



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended.

File No.: A-12/26
Roll No.: 2-20-076

Owners:	Anthony & Samantha Saraco		
Address:	1106 Skeleton Lake Road 3, Unit #1		
Description:	Lot 8, Concession 12, Lot 23, Plan M198, (Watt)		
Zoning:	Waterfront Residential-No Constraints (WR1)	Skeleton Lake (Category 2 Lake)	Schedule: 17
Hearing Date: Friday, May 15th, 2026 at 9:00 a.m.			



Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code. Please note there may be a delay when the physical notice signs are posted and when the electronic copy of the Notice is available online.

Explanation of the Purpose and Effect:

The applicants propose to construct a dwelling with an attached sundeck. The existing dwelling and sundeck have been demolished. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3	Minimum Westerly Interior Side Yard Setback for a Sundeck	15 ft.	6.2 ft.	8.8 ft.	To Reconstruct a Dwelling and Sundeck
B	4.1.3	Minimum Easterly Interior Side Yard Setback for a Sundeck	15 ft.	6.5 ft.	8.5 ft.	
C	4.1.3	Minimum Easterly Interior Side Yard Setback (Stairs & Landing)	15 ft.	6.5 ft.	8.5 ft.	
D	4.1.3	Minimum Westerly Interior Side Yard Setback (Dwelling)	15 ft.	4.2 ft.	10.8 ft.	

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



If you wish to provide a response to this application, please submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **May 6, 2026.**

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating, please visit www.muskokalakes.ca/speaking-at-a-meeting

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies, a “specified person” (as defined by the Planning Act 1(1)), and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 24th day of April, 2026.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



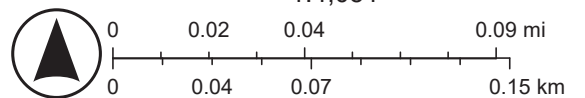
KEY MAP (A-12/26)



NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

1:4,051

- | | | | | | |
|--|-----------------------|--|---------------------------|--|-----------------|
| | Parcel: Assessment | | Road Network | | Stream |
| | District Municipality | | Township | | Waterbody |
| | Area Municipality | | Wetland With Significance | | Major Lake |
| | Geographic Township | | Evaluated-Provincial | | World_Hillshade |
| | | | Evaluated-Other | | |



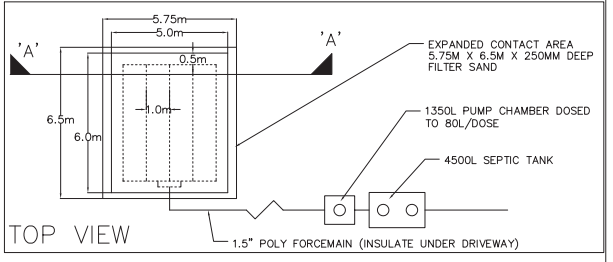
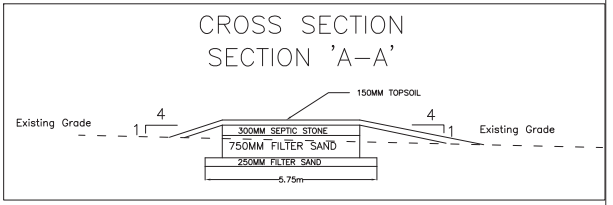
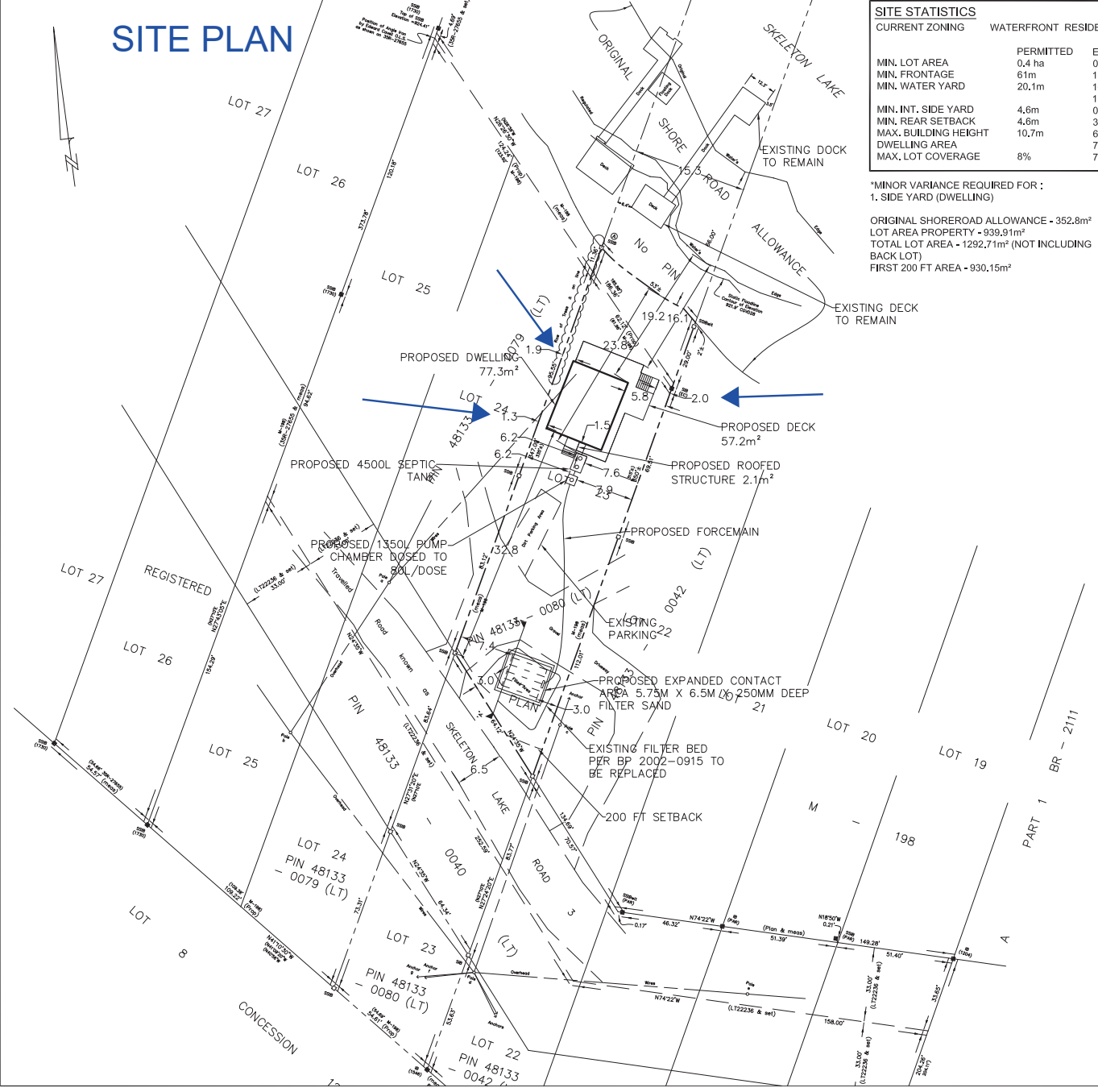
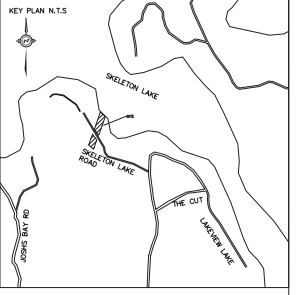
Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community

SITE PLAN

SITE STATISTICS			
CURRENT ZONING	WATERFRONT RESIDENTIAL (WR1)		
MIN. LOT AREA	PERMITTED 0,4 ha	EXISTING DWELLING 0,14ha±	PROPOSED 0,09ha / 939,91m ²
MIN. FRONTAGE	61m	19,5m	19,5m
MIN. WATER YARD	20,1m	16,1m± (DECK)	16,1m± (DECK)
		19,2m± (DWELLING)	19,2± (DWELLING)
MIN. INT. SIDE YARD	4,6m	0,6m/2,0m (DECK)	1,3m (DWELLING)±, 2,0m (DECK)*
MIN. REAR SETBACK	4,6m	32,9m	32,9m (DWELLING)
MAX. BUILDING HEIGHT	10,7m	6m±	9,3m
DWELLING AREA		74,6m ²	79,4m ²
MAX. LOT COVERAGE	8%	7,9%	6,1%

*MINOR VARIANCE REQUIRED FOR :
1. SIDE YARD (DWELLING)

ORIGINAL SHOREROAD ALLOWANCE - 352,8m²
LOT AREA PROPERTY - 939,91m²
TOTAL LOT AREA - 1292,71m² (NOT INCLUDING BACK LOT)
FIRST 200 FT AREA - 930,15m²

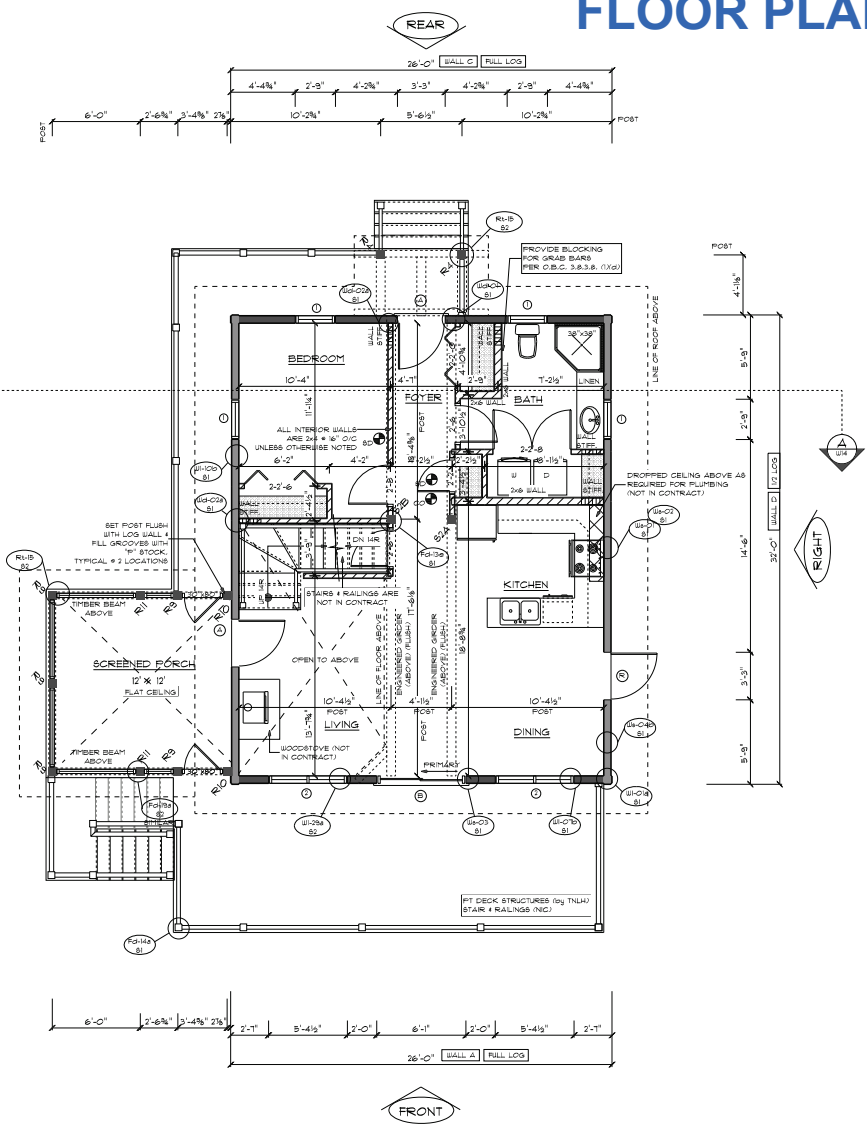


- DESIGN NOTES:
- Q= 2100L/DAY
 - T-15
 - 4500L SEPTIC TANK W/ 1350L PUMP CHAMBER
 - FILTER BED AREA=30M²
 - EXPANDED CONTACT AREA = 37,4M²

NOT TO SCALE

COOTE, HILEY, JEMMETT LTD		127 KEITH ROAD BRANTFORD, ON, P1L 0G8 705-645-4411 800-485-1943 survey@mhjksurveyors.com www.surveyorsmhj.com	
DRAWN BY: JT CHECKED BY: SC DATE: DECEMBER 18, 2025 FILE: M522025-198			
REVISIONS			
NO:	DATE:	DESCRIPTION:	BY:
PROJECT TITLE: 1106 SKELETON LAKE 3 RD, UTTERSON, ON POB 1M0 PART OF LOT 23, REGISTERED PLAN M-198 GEOGRAPHIC TOWNSHIP OF WATT, TOWNSHIP OF MUSKOKA LAKES ROLL#445302002007600			
DRAWING TITLE: PROPOSED SITE PLAN			
DRAWN BY: VA		PROJECT NO: 025-1192	
DESIGNED BY: TD		DRAWING NO: SP-1	
APPROVED BY: TD			
DATE: SEPT 2025		SCALE: 1:250	
LAST REVISED APRIL 22-2026			

FLOOR PLANS



MAIN FLOOR PLAN
 MAIN FLOOR AREA + 833 SQ. FT.
 LOG FACE OVERHANGS 1"CF FOUNDATION BY 1/2"
 6" LOGS EXTEND BILL PLATE 1/2" BEYOND FACE OF FOUNDATION.
 INTERIOR DIMENSIONS ARE FROM 6" OR INTERIOR 8"X8" WALL & FACE OF LOG WALL.
 CONTINUOUS LOG WALLS THAT RUN FROM THE EXTERIOR TO THE INTERIOR WILL BE STAINED AN EXTERIOR COLOUR UNLESS CLIENT HAS AGREED TO UPGRADE FOR COLOUR CHANGE

NOT TO SCALE



Working drawings are based on 2309S V2 Drawings. Contractor to ensure latest set of drawings are being used for construction. Contact TNTH to confirm latest version number.

LOG SPEC
 SIZE: 6"
 3 COURSE BILL OF MAT.: WHITE PINE
 SURFACE: SMOOTH
 CORNER: DOVETAIL
 SHAPE: DOVETAIL

REFER TO DRAWING NOT FOR GENERAL NOTES, SCHEDULES AND RELATED APPLICABLE ITEMS

ALL DIMENSIONS IN BRACKETS ARE IN MILLIMETERS

NOT IN CONTRACT REFERS TO ITEMS NOT INCLUDED IN TRUE NORTH LOG HOME PURCHASE AND SALE CONTRACT. CONTACT WITH CLIENT/CONTRACTOR REGARDING THESE ITEMS



THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THE DESIGN. HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS AS A DESIGNER AS SET OUT IN THE ONTARIO BUILDING CODE (AS AMENDED TO DATE).
 Qualification Information

SIGNATURE: BSGN
 Registration Information
 TRUE NORTH LOG HOMES 32193
 FIRM BSGN

BUILDING DEPARTMENT NOTICE
 This notice must be displayed in red, signed and sealed by TRUE NORTH LOG HOMES INC. Read instructions original copies prepared according to Building Department Law only. Use of copies not warranted in writing. Coloration and file size fraudulent under Copyright and Patent Law.

All drawings are the property of TRUE NORTH LOG HOMES. Plans are General and shall, under patent pending.

DRW BY: DATE: OCT 2025
 CHKD BY: SCALE: 1/8" = 1'-0"
 TNTH: 10x8 SHEET (SIZE) 1/4" x 1/2"
 PLOT DATE: 24x36 SHEET (SIZE) 1/4" x 1/2"
 October 23, 2025 24x36 SHEET (SIZE)

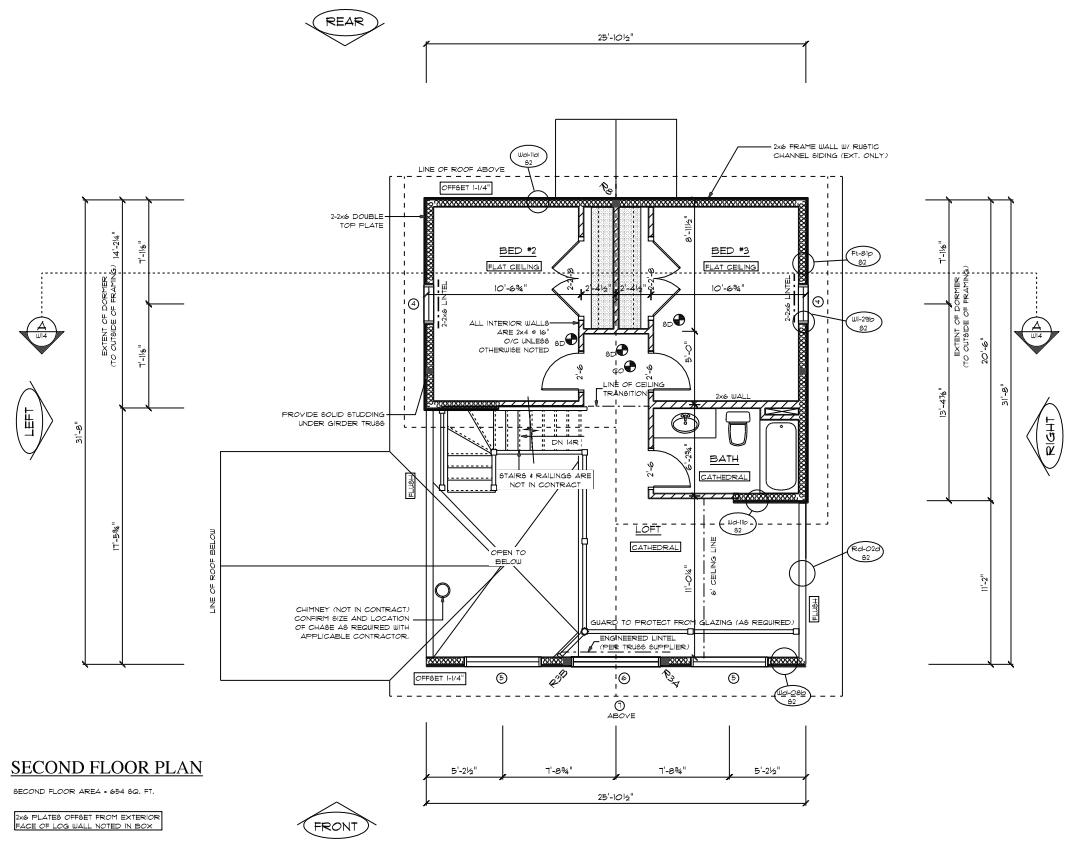
Version 1

MAIN FLOOR PLAN

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FLOOR PLANS



SECOND FLOOR PLAN
SECOND FLOOR AREA = 654 SQ. FT.


2x6 PLATES OFFSET FROM EXTERIOR EDGE OF LOG WALL, NOTED IN BOX

NOT TO SCALE



P.O. BOX 2169,
WINTHARA ROAD,
BRACEBRIDGE, ON,
CANADA P1L 1W1
PHONE: 1-800-661-1628,
www.trueorthloghomes.com

Working drawings are based on 2309S V2 Drawings. Contractor to ensure latest set of drawings are being used for construction. Contact TNLH to confirm latest version number.

LOG SPEC
SIZE: 6"
3 COURSE SILL (CF)
M.T.: WHITE PINE
SURFACE: SMOOTH
CORNER: DOVETAIL
SHAPE: 

REFER TO DRAWING SET FOR GENERAL NOTES, SCHEDULES AND RELATED APPLICABLE ITEMS
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THE UNDERSIGNED HAS REVIEWED THESE DRAWINGS AND ASSUMES RESPONSIBILITY FOR THE DESIGN. HAS THE QUALIFICATIONS TO MEET THE REQUIREMENTS AS A DESIGNER AS SET OUT IN THE ONTARIO BUILDING CODE (AS AMENDED TO DATE).
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DRW BY:	DATE:
KD	OCT 2025
CHKD BY:	SCALE:
TLN	1/8" = 1'-0"
PLDT DATE:	NO. OF SHEET (SHEET 8/28)
October 23, 2025	24x36 SHEET 8/28

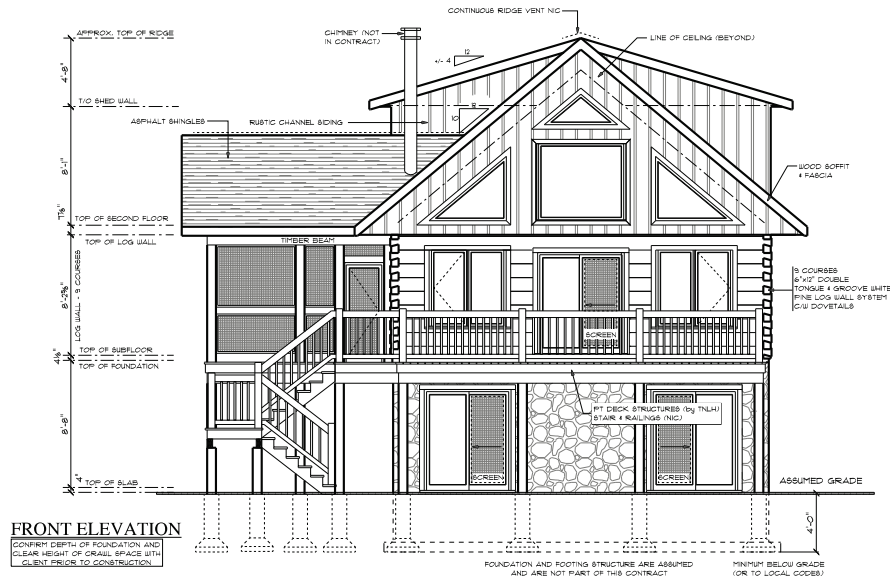
Version 1

SECOND FLOOR PLAN

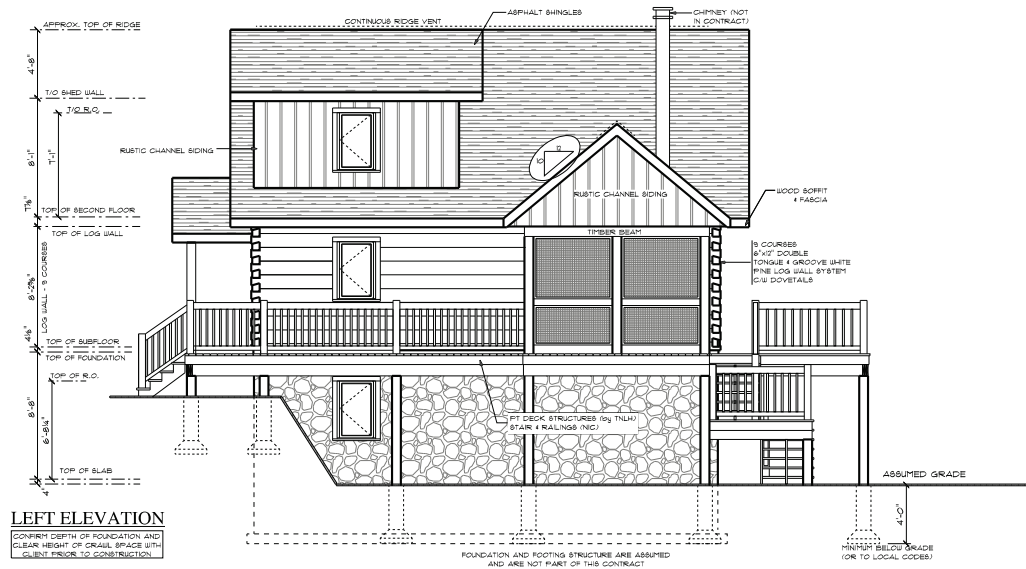
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ELEVATIONS



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TRUE NORTH
 LOG & TIMBER HOMES INC.

P.O. BOX 2169
 WITHARA ROAD,
 BRACEBRIDGE, ON,
 CANADA P1L 1W1
 PHONE: 1-800-661-1628,
 www.truenorthloghomes.com

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LOG SPEC

SIZE: 6"
 3 COURSE SILL (CF)
 MAT.: WHITE PINE
 SURFACE: SMOOTH
 CORNER: DOVETAIL

SHAPE:

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DRW BY: MD	DATE: OCT 2025
CHKD BY: T.N.H.	SCALE: 1/8" = 1'-0"
PLOT DATE: October 23, 2025	12x18 SHEET (2/E) 1/4" x 1/4"
	24x36 SHEET (2/E)

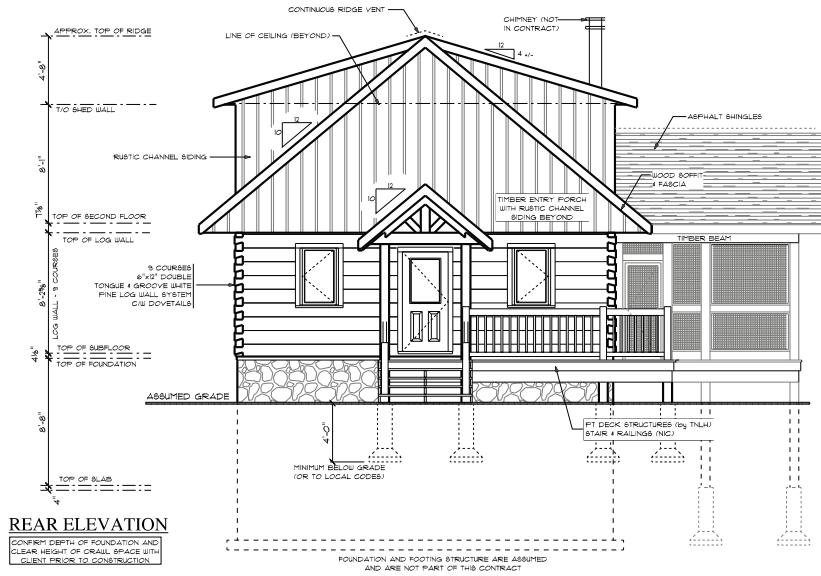
Version 1

ELEVATIONS

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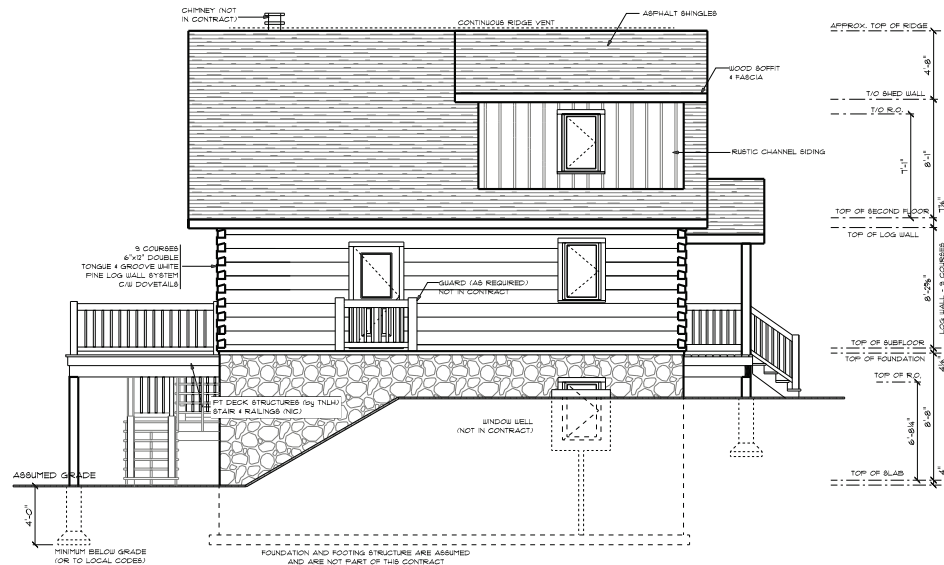
ELEVATIONS



REAR ELEVATION

CONFIRM DEPTH OF FOUNDATION AND CLEAR HEIGHT OF CRAIL SPACE WITH CLIENT PRIOR TO CONSTRUCTION.

FOUNDATION AND FOOTING STRUCTURE ARE ASSUMED AND ARE NOT PART OF THIS CONTRACT.



RIGHT ELEVATION

CONFIRM DEPTH OF FOUNDATION AND CLEAR HEIGHT OF CRAIL SPACE WITH CLIENT PRIOR TO CONSTRUCTION.

NOT TO SCALE



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WINTHARA ROAD,
BRACEBRIDGE, ON,
CANADA P1L 1W1
PHONE: 1-800-661-1628,
www.truenorthloghomes.com

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LOG SPEC
SIZE: 6"
3 COURSE BILL OF MAT.: WHITE PINE SURFACE: SMOOTH CORNER: DOVETAIL
SHAPE:

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DRW BY: KD	DATE: OCT 2025
CHKD BY: TNTH	SCALE: 1/8" = 1'-0"
PLST DATE: October 23, 2025	12x18 SHEET SIZE: 24x36 SHEET SIZE

Version 1

ELEVATIONS

250919

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