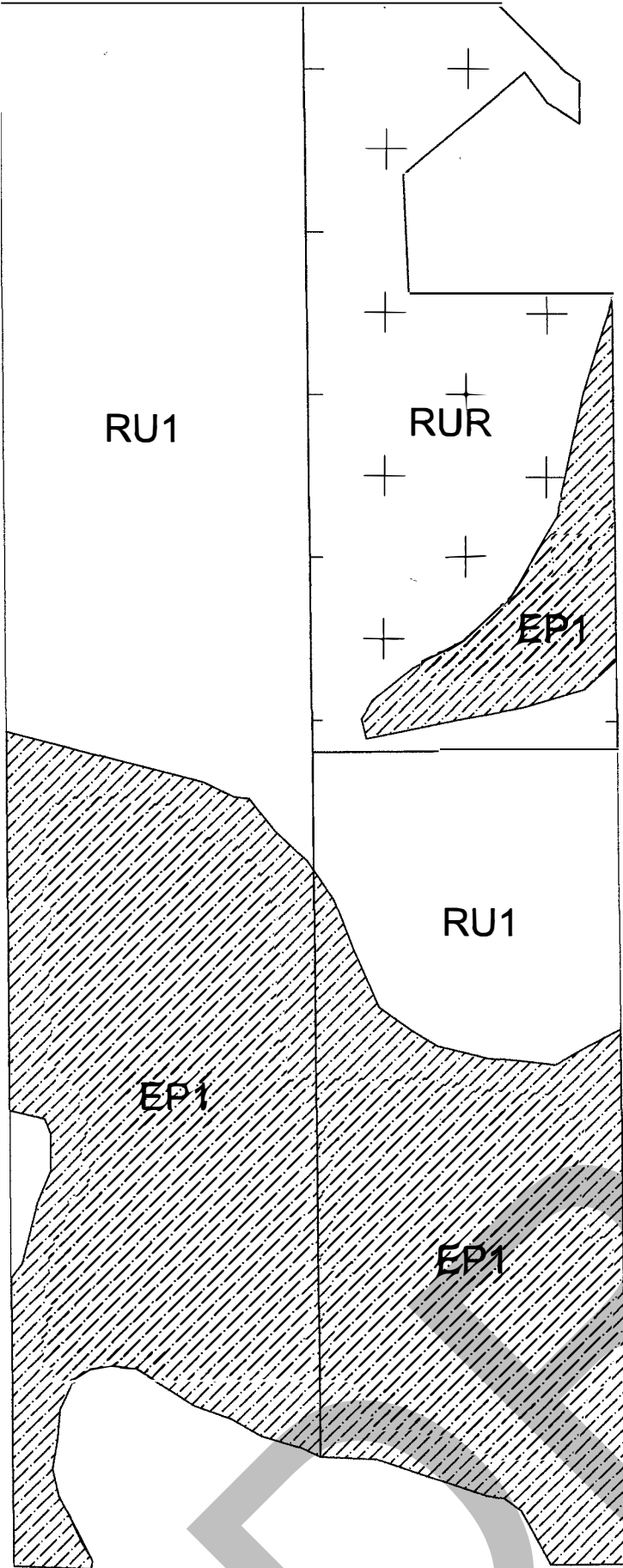
\_\_\_\_\_  
Crystal Paroschy, Clerk

**SCHEDULE I TO DRAFT BY-LAW 2025-XXX**



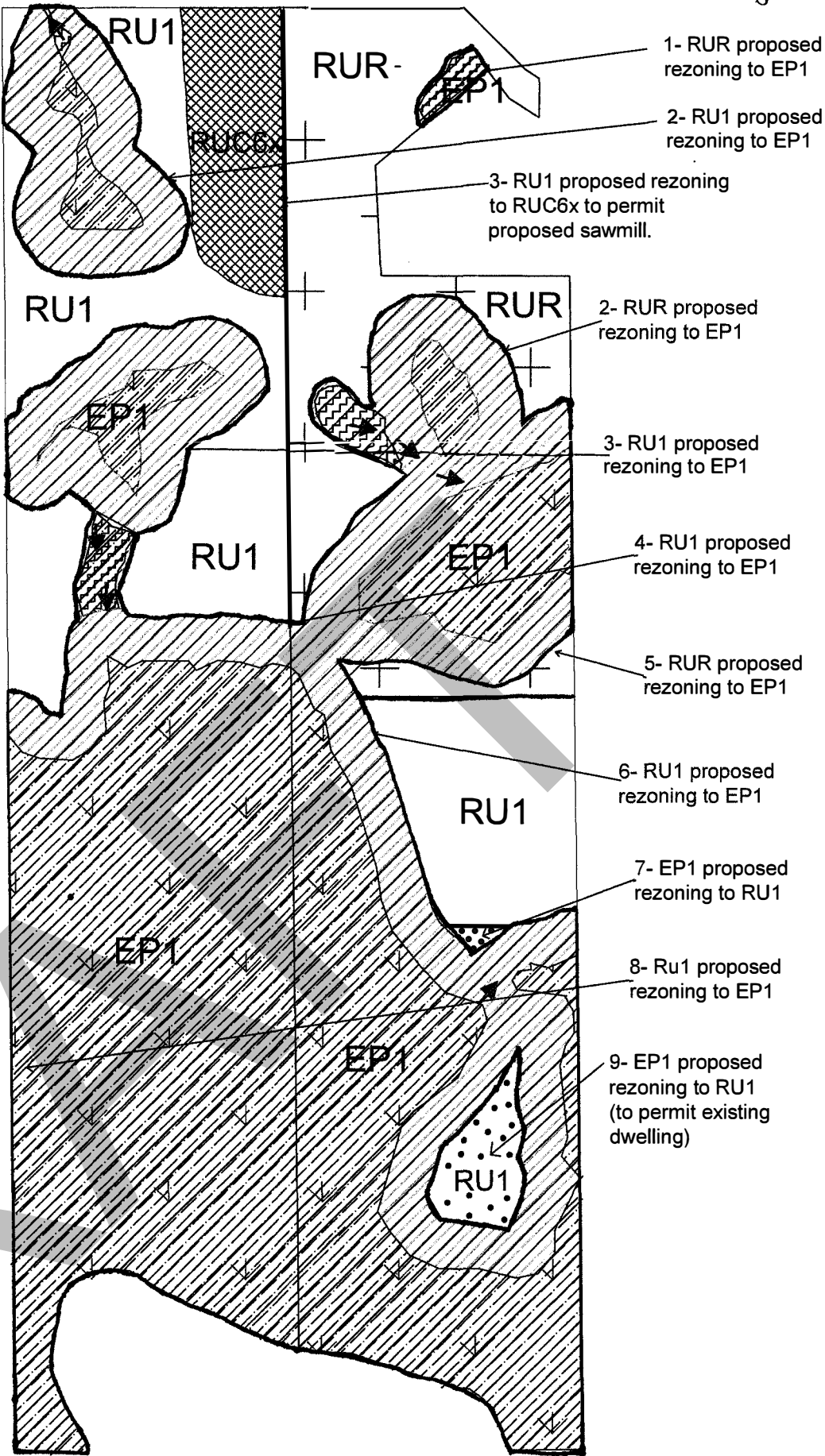
CURRENT ZONING:

(Source: Township of Muskoka Lakes Geohub)













PROPOSED ZONING:

(Source: Riverstone Environmental EIS Report)



LEGEND:

	= EP1 Zoning		= RU1
	= Wetland		= RU1(x)
	= 30 m Wetland Setback		= RUR
	= Intermittent Watercourse		= RUC6 (x) (Proposed for Sawmill)
	= 15 m Watercourse Setback		= Lot Boundaries

**Description:**  
The following sketch is intended to assist the proposed Zoning By-law Amendment presented for the subject lands located at 1951 Falkenburg Road and the adjoining land locked property.

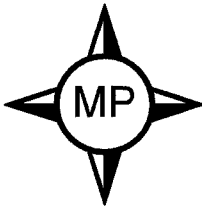
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SKETCH FOR PLANNING PURPOSES

Civic Address: 1951 Falkenburg Road	
Owner: James Wesseling	
Date: 2025-02-07	Rev. #: 2
Drawing By: Maeve Crowne	

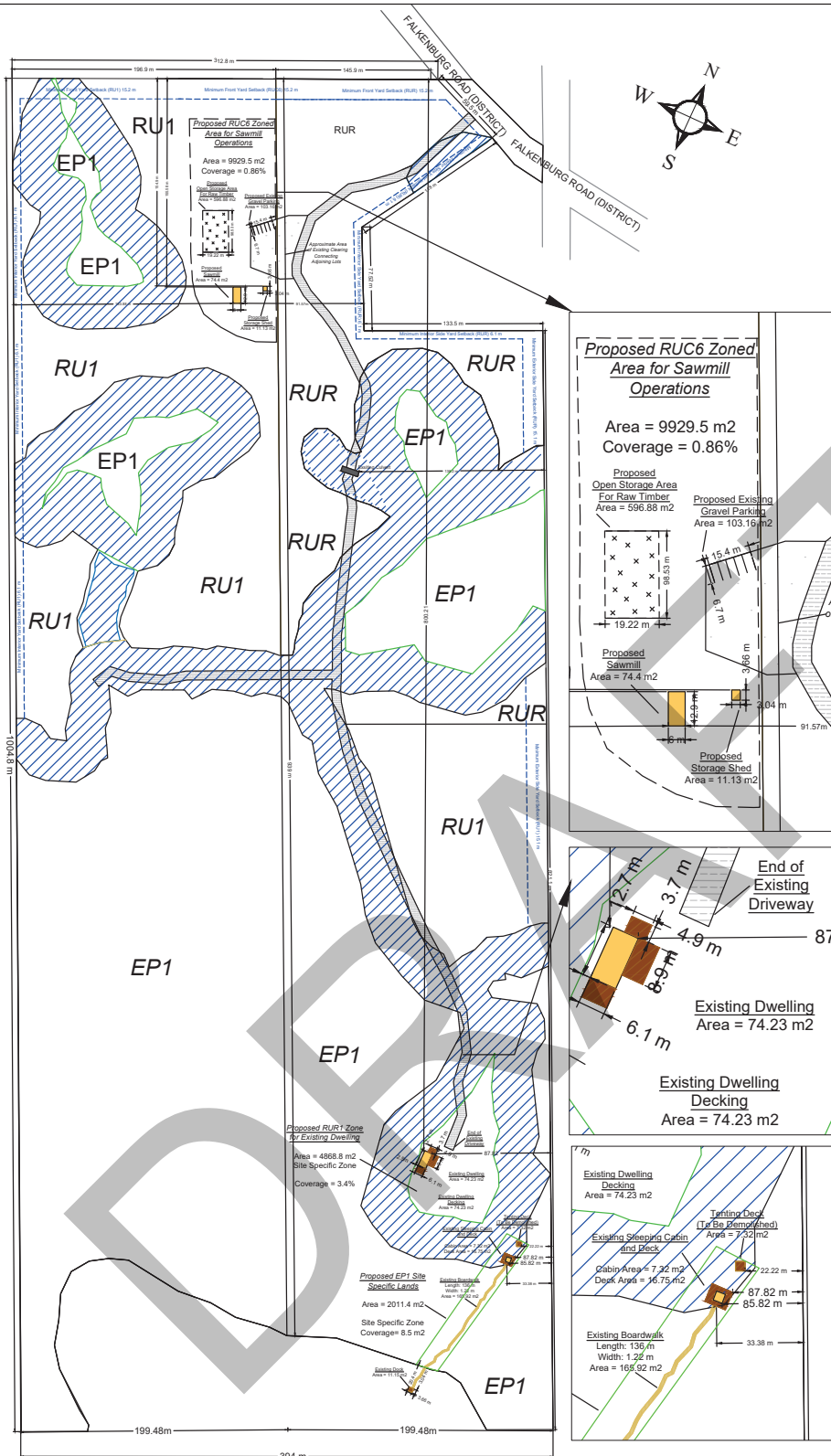


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44-A King William Street, Huntsville, ON, P1G 1G3  
Ph: 705-789-9860 E: marie@mpplanning.com

NOT TO SCALE



# SCHEDULE III TO DRAFT BY-LAW 2025-XXX



LEGEND:	
	= Lot Lines
	= Setbacks
	= Roadway
	= Structures
	= Driveway
	= Boardwalk
	= Docks and Decks
	= RUC6 Area Proposed
	= Proposed Open Storage for Raw Timber Materials
	= Rural Residential
	= Rural Residential 1
	= Environmental Protection Lands
	= EP1 Area
	= EP1 30 m Buffer

LOT STATISTICS:	
<b>PROPOSED MERGED LOT AREA = ±363219.2 m<sup>2</sup> (89.8 ac)</b>	
<u>EXISTING</u>	
<u>STRUCTURES</u>	
DWELLING = ±74.23 m <sup>2</sup>	
BUNKIE = ±7.32 m <sup>2</sup>	
TENTING DECK* = ±7.32 m <sup>2</sup> (TO BE DEMOLISHED)	
BOARDWALK = ±165.92	
DOCK = ±11.15 m <sup>2</sup>	
EXISTING COVERAGE = ±258.62 m <sup>2</sup> (0.70%)	
<u>PROPOSED</u>	
SAWMILL = 74.4 m <sup>2</sup>	
SHED = 11.13	
PROPOSED COVERAGE = ±344.15 m <sup>2</sup> (0.95%)	

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## SKETCH FOR PLANNING PURPOSES

Civic Address: 1951 Falkenburg Road

Owner: James Wesseling

Date: 2025-01-31

Rev. #: 1

Drawing By: Maeve Crowne



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