

## PLANNING COMMITTEE - NOTICE OF PUBLIC MEETING

### THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

Take notice that the Council for the Corporation of the Township of Muskoka Lakes will be considering an application for a proposed Consent and Amendment to Zoning By-law 2014-14 pursuant to Sections 53 and 34 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: B/06/07/08/09/25/ML & ZBA-05/25**

**Roll No.: 4-16-030**

**By-law: To Be Assigned**

<b>Owner:</b>	Juddhaven Holdings Limited, 1589 Juddhaven Road, RR 2, Port Carling, ON, P0B 1J0		
<b>Address &amp; Description:</b>	1589 Juddhaven Road Part of Lots 33 and 34, Concession 13, Part 2 to 5, Plan 35R-8191, (Medora)		
<b>Zoning:</b>	Waterfront Residential (WR1-7 & WR2)	Lake Rosseau (Category 1)	Schedule: 14
<b>Meeting Date: Thursday, July, 17th, 2025 at 9:00 a.m.</b>			

Take further notice that this public meeting will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



#### Explanation of the Purpose and Effect:

Consent/Severance Applications B/06/07/08/09/25/ML have been submitted to create two additional lots (three lots total) and grant two rights-of-way. The proposed rights-of-way will provide private access over an existing driveway to proposed Severed Lots 1 and 2. B/08/25/ML will provide private access over the Retained Lot in favour of Severed Lot 2. B/09/25/ML will provide private access over the Retained Lot and Severed Lot 2 in favour of Severed Lot 1.

A Zoning By-law Amendment Application ZBA-05/25 has been submitted to rezone a wetland on the Retained Lot from Waterfront Residential – Backlot (WR2) to Environmental Protection (EP1). Exemptions are also proposed to impose a 100 ft. (30m) setback from the wetland and a 50 ft. (15m) setback from a watercourse on the subject property. The above rezoning and exemptions are a result of recommendations made by an Environmental Impact Study completed by RiverStone Environmental Solutions, dated June 2025.



Notice of Public Meeting  
B/06/07/08/09/25/ML & ZBA-05/25, Juddhaven Holdings Ltd.

Proposal	Permitted Uses in Existing WR2 Zone	Permitted Uses in Proposed EP1 Zone
To Rezone a Portion of the Retained Lot from Waterfront Residential - Backlot (WR2) to Environmental Protection (EP1)	<u>Main Uses</u> <ul style="list-style-type: none"> <li>Residential</li> </ul> <u>Accessory Uses</u> <ul style="list-style-type: none"> <li>Bed and Breakfast</li> <li>Home Based Business</li> <li>Sleeping Cabin</li> <li>Accessory Uses</li> </ul>	All structures, buildings and facilities necessary in conjunction with: <ul style="list-style-type: none"> <li>The production of cranberries excluding buildings and structures;</li> <li>Flood control;</li> <li>Erosion control; and</li> <li>Provision of pedestrian access such as a boardwalk but not including shoreline structures.</li> </ul>

Exemption	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Relief	Proposal
A	4.1.3 & 8.1	Setback from EP1 Zone	-	30 m (100 ft.)	-	30 metre setback from wetland/EP1 zone for all buildings and structures including a leaching bed distribution pipe.
B	4.1.3 & 4.1.7	Setback from Watercourse	-	15 m (50 ft.)	-	15 metre setback for land based buildings and structures, including a leaching bed distribution pipe, and shoreline structures from identified watercourse.

A key map of the subject property, the applicant's site plan and any drawing, and a draft By-law are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**

## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **July 10, 2025.**

**Please note that comments can still be submitted after the agenda has been published.** Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Planning Committee at the meeting by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled meeting.

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### **Watch the Meeting Online**



You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN MEETING:** If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**NOTICE OF PASSING & DECISION:** If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect of the proposed consent or zoning by-law amendment, you must submit a written request to the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

**ZONING AMENDMENT:** If a person or public body would otherwise have an ability to appeal the decision of Council to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.



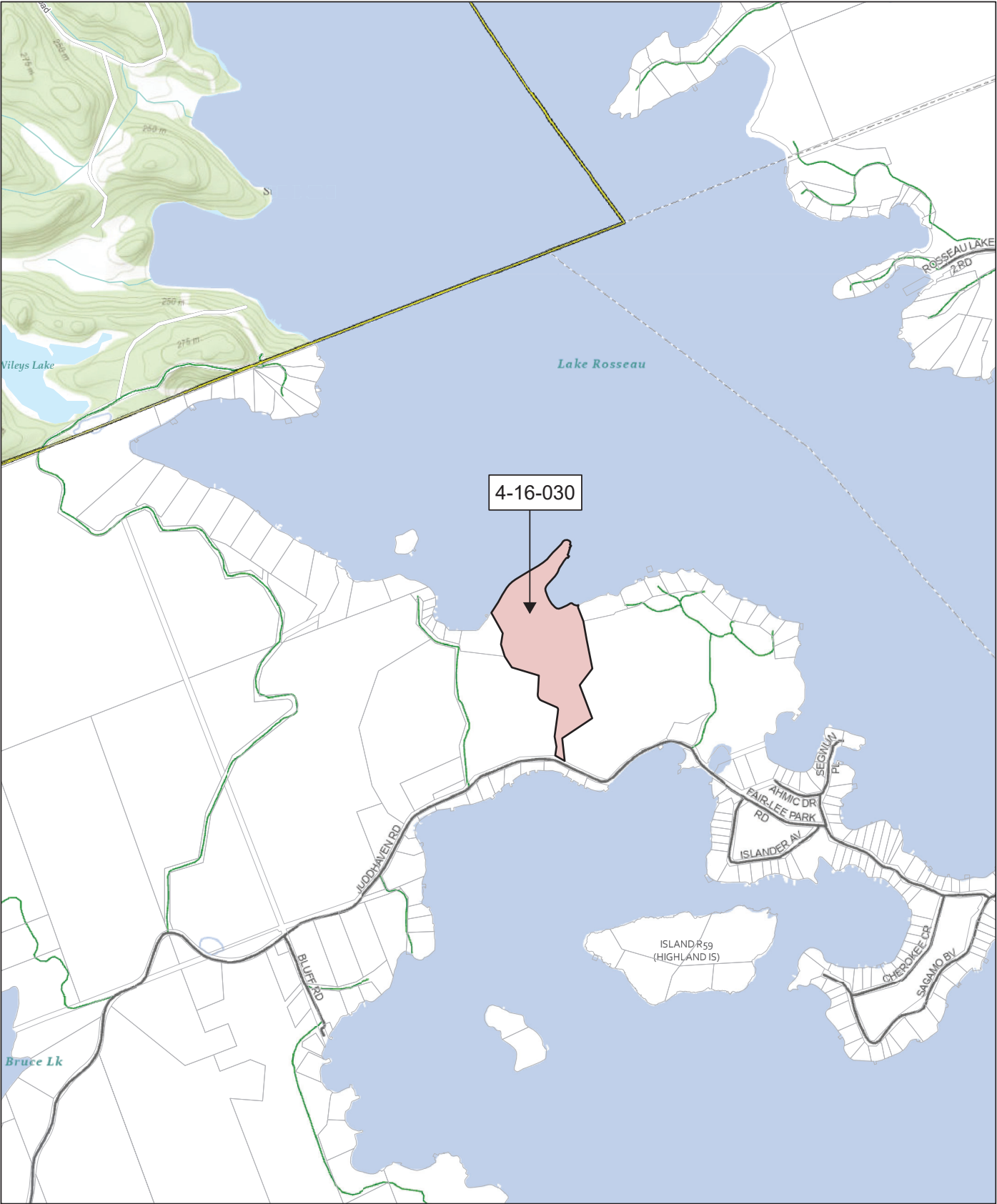
**CONSENT:** No one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of Council in respect of the proposed consent. If a person or public body has the ability to appeal the decision of the Council of the Township of Muskoka Lakes in respect of the proposed consent to the Ontario Land Tribunal, but does not make written submissions to the Council of the Township of Muskoka Lakes before it gives or refuses to give a provisional consent, the Tribunal may dismiss the appeal.

Notwithstanding the above, subsections 34(19) and 53(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

Dated at the Township of Muskoka Lakes this 23rd day of June, 2025.


Crystal Paroschy, Clerk  
Corporation of the Township of Muskoka Lakes









2/25/2025, 11:44:58 AM


NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.


-  Parcel: Assessment


 District Municipality


 Area Municipality

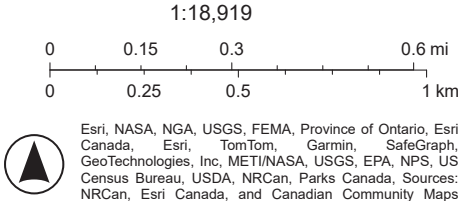
 Geographic Township
-  Road Network

 Township

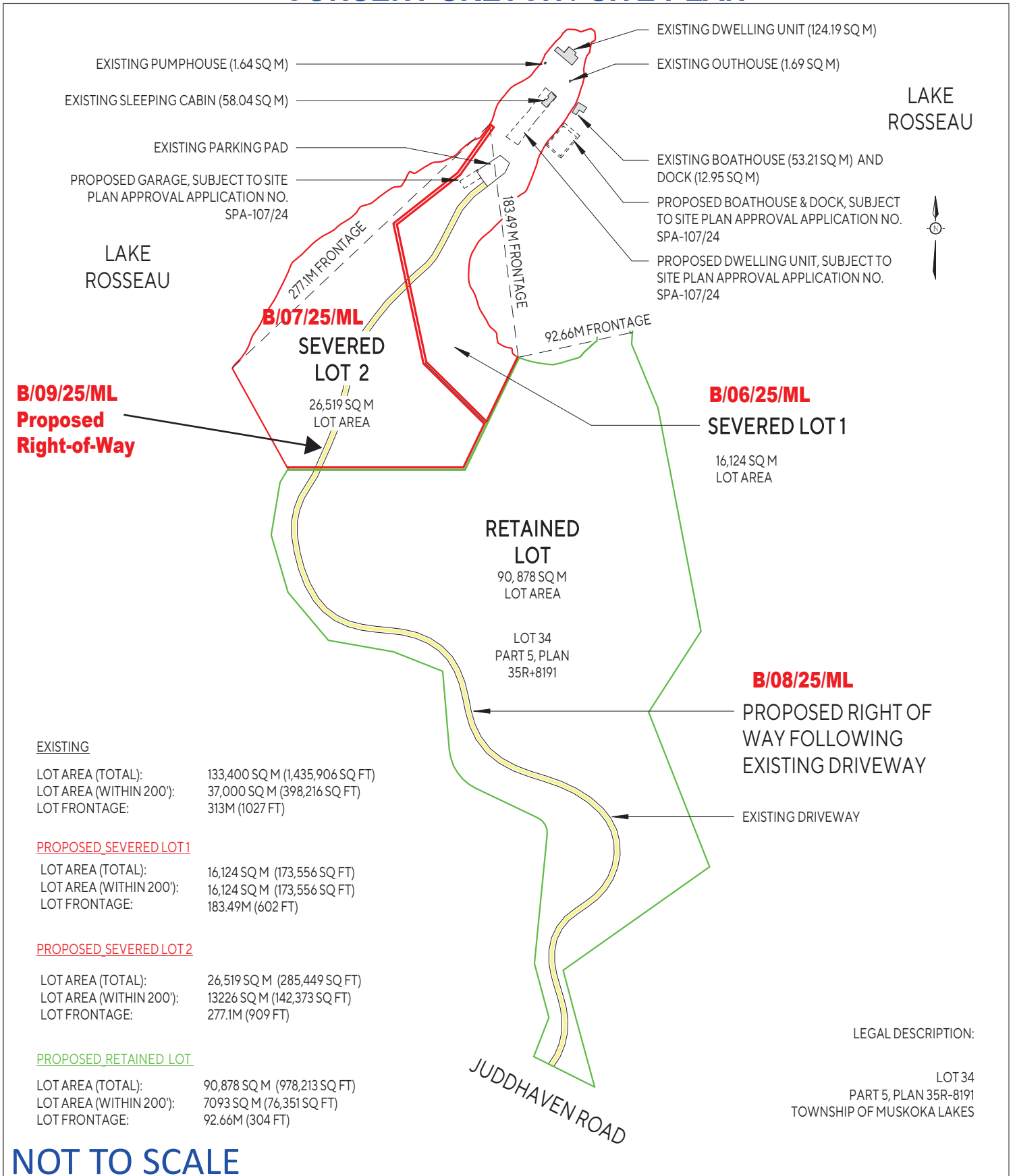
 Private

 Waterbody

 Major Lake



# CONSENT SKETCH / SITE PLAN



NOT TO SCALE

Akb

1589 JUDDHAVEN ROAD, PORT CARLING, ON, P0B 1J0

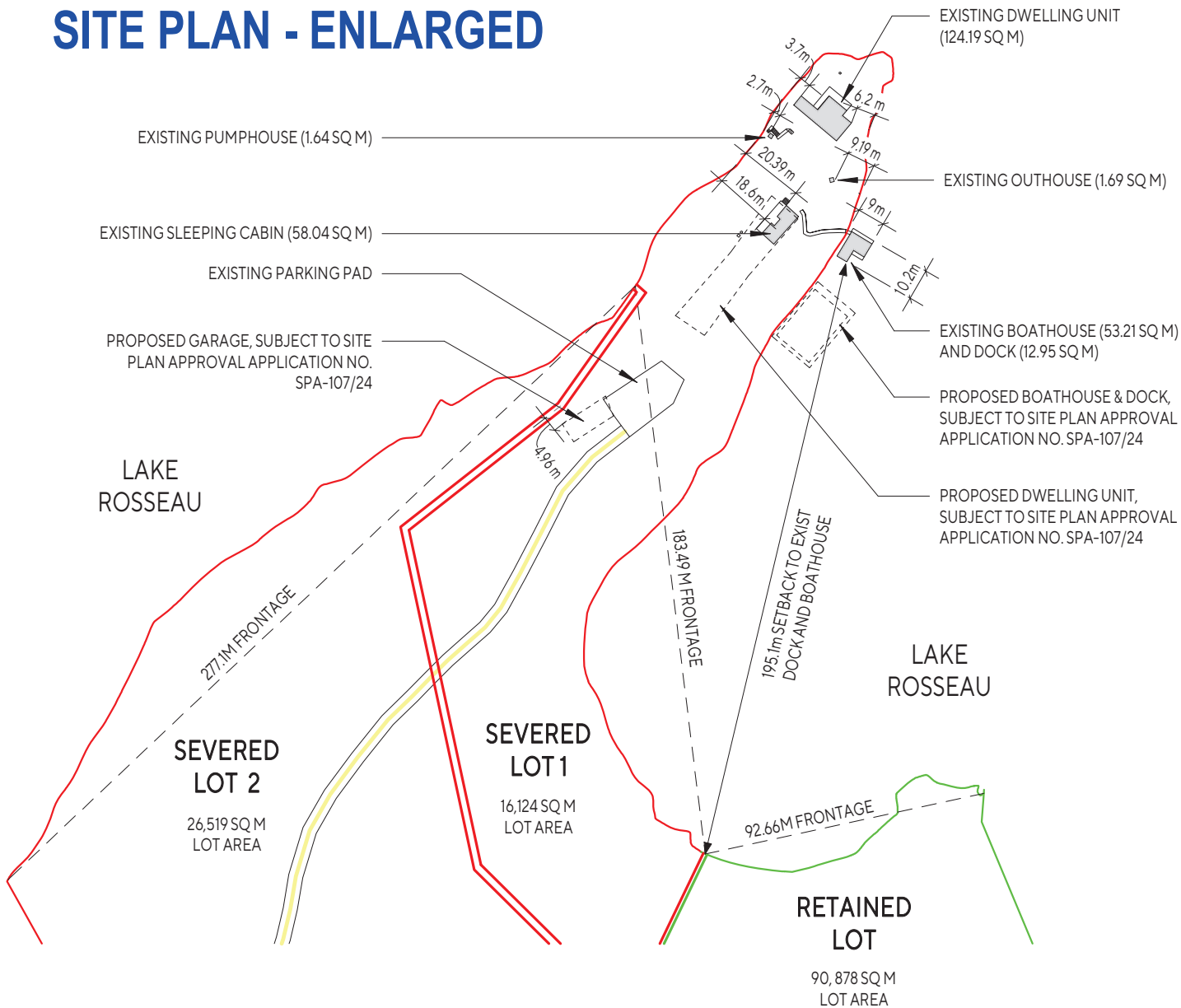
© ATELIER KASTELIC BUFFEY INC. 2004-2025  
 182D St. Helens Ave, Toronto ON, M6H 4A1  
 t. 416.204.1331 e. info@akb.ca

Lot Severance Sketch

1:4000

A-100A

# SITE PLAN - ENLARGED



## EXISTING

LOT AREA (TOTAL): 133,400 SQ M (1,435,906 SQ FT)  
LOT AREA (WITHIN 200'): 37,000 SQ M (398,216 SQ FT)  
LOT FRONTAGE: 313M (1027 FT)

## PROPOSED SEVERED LOT 1

LOT AREA (TOTAL): 16,124 SQ M (173,556 SQ FT)  
LOT AREA (WITHIN 200'): 16,124 SQ M (173,556 SQ FT)  
LOT FRONTAGE: 183.49M (602 FT)

## PROPOSED RETAINED LOT

LOT AREA (TOTAL): 90,878 SQ M (978,213 SQ FT)  
LOT AREA (WITHIN 200'): 7093 SQ M (76,351 SQ FT)  
LOT FRONTAGE: 92.66M (304 FT)

## PROPOSED SEVERED LOT 2

LOT AREA (TOTAL): 26,519 SQ M (285,449 SQ FT)  
LOT AREA (WITHIN 200'): 13226 SQ M (142,373 SQ FT)  
LOT FRONTAGE: 277.1M (909 FT)

LEGAL DESCRIPTION:

LOT 34  
PART 5, PLAN 35R-8191  
TOWNSHIP OF MUSKOKA LAKES

NOT TO SCALE

Akb

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182D St. Helens Ave, Toronto ON, M6H 4A1  
t. 416.204.1331 e. info@akb.ca

Enlarged Plan

1:2000

A-100B



**THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES**

**BY-LAW NUMBER 2025-XXX**

**Being a By-law to amend Comprehensive Zoning By-law  
2014-14, as amended, in the Township of Muskoka Lakes**

**WHEREAS** the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

**AND WHEREAS** By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

**AND WHEREAS** the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

**NOW THEREFORE** the Council of the Corporation of the Township of Muskoka Lakes enacts as follows:

1. Schedule 14 of By-law 2014-14, as amended, is hereby further amended by rezoning part of the lands known as Part of Lots 33 and 34, Concession 13, (in the former Township of Medora), now in the Township of Muskoka Lakes, from Waterfront Residential – Backlot (WR2) to Environmental Protection (EP1), as shown hatched on Schedule II to By-law 2025-XXX.
2. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:

87-XXXX

i)

The lands affected by this amendment are described as Part of Lots 33 and 34, Concession 13, (in the former Township of Medora), now in the Township of Muskoka Lakes, more particularly described as Parts 2 to 5, Plan 35R-8191, as shown hatched on Schedule I to By-law 2025-XXX.

ii)

Despite the provisions of Section 4.1.3 and 8.1 of By-law 2014-14, as amended, for those lands described above, the minimum setback of buildings and structures, including a leaching bed distribution pipe, from the Environmental Protection (EP1) zone on the Retained Lot in Consent Application B/06/07/25/ML shall be 30 metres (100 ft.), as shown stippled on Schedule II to By-law 2025-XXX.

iii)

Despite the provisions of Section 4.1.3 and 4.1.7 of Zoning By-law 2014-14, as amended, for those lands described above, the minimum setback of land-based buildings and structures, including a leaching bed distribution pipe, and shoreline structures from the watercourse on the Retained Lot, and Severed Lots 1 and 2 in Consent Applications B/06/07/25/ML shall be 15 metres (50 ft.), with the exception of a boardwalk, as shown cross hatched on Schedule II to By-law 2025-XXX.
3. Schedules I and II attached hereto are hereby made part of this By-law.
4. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2025-XXX and By-law 2014-14, as amended, the provisions of By-law 2025-XXX shall apply.

Read a **first, second and third time and finally passed** this \_\_\_\_\_day of \_\_\_\_\_, **2025.**



Peter Kelley, Mayor

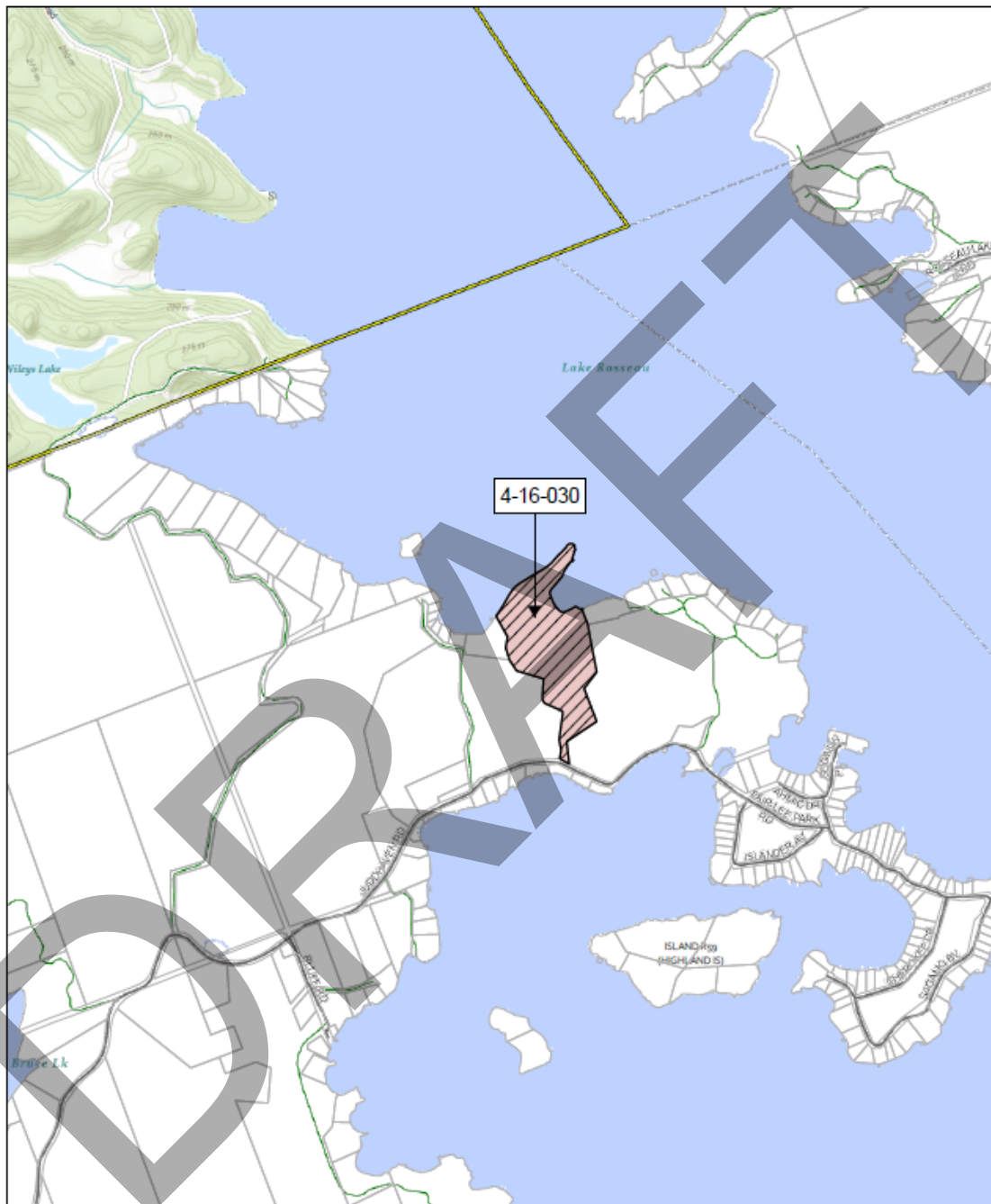
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Crystal Paroschy, Clerk

DRAFT

## SCHEDULE I TO DRAFT BY-LAW 2025-XXX

Key Map, B/06/07/08/09/25/ML, ZBA-05/25 (JUDDHAVEN HOLDINGS LTD.)

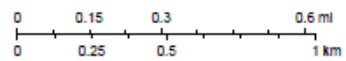


2/25/2025, 11:44:58 AM

NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

- |                       |              |
|-----------------------|--------------|
| Parcel: Assessment    | Road Network |
| District Municipality | Township     |
| Area Municipality     | Private      |
| Geographic Township   | Waterbody    |
|                       | Major Lake   |

1:18,919



Esri, NASA, NOAA, USGS, FEMA, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc., METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, NRCAN, Parks Canada, Sources: NRCAN, Esri Canada, and Canadian Community Maps

**SCHEDULE II TO BY-LAW 2025-XXX**

