

PLANNING COMMITTEE - NOTICE OF PUBLIC MEETING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

Take notice that the Council for the Corporation of the Township of Muskoka Lakes will be considering an application for a proposed Amendment to Zoning By-law 2014-14 pursuant to Section 34 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: ZBA-12/25

Roll No.: 9-13-026

By-law No.: To Be Assigned

Owners:	Catherine Pinder & Damon Fulton 2407 Parklane Crescent, Burlington, ON L7M 3V6		
Address & Description:	2802 Muskoka Rd 118 West, Unit 7 Part of Lot 29, Concession 13, Monck		
Zoning:	Waterfront Residential (WR5)	Brandy Lake (Category 2)	Schedule: 30
Meeting Date: Thursday, May 15th, 2025 at 9:00 a.m.			

Take further notice that this public meeting will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

A Zoning By-law Amendment Application has been submitted to permit a home-based business involving the preparation of baked goods within a 542 sq. ft detached garage for a period not exceeding 3 years.

Exemption	ZBL 2014- 14 Section	Description	Permitted	Proposed	Relief	Proposal
A	3.13 g.	Maximum Floor Area of an Accessory Building Containing a Home-Based Business	250 sq. ft	542 sq. ft	292 sq. ft	Permit a Home-Based Business in an Existing Detached Garage with a Floor Area Exceeding 250 sq. ft

A key map of the subject property, the applicant's site plan and any drawing, and a draft By-law are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **May 8, 2025. Please note that comments can still be submitted after the agenda has been published.**

Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Planning Committee at the meeting by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled meeting.

Watch the Meeting Online



You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN MEETING: If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

REQUIREMENT FOR OWNERS OF MULTI-TENANT BUILDINGS: Upon receiving this Notice, owners of multi-tenant buildings with seven (7) or more residential units are asked to post this Notice in a location that is clearly visible to all tenants (i.e. building or community notice board), in accordance with O.Reg 545/06.

NOTICE OF PASSING & APPEALS: If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect to this application, you must make a written request to planning@muskokalakes.ca.

Furthermore, if a person or public body would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an



appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Notwithstanding the above, subsection 34(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

Dated at the Township of Muskoka Lakes this 23rd day of April, 2025.

Crystal Paroschy, Clerk
Corporation of the Township of Muskoka Lakes



Key Map, ZBA-12/25 (PINDER)

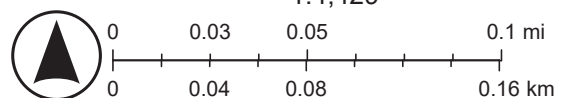


4/22/2025, 9:02:36 AM

NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

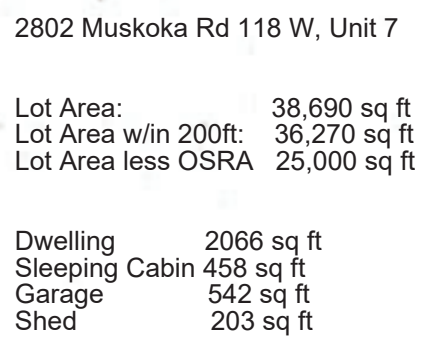
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- Parcel: Assessment
- District Municipality
- Area Municipality
- Geographic Township
- Road Network
- District
- Township
- Private
- Stream
- Waterbody
- Major Lake
- World_Hillshade



Sources: NRCan, Esri, Canada, and Canadian Community Maps contributors., Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community

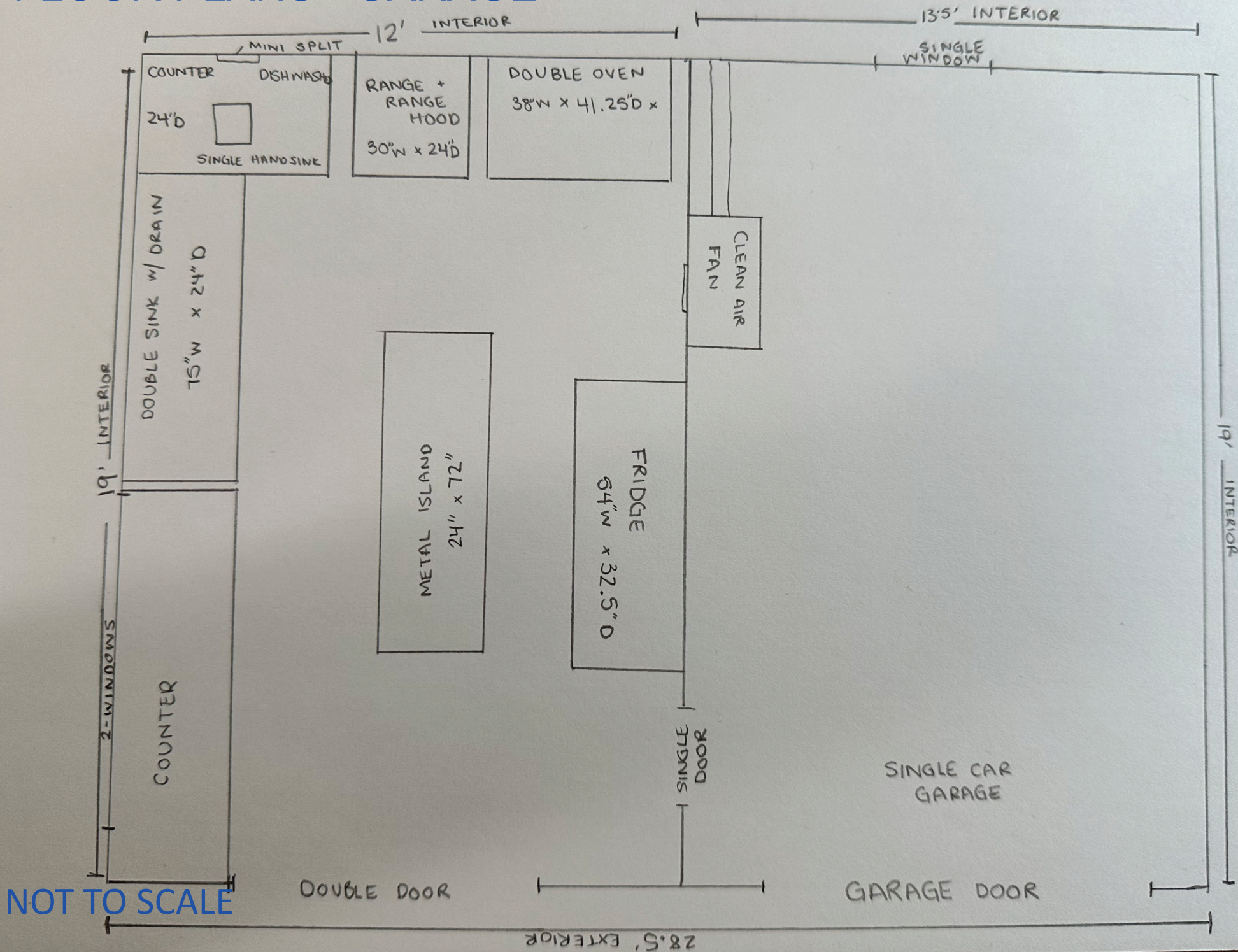
LAKE



NOT TO SCALE

FLOOR PLANS - GARAGE

2802 MUSKOKA RD 118 W
#7, PORT CARLING



THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

BY-LAW NUMBER 2025-XXX

**Being a By-law to amend Comprehensive Zoning By-law
2014-14, as amended, in the Township of Muskoka Lakes**

WHEREAS the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

AND WHEREAS By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

AND WHEREAS the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

NOW THEREFORE the Council of the Corporation of the Township of Muskoka Lakes enacts as follows:

1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:

87-XXXX i) The lands affected by this amendment are described as Part of Lot 29, Concession 13 (in the former Township of Monck), now in the Township of Muskoka Lakes, more particularly described as Parts 1 and 2, Plan 35R-2654, as shown hatched on Schedule I to By-law 2025-XXX.

 ii) Despite the provisions of Section 3.13 g. of Zoning By-law 2014-14, as amended, 230 square feet of the existing detached garage, as shown on Schedules II and III to By-law 2025-XXX, and which exceeds a floor area of 250 square feet, shall be permitted to be used for a home-based business for a time period that shall not exceed July 1, 2028.
2. Schedules I, II, and III attached hereto are hereby made part of this By-law.
3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2025-XXX and By-law 2014-14, as amended, the provisions of By-law 2025-XXX shall apply.

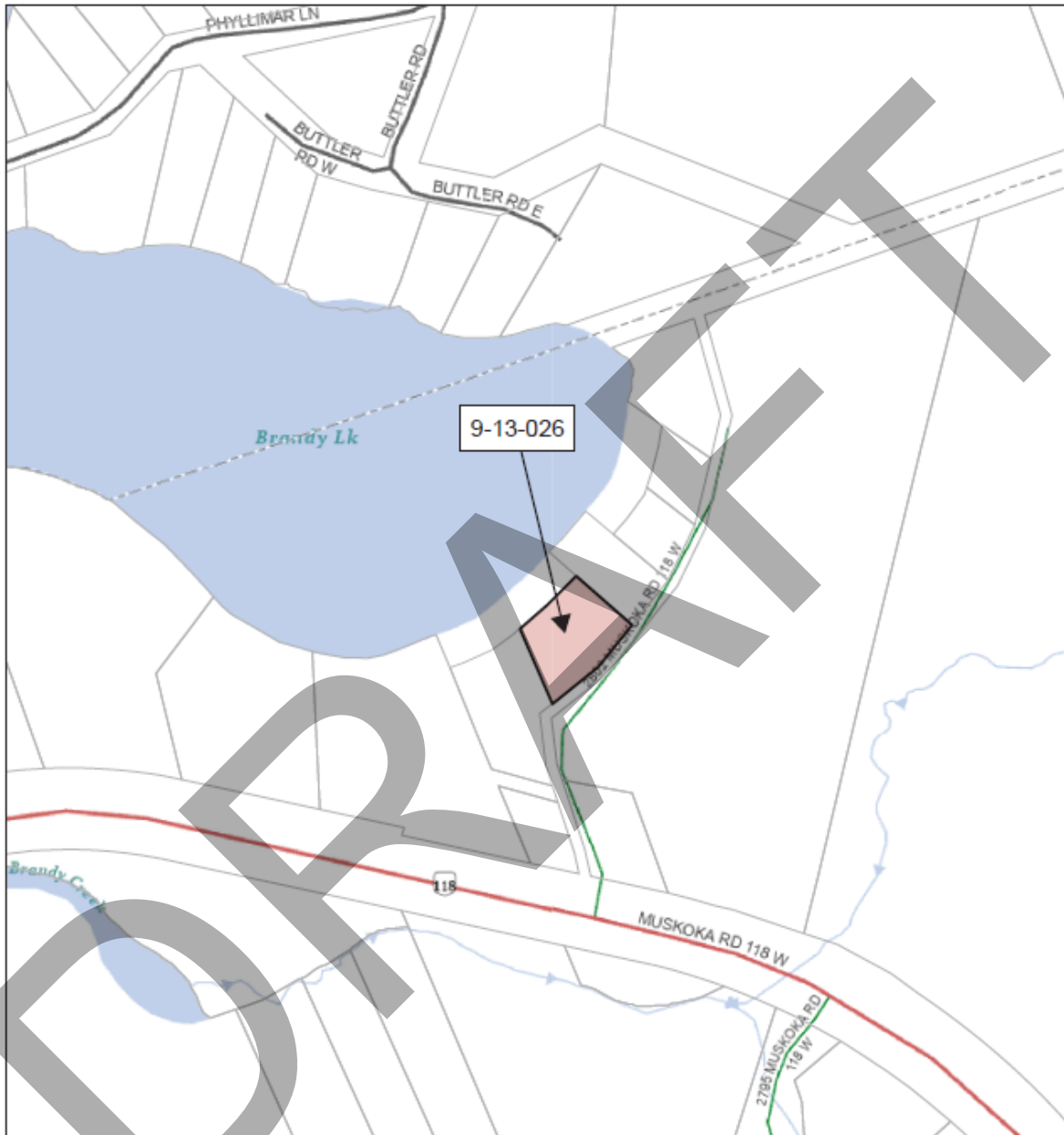
Read a **first, second and third time** and **finally passed** this _____ day of _____, **2025.**

Peter Kelley, Mayor

Crystal Paroschy, Clerk

SCHEDULE I TO DRAFT BY-LAW 2025-XXX

Key Map, ZBA-12/25 (PINDER)

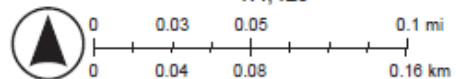


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|-----------------------|-----------------|
| Parcel: Assessment | Township |
| District Municipality | Private |
| Area Municipality | Stream |
| Geographic Township | Waterbody |
| Road Network | Major Lake |
| District | World_Hillshade |



Sources: NRCan, Esri Canada, and Canadian Community Maps contributors. Sources: Esri, Maxar, Airbus DS, USGS, NOAA, NASA, CIGAR, N Robinson, NCEAS, NLS, OS, NIMA, Geodatasysteem, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community

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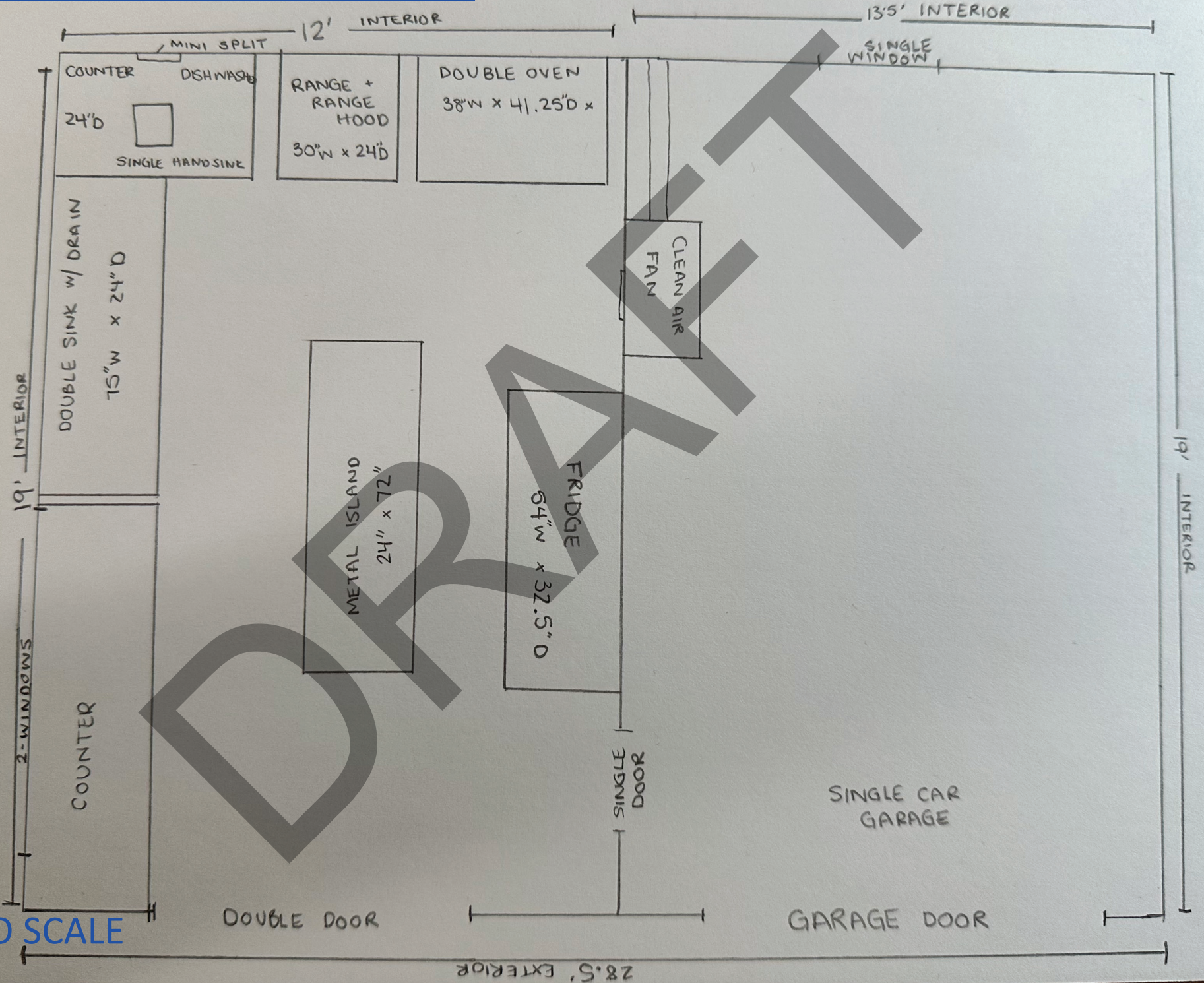
Lot Area:	38,690 sq ft
Lot Area w/in 200ft:	36,270 sq ft
Lot Area less OSRA	25,000 sq ft

Dwelling	2066 sq ft
Sleeping Cabin	458 sq ft
Garage	542 sq ft
Shed	203 sq ft

NOT TO SCALE

SCHEDULE III TO DRAFT BY-LAW 2025-XXX

2802 MUSKOKA RD 118 W
#7, PORT CARLING



NOT TO SCALE