

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: A-46/25**

**Roll No.: 6-17-019**

<b>Owners:</b>	Michal Lada & Lindsey Coulter-Lada, 22 Point Road, Bala, ON, P0C 1A0		
<b>Address &amp; Description:</b>	3646 Muskoka Road 169, Unit #22 Part of Lot 17, Concession E, Parts 4 and 5, Plan 35R-19252, (Medora)		
<b>Zoning:</b>	Waterfront Residential – Steep Slopes and/or Narrow Waterbody (WR5)	Lake Muskoka (Category 1)	Schedule: 41
<b>Hearing Date: Tuesday, October 14<sup>th</sup>, 2025 at 9:00 a.m.</b>			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



### Explanation of the Purpose and Effect:

The applicants propose to construct an accessory two-storey garage with upper storey storage, an attached carport, stairs, and a landing. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3	Minimum Southerly Side Yard Setback	15 ft.	6.5 ft.	8.5 ft.	Construct an Accessory Two-Storey Garage with Upper Storey Storage
B	4.1.3	Minimum Rear Yard Setback (Garage)	15 ft.	4.5 ft.	10.5 ft.	
C	4.1.3	Minimum Rear Yard Setback (Stairs)	15 ft.	5 ft.	10 ft.	Construct Stairs Attached to an Accessory Garage
D	4.1.3	Minimum Rear Yard Setback (Landing)	15 ft.	3 ft.	12 ft.	Construct a Landing Attached to an Accessory Garage

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**

## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **October 8, 2025.**

**Please note that comments can still be submitted after the agenda has been published.** Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies, a “specified person” (as defined by the Planning Act 1(1)), and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

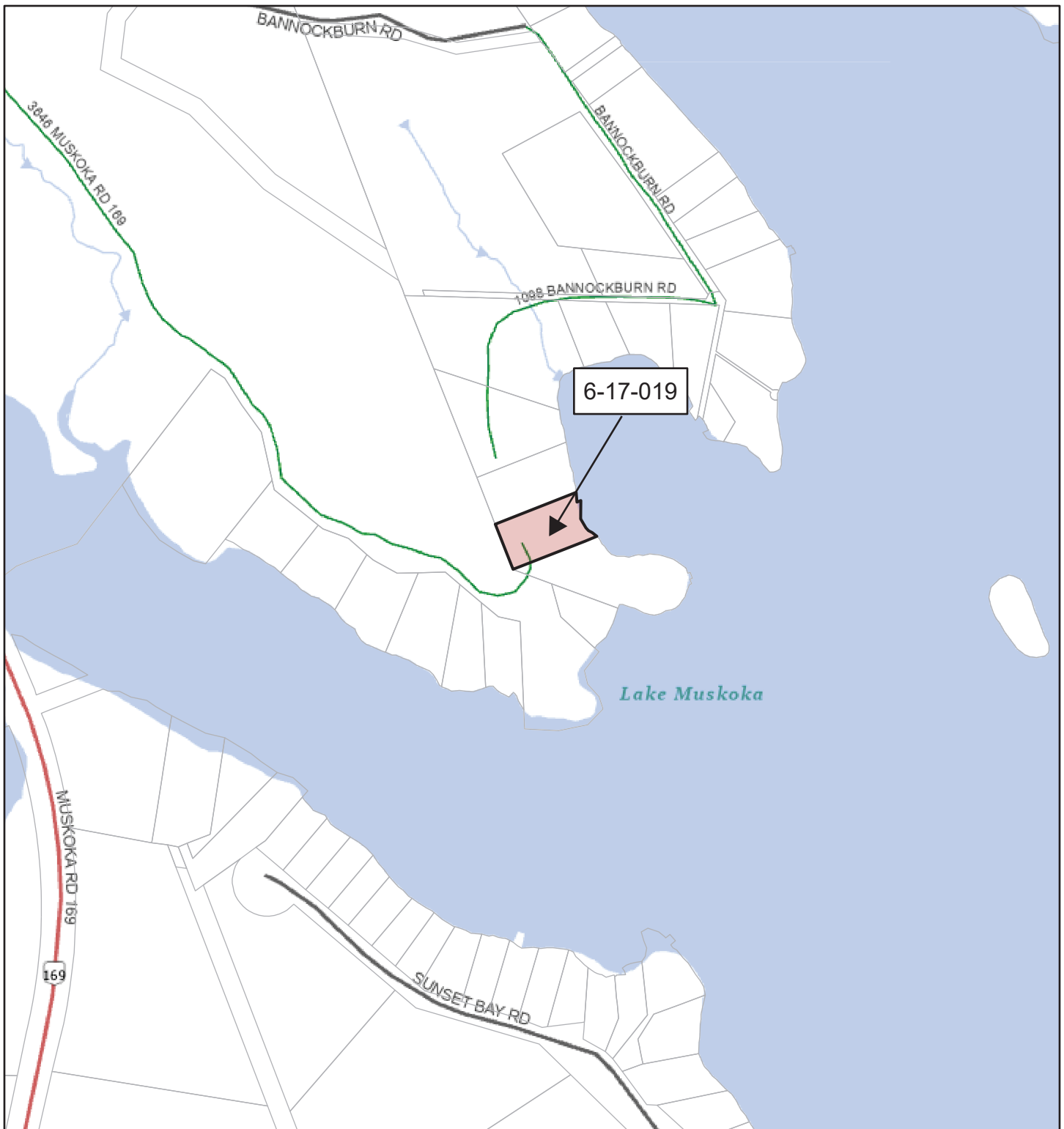
**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
this 11th day of September, 2025.

Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)



# KEY MAP, A-46/25 (LADA)

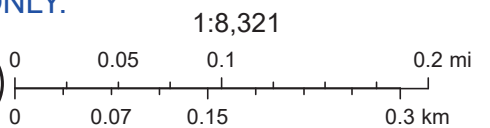


NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

- Parcel: Assessment
- District Municipality
- Area Municipality
- Geographic Township

- Road Network**
- District
- Township
- Private
- Stream

- Waterbody
- Major Lake
- Canada\_Hillshade
- World\_Hillshade



Esri, NASA, NGA, USGS, FEMA, Sources: NRCan, Esri Canada, and Canadian Community Maps contributors.

ZONING REGULATIONS FOR WR1 PROPERTY

LOT COVERAGE	
LOT AREA TOTAL	= 4322 M <sup>2</sup> ±
LOT AREA (WITHIN 61M)	= 2989 M <sup>2</sup> ±
ALLOWABLE LOT COVERAGE TOTAL	= 432.2 M <sup>2</sup> ± (10%)
ALLOWABLE LOT COVERAGE (WITHIN 61M)	= 298.9 M <sup>2</sup> ± (10%)
PROPOSED LOT COVERAGE TOTAL	= 252.8 M <sup>2</sup> ± (5.8%)
PROPOSED LOT COVERAGE (WITHIN 61M)	= 114.3 M <sup>2</sup> ± (3.8%)

EXISTING LOT COVERAGE	
EXISTING DWELLING	= 91 M <sup>2</sup> ±
EXISTING SHED	= 12.7 M <sup>2</sup> ±
EXISTING TARP SHED	= 26.7 M <sup>2</sup> TOTAL
	10.6 M <sup>2</sup> (WITHIN 61M)
	16.1 M <sup>2</sup> (BEYOND 61M)

PROPOSED LOT COVERAGE

GARAGE	= 89 M <sup>2</sup>
CARPORT	= 33.4 M <sup>2</sup>
LANDING & STAIRS	= 10.3 M <sup>2</sup>

SIDE YARD SETBACK	= 4.6 M
REAR YARD SETBACK	= 4.6 M
FRONT YARD (SHORELINE) SETBACK	= 20.1 M
STRAIGHT LINE FRONTAGE	= 61 M

NOTES:

DRAWING IS FOR REFERENCE ONLY; THE MEASUREMENTS PROVIDED ARE BASED ON MEASUREMENTS PROVIDED BY ORIGINAL BUILDING LOCATION SURVEY. LOCATIONS OF BUILDINGS AND PATHWAYS MAY HAVE BEEN MODIFIED TO ILLUSTRATE PROPOSED DEVELOPMENT. THIS DOCUMENT HAS NOT BEEN PREPARED BY A REGISTERED ONTARIO LAND SURVEYOR.

SITE PLAN



NOT TO SCALE



www.duenorthdesign.ca  
jessica@duenorthdesign.ca  
705-783-7045  
5 River House Lane  
Huntsville ON P1H 2J3

NOTES:

ISSUED FOR PERMIT

REVISIONS		
NO.	DESCRIPTION	DATE
1		
1		

LADA

SITE PLAN

Address:  
3646 MUSKOKA RD 169 #22  
MUSKOKA LAKES, ON

Project Number: 25-07

Date: SEPT 9, 2025

Drawn By: JC

SP1

Scale: 1/32" = 1'-0"    REV:

ADDITIONAL NOTES

Excavation and Backfill

- Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities.
- The topsoil and vegetable matter in unexcavated areas under a building shall be removed. The bottom of excavations for foundations shall be free of all organic matter.
- If termites are known to exist in the building area, all stumps, roots and wood debris shall be removed to a minimum depth of 12" in excavated areas under a building, and the clearance between untreated structural wood elements and the ground shall be no less than 18".
- Backfill within 24" of the foundation walls shall be free of deleterious debris and boulders over 10" in diameter.

Dampproofing and Drainage

- In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be dampproofed. Where hydrostatic pressure occurs, a waterproofing system is required.
- Masonry foundation walls shall be parged with 1/4" of mortar coved over the footing prior to dampproofing.
- Minimum 4" diameter foundation drains shall be laid on level undisturbed ground adjacent to the footings at or below the top of the basement slab or crawl space floor, and shall be covered with a minimum 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump pump.
- Window wells shall be drained to the footing level or to a ditch or sump pump.
- Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building and provisions shall be made to prevent soil erosion.
- Concrete slabs in attached garages shall be sloped to drain to the exterior.
- The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not adversely affect adjacent properties.

Footings

- Poured concrete footings shall be a minimum of 15MPa
- The underside of footings shall be a minimum of 48" below finished grade, unless on bedrock.
- Footings shall be formed on undisturbed soil, rock or compacted granular fill with minimum bearing capacity of 75kPa.
- The projection of an unreinforced footing beyond the supported wall shall not be greater than its thickness.
- Step footing rises shall be no greater than 24".
- Step footing runs shall be no less than 24".

Foundation Walls

- To be poured concrete, unit masonry, ICF or preserved wood.
- Foundation walls shall extend a minimum 6" above finished grade.
- A drainage layer is required on the outside of a foundation wall where the interior insulation extends more than 36" below exterior grade.
- A drainage layer shall consist of:
  - Min. 3/4" mineral fibre insulation with a min. density of 57 Kg/m³.
  - Min. 4" of free draining granular material.
  - Or an approved system which provides equivalent performance.
- Foundation walls shall be braced or have the floor system installed before backfilling.

ICF Walls

- ICF foundation walls shall be laterally supported at the top and at the bottom.
- The thickness of concrete in ICF foundation walls shall be no less than 5 1/2" and not less than the thickness of concrete of the wall above.

Concrete Floor Slabs

- Garage, carport, exterior slabs and exterior stairs shall be minimum 32MPa concrete with 5-8% air entrainment.
- Basement slab shall be minimum 25MPa concrete, minimum 3" thick, placed on a minimum 4" of coarse, clean, granular material.
- All fill other than coarse, clean, granular material placed beneath slabs shall be compacted to provide uniform support.

Wood Frame Construction

- All lumber shall be spruce-pine-fir No. 1&2, and shall be identified by a grade stamp.
- Moisture content of lumber shall not be more than 19% at the time of installation.
- Wood framing members that are not pressure treated and are less than 6" above the ground which are supported on concrete in direct contact with soil or fill shall be separated from the concrete with 0.05mm polyethylene or type 'S' roll roofing.
- Ends of wood joists, beams and other members framing into masonry or concrete shall be treated to prevent decay where the bottom of the member is at or below ground level, or a 1/2" air space shall be provided at the end and sides of the member.
- Nailing of framing shall conform to Table 9.23.3.4 of the Ontario Building Code.

Roof & Ceilings

- Hip and valley rafter shall be 1 1/2" deeper than common rafters.
- 1 1/2" x 3 1/2" collar ties @ rafter spacing with 3/4" x 3 1/2" continuous brace at mid span if collar tie exceeds 94 1/2" in length.

Notching & Drilling of Trusses, Joists, Rafters

- Holes in floor, roof and ceiling members to be not larger than 1/4 the actual depth of member and not less than 2" from edges.
- Notches in floor, roof and ceiling members to be located on top of the member within 1/2 the actual depth from the edge of bearing and not greater than 1/3 the joist depth.
- Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if load bearing, and 1 9/16" if non-load bearing.
- Roof truss members shall not be notched, drilled or weakened unless accommodated in the design.

Roofing

- Fasteners for roofing shall be corrosion resistant. Roofing nails shall penetrate through or at least 1/2" into roof sheathing.
- Every asphalt shingle shall be fastened at least 4 nails for 40" wide shingle (or six 7/16" staples).
- Eave protection shall extend 36" up the roof slope from the edge and at least 12" from the inside face of the exterior wall and shall consist of Type M or Type S Roll Roofing laid with a minimum 4" head and end laps cemented together or glass Fibre or Polyester Fibre coated base sheets or self sealing composite membranes consisting of modified bituminous coated material or No. 15 saturated felt lapped and cemented. Eave protection is not required for unheated buildings, for roofs exceeding a slope of 1 in 15 or where a low slope asphalt shingle application is provided.
- Open valleys shall be flashed with 2 layers of roll roofing or 1 layer of sheet metal min. 24" wide.
- Flashing shall be provided at the intersection of shingle roofs with exterior walls and chimneys.

Insulation & Weatherproofing

- Insulation shall be protected with gypsum board or an equivalent interior finish, except for unfinished basements where 16mil poly is sufficient for fiberglass type insulations.
- Ducts passing through unheated space shall be made airtight with tape or sealant.
- Caulking shall be provided for all exterior doors and windows between the frame and the exterior cladding.
- Weatherstripping shall be provided on all doors and access hatches to the exterior, except doors from a garage to the exterior.
- Exterior walls, ceilings and floors shall be constructed so as to provide a continuous barrier to the passage of water vapour from the interior and to the leakage of air from the exterior.

Columns, Beams & Lintels

- Steel beams and columns shall be shop primed 350W steel.
- Minimum 3 1/2" end bearing for wood and steel beams with 7 1/2" solid masonry beneath the beam.
- Steel columns to have minimum outside diameter of 3 1/2" end bearing for wood and steel beams with 7 1/2" solid masonry beneath the beam.
- Steel columns to have minimum outside diameter of 2 7/8" and minimum wall thickness of 3/16".
- Wood columns for carports and garages shall be minimum 3 1/2" x 3 5/16"; in all other cases either 5 1/2" x 5 1/2" or 7 1/4" round, unless calculations based on actual loads show lesser sizes are adequate. All columns shall be not less than the width of the supported member.
- Provide solid blocking the full width of the supported member under all concentrated loads.

Doors & Windows

- Every floor level containing a bedroom and not served by an exterior door shall contain at least one window having an unobstructed open are of 3.76 s/f and no dimension less than 15", which is operable from the inside without tools. Maximum sill height 39 3/8" for finished floors above grade.
- The principal entry door shall have either a door viewer, transparent glazing or a sidelight.

Garage Gasproofing

- The walls and ceiling of an attached garage shall be constructed and sealed so as to provide an effective barrier to exhaust fumes.
- All plumbing and other penetrations through the walls and ceiling shall be caulked.
- Doors between the dwelling and attached garage may not open into a bedroom and shall be weatherstripped and have a self-closer.

Alarms and Detectors

- At least one smoke alarm shall be installed or near the ceiling on each floor and basement level 35 7/16" or more above an adjacent level.
- Smoke alarms shall be interconnected and located such that one is within 16' 4 7/8" of every bedroom door and no more than 49' 2 9/16" travel distance from any point on a floor.
- A carbon monoxide detector shall be installed adjacent to every sleeping area for dwellings with fuel burning fireplace or stove or attached garage.

Access to Attics and Crawl Spaces

- Every attic or roof space shall be provided with an access hatch where the attic or roof space,
  - measures not less than,
    - 107.64 s/f in area,
    - 39 3/8" in length or width and
    - 24" in height over at least the area described in (i) and (ii), or
  - contains a fuel-fired appliance.
- Except where an attic or roof space contains a fuel-fired appliance, the hatch required in Sentence (1) shall be not less than 21 5/8" x 35 7/16" except that where the hatch serves a house or an individual dwelling unit in a house, the hatch may be reduced to,
  - 3.45 s/f in area with no dimensions less than 21 7/16", or
  - 19 3/4" x 27 1/2".
- Hatchways to attic or roof spaces shall be fitted with doors or covers and shall be insulated to a value of not less than RSI 3.52.

Nailing for Framing Table 9.23.3.4.		
Construction Detail	Minimum Length of Nails, inches	Minimum Number or Maximum Spacing of Nails
Floor joist or blocking perpendicular to sill plate or top wall plate below - toe nail	3 1/4"	2 per floor joist or blocking
Rim joist, trimmer joist or blocking - supporting walls with required braced wall panels - to sill plate or top wall plate - toe nail	3 1/4"	6" (o.c.)
Wood or metal strapping to underside of floor joists	2 1/4"	2
Cross bridging to joists	2 1/4"	2 at each end
Double header or trimmer joists	3"	12" (o.c.)
Floor joist to stud (balloon construction)	3"	2
Ledger strip to wood beam	3 1/4"	2 per joist
Joist to joist splice (See also Table 9.23.14.8.)	3"	2 at each end
Tail joist to adjacent header joist	3 1/4"	5
(end nailed) around openings	4"	3
Each header joist to adjacent trimmer joist	3 1/4"	5
(end nailed) around openings	4"	3
Stud to wall plate (each end) toe nail	2 1/2"	4
or end nail	3 1/4"	2
Doubled studs at openings, or studs at walls or wall intersections and corners	3"	30" (o.c.)
Doubled top wall plates	3"	24" (o.c.)
Bottom wall plate or sole plate to joists, rim joists or blocking (exterior walls)	3 1/4"	16" (o.c.)
Bottom wall plate or sole plate - in required braced wall panels - to floor joists, rim joists or blocking (exterior walls)	3 1/4"	6" (o.c.)
Interior walls to framing or subflooring	3 1/4"	24" (o.c.)
Required braced wall panels - in interior walls - to framing above and below	3 1/4"	6" (o.c.)
Horizontal member over openings in non-loadbearing walls - each end	3 1/4"	2
Lintels to studs	3 1/4"	2 at each end
Ceiling joist to plate - toe nail each end	3 1/4"	2
Roof rafter, roof truss or roof joist to plate - toe nail	3 1/4"	3
Rafter plate to each ceiling joist	4"	2
Rafter to joist (with ridge supported)	3"	3
Rafter to joist (with ridge unsupported)	3"	See Table 9.23.14.8.
Gusset plate to each rafter at peak	2 1/4"	4
Rafter to ridge board - toe nail - end nail	3 1/4"	3
Collar tie to rafter - each end	3"	3
Collar tie lateral support to each collar tie	2 1/4"	2
Jack rafter to hip or valley rafter	3 1/4"	2
Roof strut to rafter	3"	3
Roof strut to loadbearing wall - toe nail	3 1/4"	2
2 in. x 6 in. or less plank decking to support	3 1/4"	2
Plank decking wider than 2 in. x 6 in. to support	3 1/4"	3
2 in. edge laid plank decking to support (toe nail)	3"	1
2 in. edge laid plank to each other	3"	18" (o.c.)
End-joist or end-rafter to built-up wall stud	3"	5 or 8

Electric Vehicle Charging Systems

- Where a house is served by a garage, carport or driveway, the following shall be installed to permit the future installation of electric vehicle supply equipment that conforms to Section 86 of the Electrical Safety Code :
  - a minimum 200 amp panelboard,
  - a conduit that is not less than 1 1/16" trade size and is equipped with a means to allow cables to be pulled into the conduit, and
  - a square 4 11/16" trade size electrical outlet box.
- The electrical outlet box described shall be installed in the garage or carport or adjacent to the driveway.
- The conduit and electrical outlet box shall provide an effective barrier against the passage of gas and exhaust fumes.
- A house need not comply where it,
  - is not connected to a distribution system or
  - is used or intended to be used as a seasonal recreational building.



CLIMATIC & DESIGN LOAD DATA	
Bracebridge, Ontario	
<b>Roof Loading</b>	
Ground Snow Load Ss	3.1 kPa (64.7 psf)
Rain Load Sr	0.4 kPa (8.4 psf)
Snow Load Factor Cb	.55
Roof Design Snow Load	2.1 kPa (43.9 psf)
Roof & Ceiling Design Dead Load	.7 kPa (15.00 psf)
<b>Floor Loading</b>	
Floor Design Live Load	1.92 kPa (40.00 psf)
Floor Design Dead Load	.72 kPa (15.00 psf)
<b>Wind Loading</b>	
1/50 Wind Pressure	0.35 kPa (7.31 psf)
1/10 Wind Pressure	0.27 kPa (5.64 psf)
<b>Temperature</b>	
Degree Days Below 18 Deg.C	4800
<b>Soil</b>	
Assumed soil bearing pressure at underside of footing(s).	75 kPa (1566 psf)
Rock	500 kPa (10 443 psf)
<b>Seismic Data</b>	
Sa(0.2)	0.200



www.duenorthdesign.ca  
jessica@duenorthdesign.ca  
705-783-7045  
5 River House Lane  
Huntsville ON  
P1H 2J3

NOTES:

- DO NOT SCALE DRAWING.
- ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
- ALL DIMENSIONS ARE TAKEN FROM BLOCK FACE, FOUNDATION FACE, STUD FACE, DECK FACE, COLUMN FACE OR COLUMN CENTERLINE.
- ALL MATERIALS AND FINISHES TO BE VERIFIED BY THE OWNER PRIOR TO CONSTRUCTION.
- ALL DRAWINGS ARE PROPERTY OF DUE NORTH DESIGN & DRAFTING INC. AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

GARAGE: 960 SQ. FT.  
CARPORT: 360 SQ. FT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS TO MEET THE REQUIREMENTS PER SUBSECTION 3.2.4. OF DIVISION C, OF THE ONTARIO BUILDING CODE.

ISSUED FOR  
PERMIT

Jessica Cohen  
DUE NORTH DESIGN & DRAFTING INC. 117244

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR CLIENT REVIEW	JAN 25, 2025
2	ISSUED FOR PERMIT	FEB 10, 2025
3	REVISED FOR PERMIT	MARCH 10, 2025

LADA	
GARAGE	
NOTES	
Address	3646 MUSKOKA RD 169 #22 MUSKOKA LAKES, ON
Project Number	25-07
Date	MARCH 10, 2025
Drawn by	KB
A0	
Scale	As indicated Rev. 3

FOR INFORMATIONAL PURPOSES ONLY

WALL SCHEDULE	
NO.	DESCRIPTION
P1	1/2" GWB 2x6 WD STUDS @ 16" O.C.
W1	8" CONC. MASONRY UNITS
W2	HORZ. WOOD SIDING AIR BARRIER 1/2" EXT. GR. OSB WALL SHEATHING 2x6 WD STUDS @ 16" O.C. R22 BATT INSUL. VAPOUR BARRIER 1/2" GWB
W3	PRE-FIN CEDAR SHAKES AIR BARRIER 1/2" EXT. GR. OSB WALL SHEATHING 2x6 WD STUDS @ 16" O.C. R22 BATT INSUL. VAPOUR BARRIER 1/2" GWB

LINTEL SCHEDULE		
NO.	DESCRIPTION	QTY
L0	LINTEL AS PER MANUFACTURER AND/OR P. ENG.	3
L1	2-2x6 SPF#1/2	10

# FOUNDATION PLAN



www.duenorthdesign.ca  
jessica@duenorthdesign.ca  
705-783-7045  
5 River House Lane  
Huntsville ON  
P1H 2J3

- NOTES:**
- DO NOT SCALE DRAWING.
  - ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
  - ALL DIMENSIONS ARE TAKEN FROM BLOCK FACE, FOUNDATION FACE, STUD FACE, DECK FACE, COLUMN FACE OR COLUMN CENTERLINE.
  - ALL MATERIALS AND FINISHES TO BE VERIFIED BY THE OWNER PRIOR TO CONSTRUCTION.
  - ALL DRAWINGS ARE PROPERTY OF DUE NORTH DESIGN & DRAFTING INC. AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

GARAGE: 960 SQ. FT.  
CARPORT: 360 SQ. FT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS TO MEET THE REQUIREMENTS PER SUBSECTION 3.2.4. OF DIVISION C, OF THE ONTARIO BUILDING CODE.

**ISSUED FOR PERMIT**

Jessica Cohen  
DUE NORTH DESIGN & DRAFTING INC. 117244

## REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR CLIENT REVIEW	JAN 25, 2025
2	ISSUED FOR PERMIT	FEB 10, 2025
3	REVISED FOR PERMIT	MARCH 10, 2025

LADA

GARAGE

FOUNDATION PLAN

Address 3646 MUSKOKA RD 169 #22  
MUSKOKA LAKES, ON

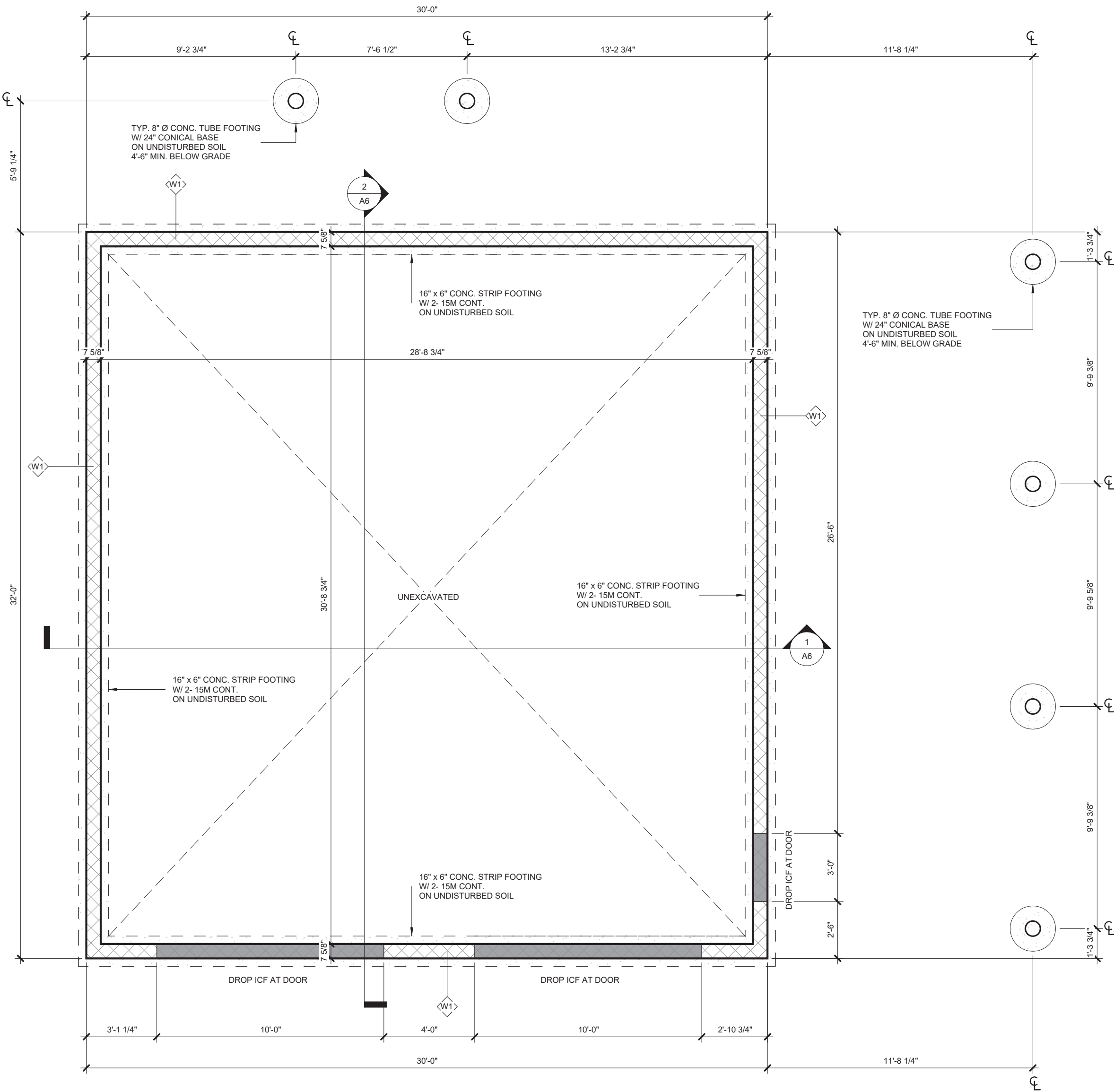
Project Number 25-07

Date MARCH 10, 2025

Drawn by KB

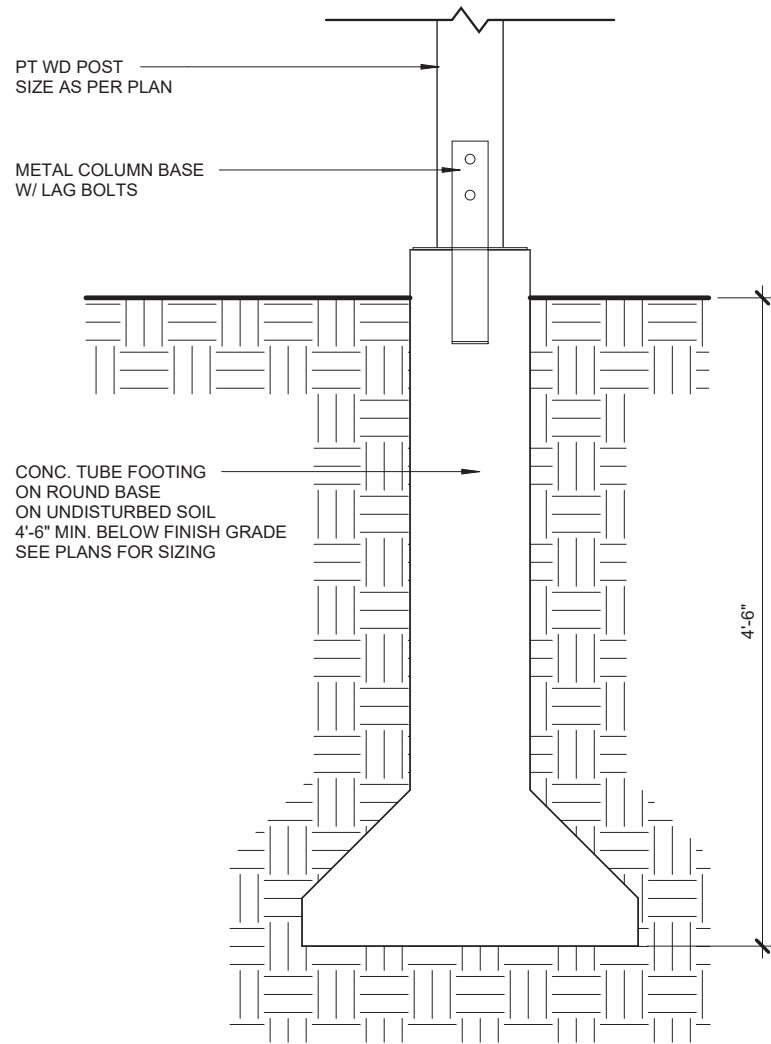
A1

Scale As indicated Rev. 3

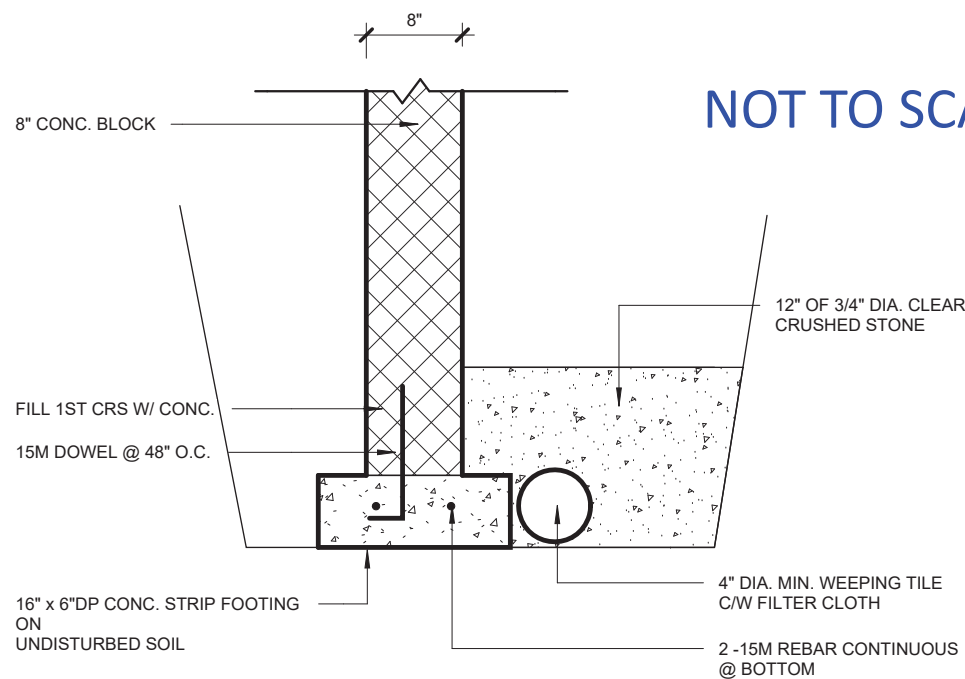


1 FOUNDATION PLAN  
1/4" = 1'-0"

## FOR INFORMATIONAL PURPOSES ONLY



3 TUBE FOOTING DETAIL  
3/4" = 1'-0"

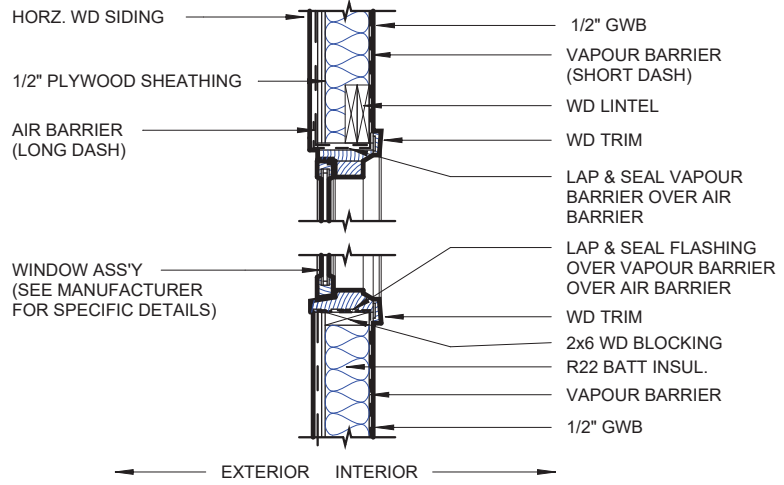


4 CMU FOOTING DETAIL  
3/4" = 1'-0"

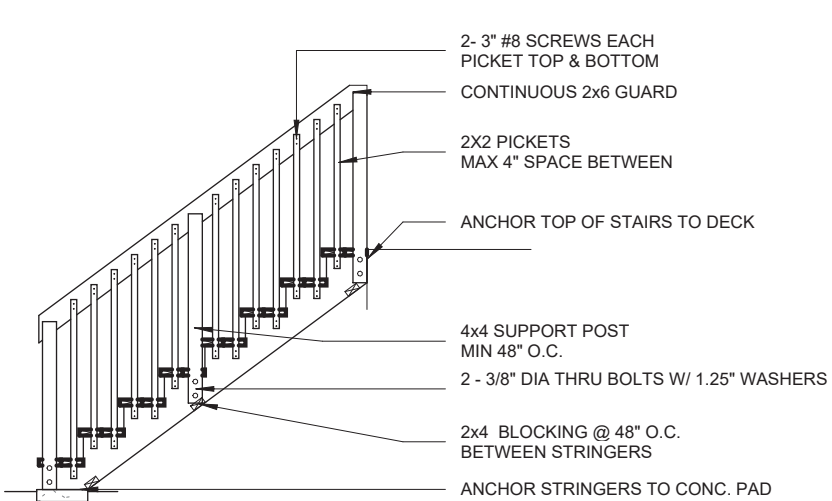
FLOOR PLANS

WALL SCHEDULE		
NO.	DESCRIPTION	
P1	1/2" GWB 2x6 WD STUDS @ 16" O.C.	
W1	8" CONC. MASONRY UNITS	
W2	HORZ. WOOD SIDING AIR BARRIER 1/2" EXT. GR. OSB WALL SHEATHING 2x6 WD STUDS @ 16" O.C. R22 BATT INSUL. VAPOUR BARRIER 1/2" GWB	
W3	PRE-FIN CEDAR SHAKES AIR BARRIER 1/2" EXT. GR. OSB WALL SHEATHING 2x6 WD STUDS @ 16" O.C. R22 BATT INSUL. VAPOUR BARRIER 1/2" GWB	

LINTEL SCHEDULE		
NO.	DESCRIPTION	QTY
L0	LINTEL AS PER MANUFACTURER AND/OR P. ENG.	3
L1	2- 2x6 SPF#1/2	10

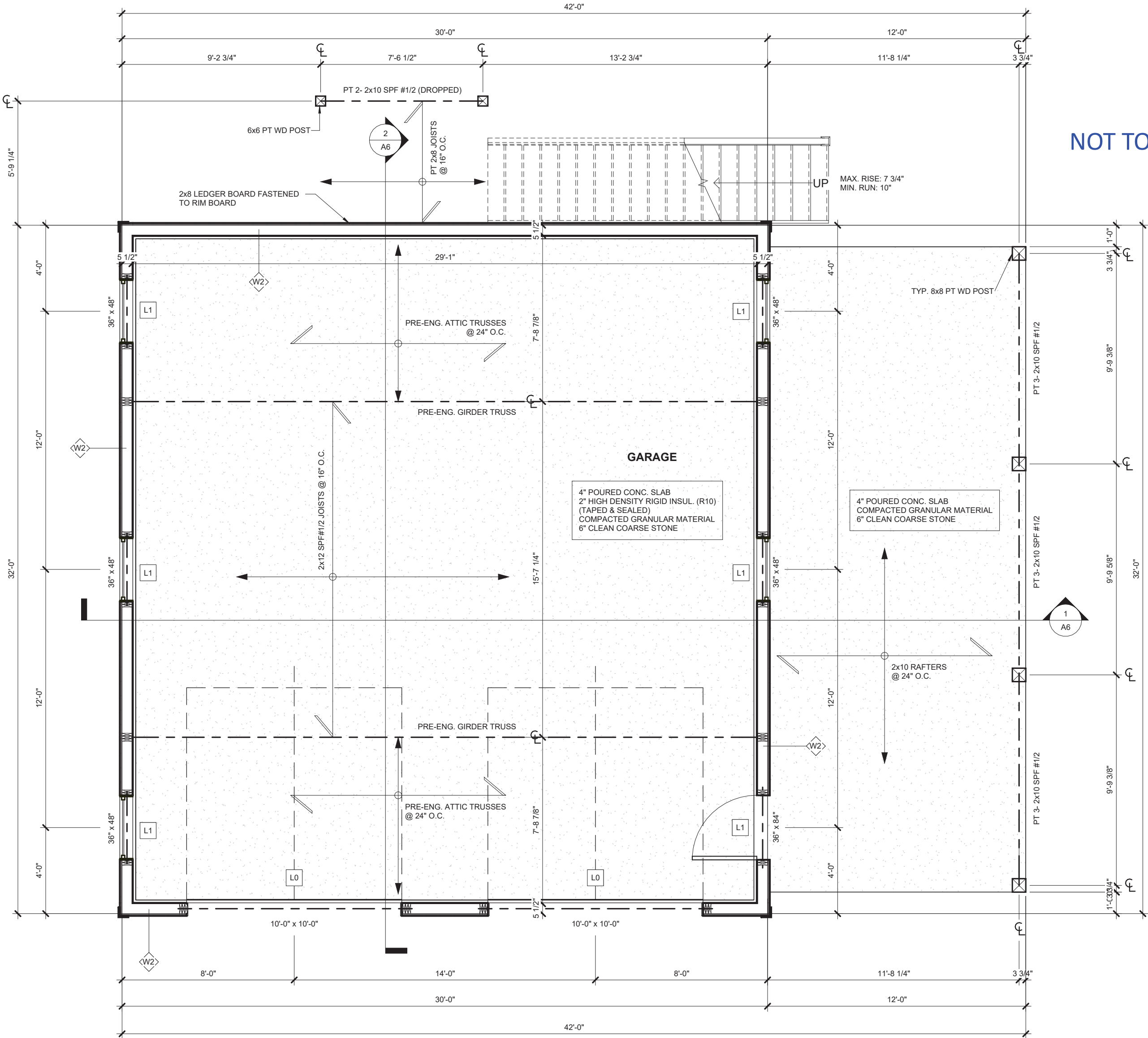


3 WINDOW SECTION  
1/2" = 1'-0"

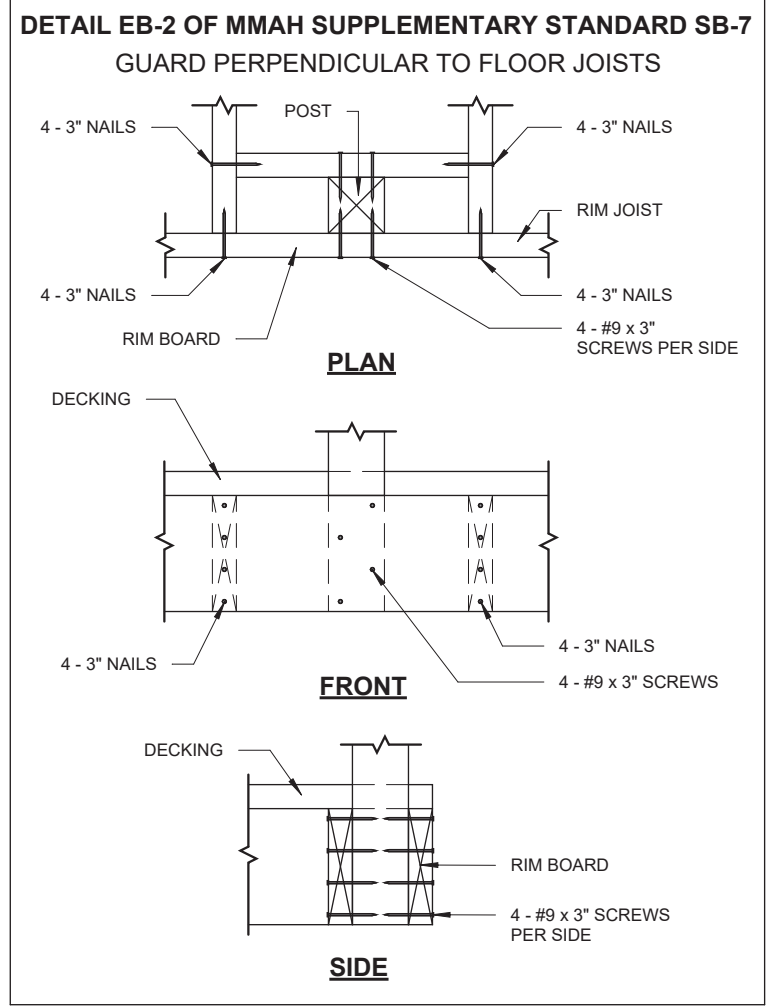
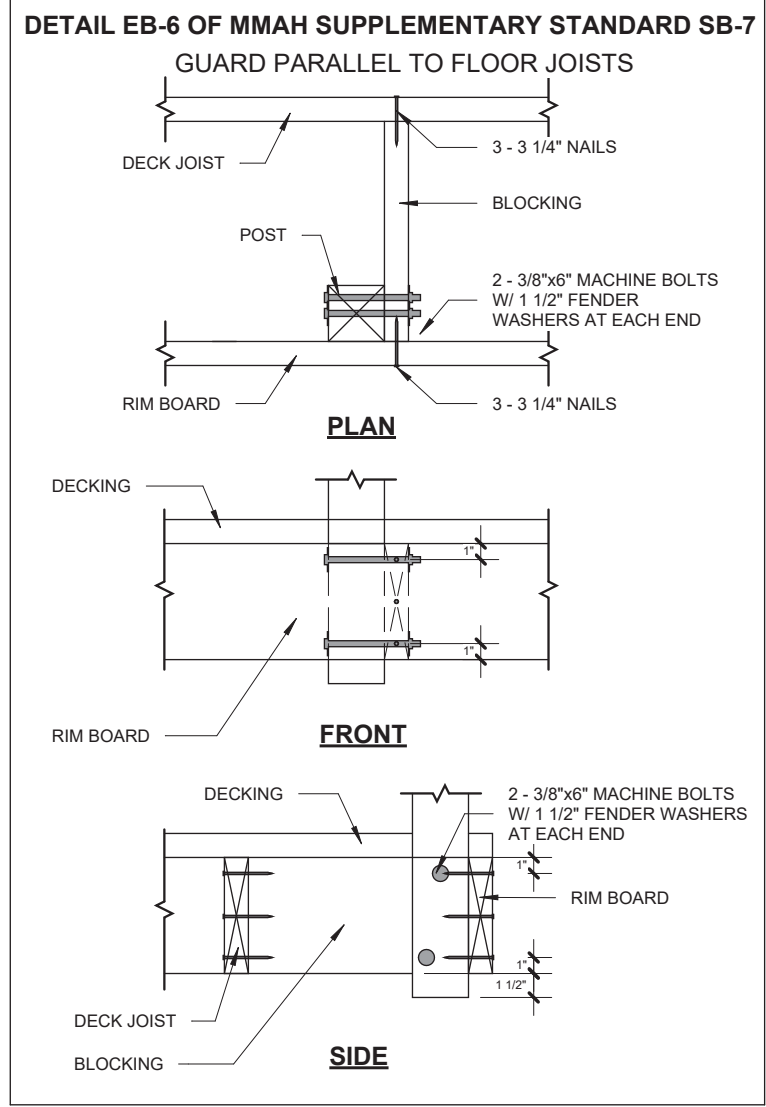


TYPICAL EXTERIOR DECK STAIR .

4 EXTERIOR STAIR DETAIL  
1/4" = 1'-0"



NOT TO SCALE



\*ALWAYS REFER TO MANUFACTURER'S SPECS FOR ADDITIONAL DETAILS

2 GUARD CONNECTION DETAILS  
1" = 1'-0"

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P1H 2J3

- NOTES:
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  - ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
  - ALL DIMENSIONS ARE TAKEN FROM BLOCK FACE, FOUNDATION FACE, STUD FACE, DECK FACE, COLUMN FACE OR COLUMN CENTERLINE.
  - ALL MATERIALS AND FINISHES TO BE VERIFIED BY THE OWNER PRIOR TO CONSTRUCTION.
  - ALL DRAWINGS ARE PROPERTY OF DUE NORTH DESIGN & DRAFTING INC. AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

GARAGE: 960 SQ. FT.  
CARPORT: 360 SQ. FT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS TO MEET THE REQUIREMENTS PER SUBSECTION 3.2.4. OF DIVISION C, OF THE ONTARIO BUILDING CODE.

ISSUED FOR PERMIT

Jessica Cohen

DUE NORTH DESIGN & DRAFTING INC. 117244

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR CLIENT REVIEW	JAN 25, 2025
2	ISSUED FOR PERMIT	FEB 10, 2025
3	REVISED FOR PERMIT	MARCH 10, 2025

LADA

GARAGE

1ST FLOOR PLAN

Address 3646 MUSKOKA RD 169 #22  
MUSKOKA LAKES, ON

Project Number 25-07

Date MARCH 10, 2025

Drawn by KB

A2

Scale As indicated Rev. 3

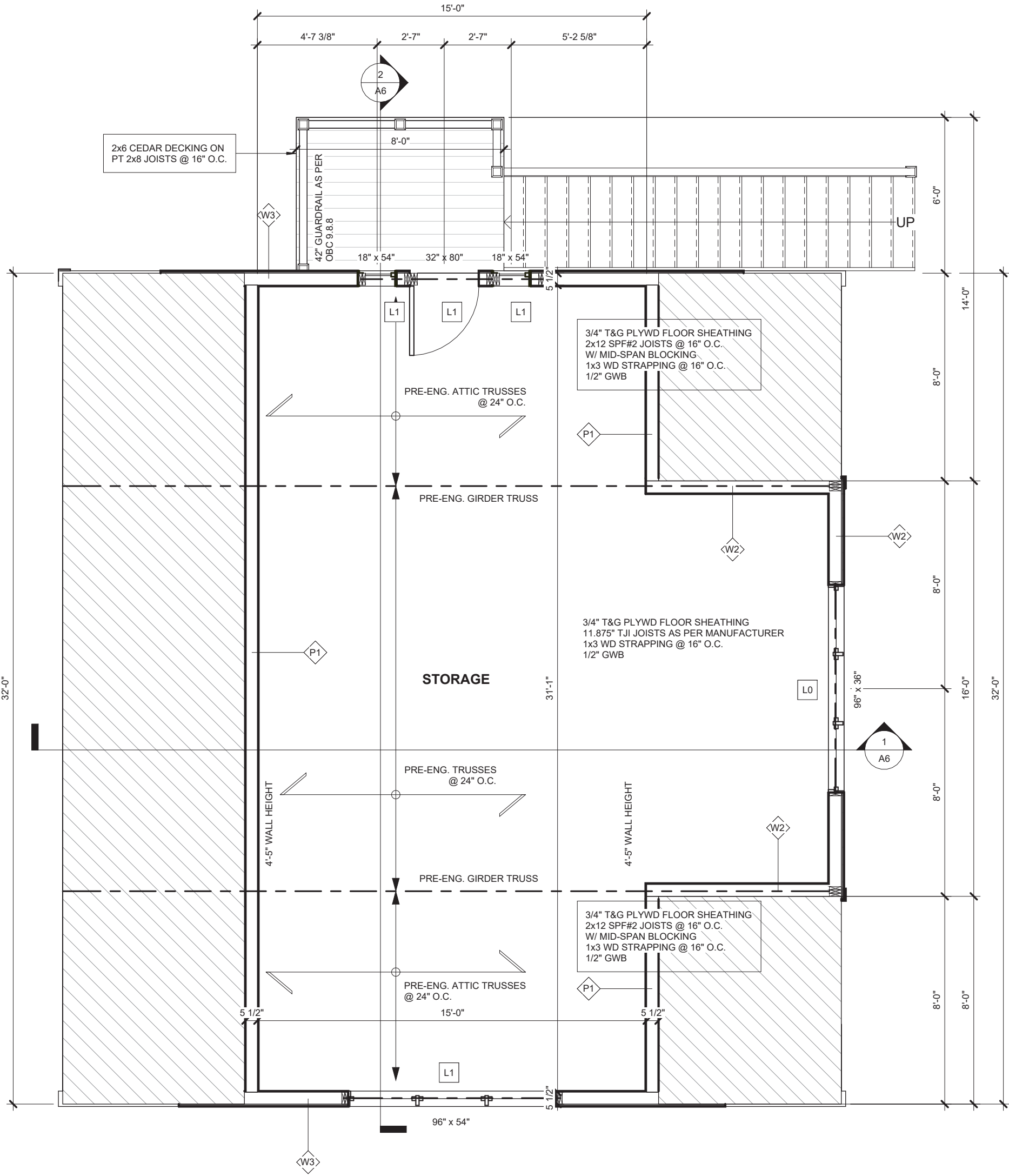
1 GARAGE SLAB  
1/4" = 1'-0"

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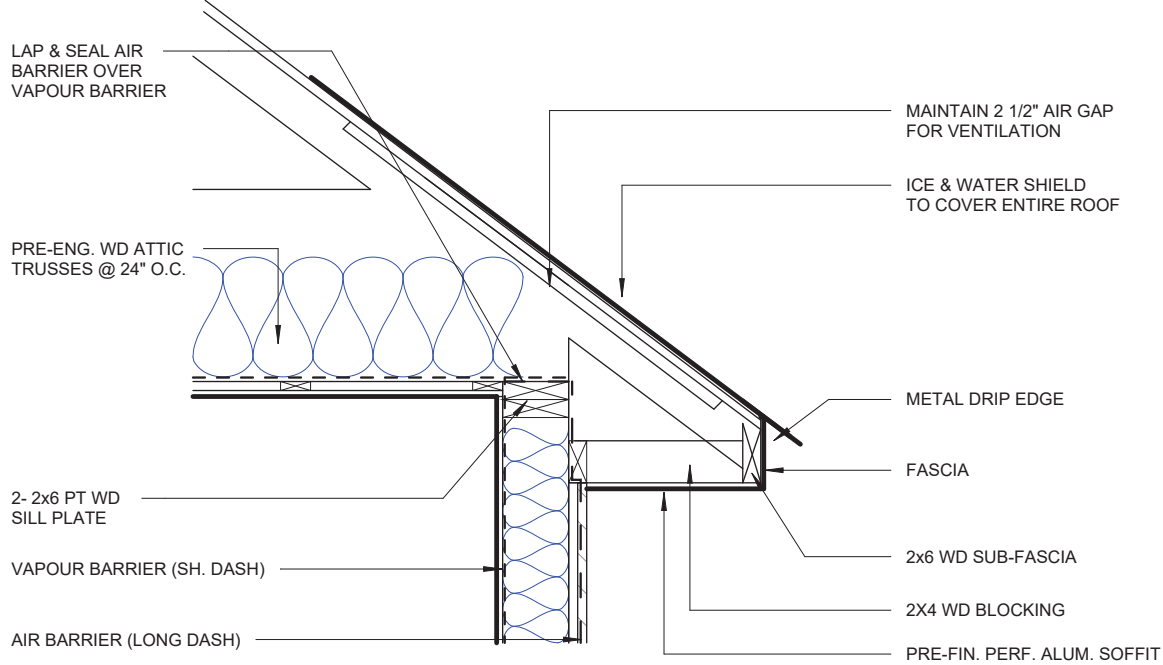
## FLOOR PLANS

WALL SCHEDULE	
NO.	DESCRIPTION
P1	1/2" GWB 2x6 WD STUDS @ 16" O.C.
W1	8" CONC. MASONRY UNITS
W2	HORZ. WOOD SIDING AIR BARRIER 1/2" EXT. GR. OSB WALL SHEATHING 2x6 WD STUDS @ 16" O.C. R22 BATT INSUL. VAPOUR BARRIER 1/2" GWB
W3	PRE-FIN CEDAR SHAKES AIR BARRIER 1/2" EXT. GR. OSB WALL SHEATHING 2x6 WD STUDS @ 16" O.C. R22 BATT INSUL. VAPOUR BARRIER 1/2" GWB

INTEL SCHEDULE		
NO.	DESCRIPTION	QTY
L0	INTEL AS PER MANUFACTURER AND/OR P. ENG.	3
L1	2- 2x6 SPF#1/2	10



1 SECOND FLOOR PLAN  
1/4" = 1'-0"



③ EAVE DETAIL -TRUSS  
3/4" = 1'-0"

NOT TO SCALE

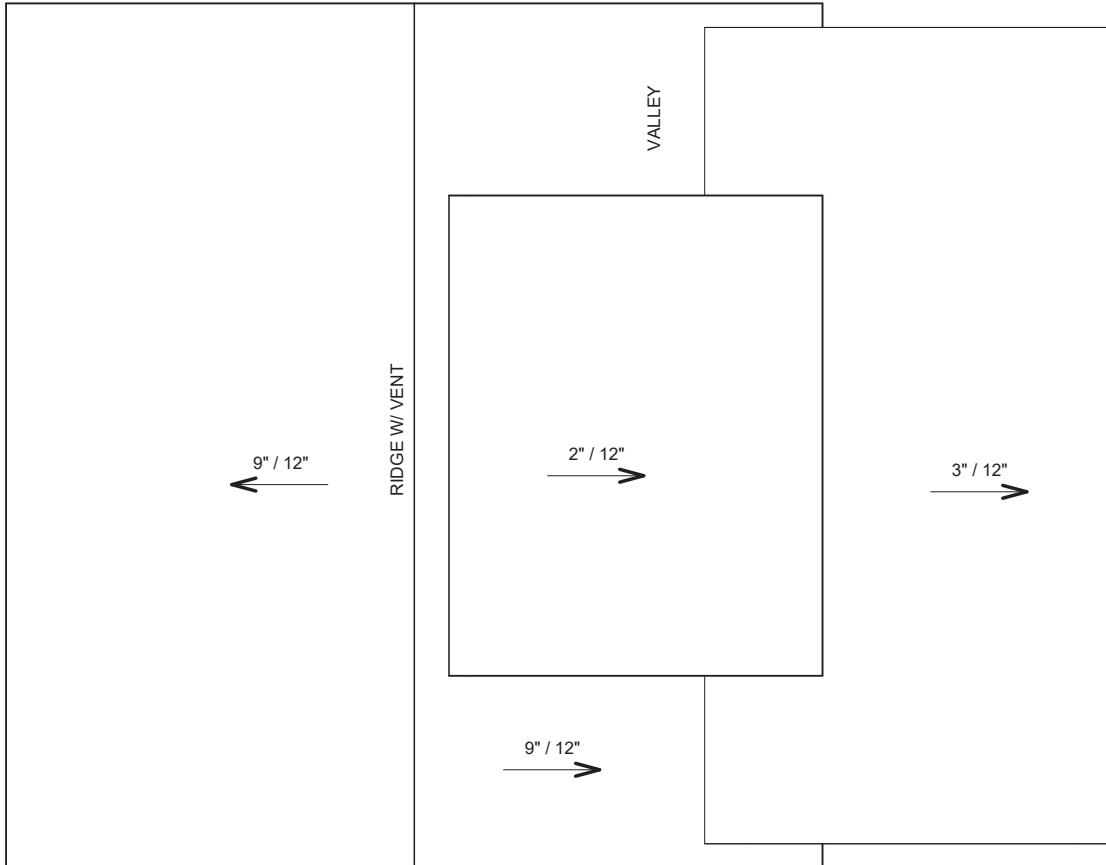
## DESIGN LOADS

DATA LOCATION: BRACEBRIDGE, ON

1. SNOW & RAIN LOADS:  
 SNOW: 3.1 kPa (64.7 PSF)  
 RAIN: 0.4 kPa (8.4 PSF)  
 COMPOSITE: 2.1 kPa (43.9 PSF)
2. HOURLY WIND PRESSURE:  
 1/10 0.27 kPa  
 1/50 0.35 kPa
3. ROOF LOADS:  
 DEAD: 0.7 kPa (15 PSF)  
 SNOW: 2.1 kPa (43.9 PSF)
4. 1ST FLOOR LOADS:  
 DEAD: 0.7 kPa (15 PSF)  
 LIVE: 1.9 kPa (40 PSF)
5. BEARING CAPACITY 75 kPa (1566.4 PSF) ASS
- NOTE: CONTRACTOR TO VERIFY BEARING CAP

NOTE: CONTRACTOR TO VERIFY BEARING CAPACITY

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② ROOF PLAN  
1/8" = 1'-0"



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**NOTES:**

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2. ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
3. ALL DIMENSIONS ARE TAKEN FROM BLOCK FACE, FOUNDATION FACE, STUD FACE, DECK FACE, COLUMN FACE OR COLUMN CENTERLINE.
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5. ALL DRAWINGS ARE PROPERTY OF DUE NORTH DESIGN & DRAFTING INC. AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

GARAGE: 960 SQ. FT.  
CARPORT: 360 SQ. FT.

THE UNDERSIGNED HAS REVIEWED AND  
TAKES RESPONSIBILITY FOR THE DESIGN, AND  
HAS THE QUALIFICATIONS TO MEET THE  
REQUIREMENTS PER SUBSECTION 3.2.4. OF  
DIVISION C, OF THE ONTARIO BUILDING CODE.

**ISSUED FOR  
PERMIT**

Jessica Coker  
NORTH DESIGN & DRAFTING INC. 117244

[illegible]

LADA

GARAGE

## 2ND FLOOR PLAN

Address 3646 MUSKOKA RD 169 #22  
MUSKOKA LAKES, ON

Project Number 25-07

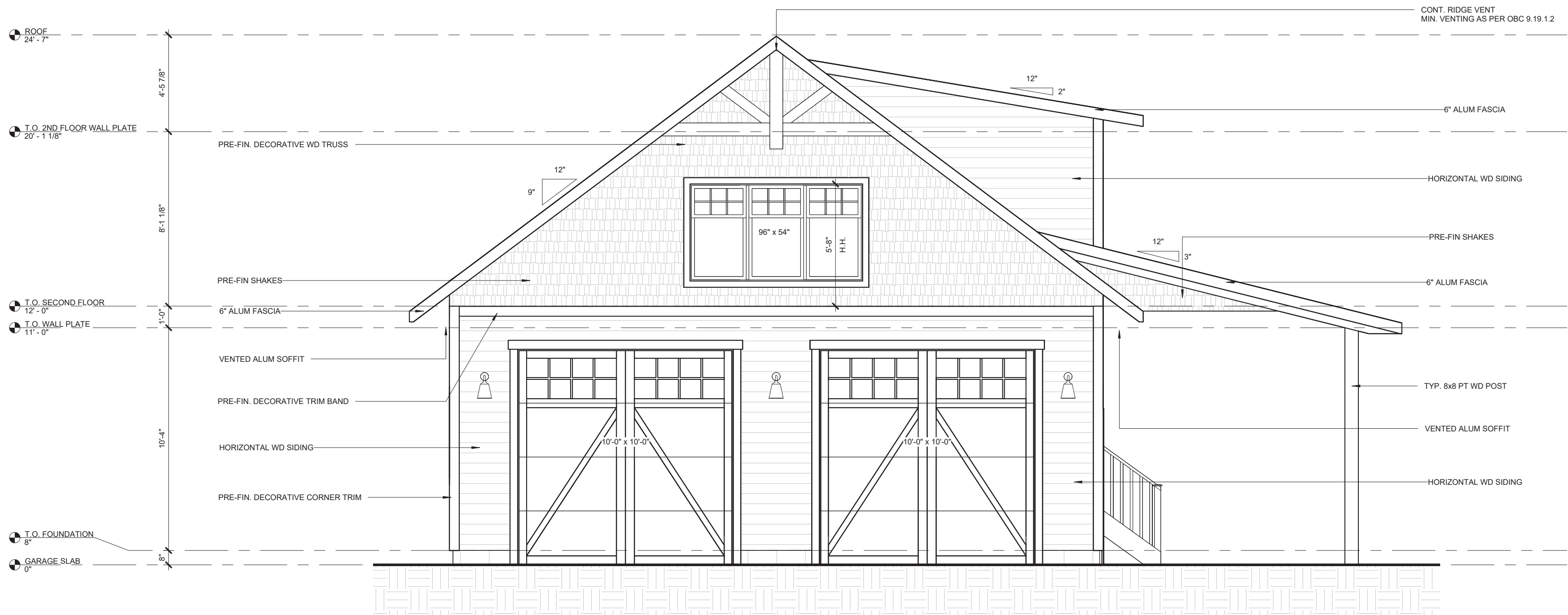
Date MARCH 10, 2025

Drawn by KB

# A3

Scale	As indicated	Rev. 3
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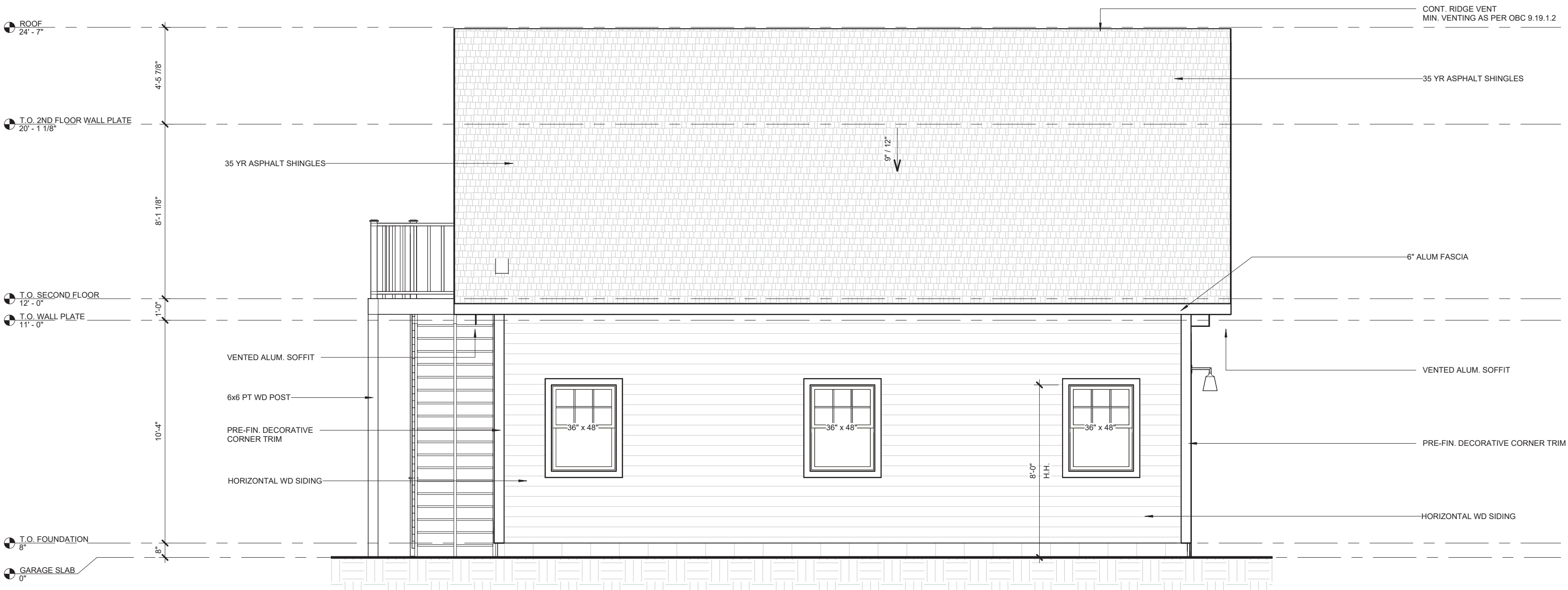
# ELEVATIONS



1 FRONT ELEVATION  
1/4" = 1'-0"

NOT TO SCALE

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2 LEFT ELEVATION  
1/4" = 1'-0"



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GARAGE: 960 SQ. FT.  
CARPORT: 360 SQ. FT.

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**ISSUED FOR  
PERMIT**

*Jessica Cohen*

DUE NORTH DESIGN & DRAFTING INC. 117244

## REVISIONS

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LADA

GARAGE

ELEVATIONS

Address 3646 MUSKOKA RD 169 #22  
MUSKOKA LAKES, ON

Project Number 25-07

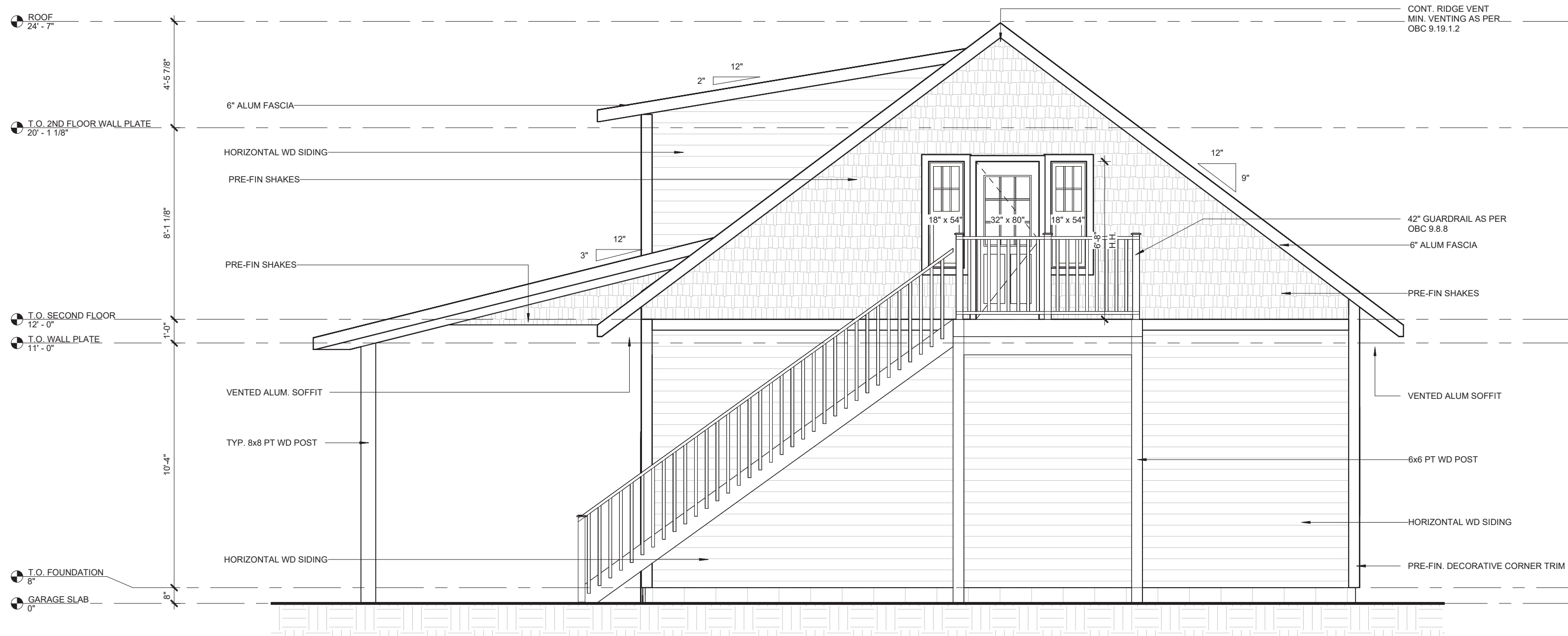
Date MARCH 10, 2025

Drawn by KB

**A4**

Scale 1/4" = 1'-0" Rev. 3

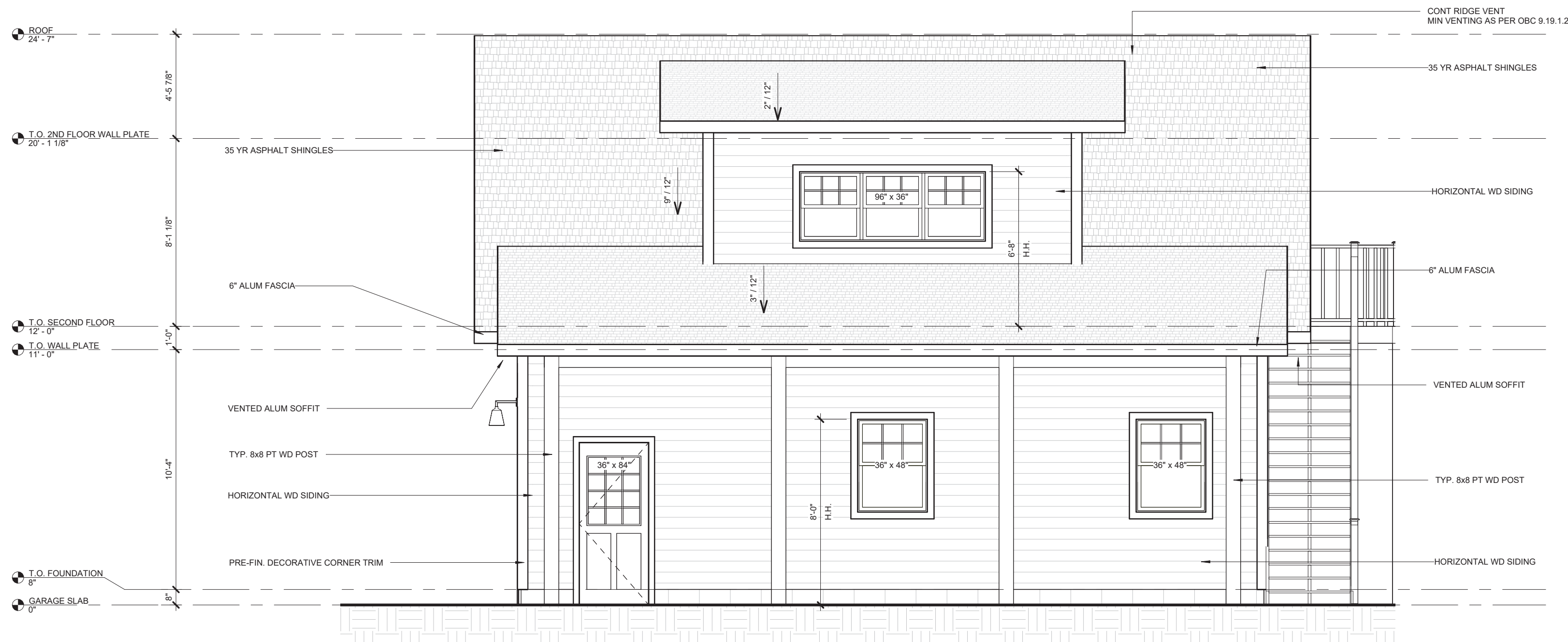
# ELEVATIONS



1 REAR ELEVATION  
1/4" = 1'-0"

NOT TO SCALE

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2 RIGHT ELEVATION  
1/4" = 1'-0"



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GARAGE: 960 SQ. FT.  
CARPORT: 360 SQ. FT.

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Jessica Cohen  
DUE NORTH DESIGN & DRAFTING INC. 117244

## REVISIONS

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2	ISSUED FOR PERMIT	FEB 10, 2025
3	REVISED FOR PERMIT	MARCH 10, 2025

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GARAGE

ELEVATIONS

Address 3646 MUSKOKA RD 169 #22  
MUSKOKA LAKES, ON

Project Number 25-07

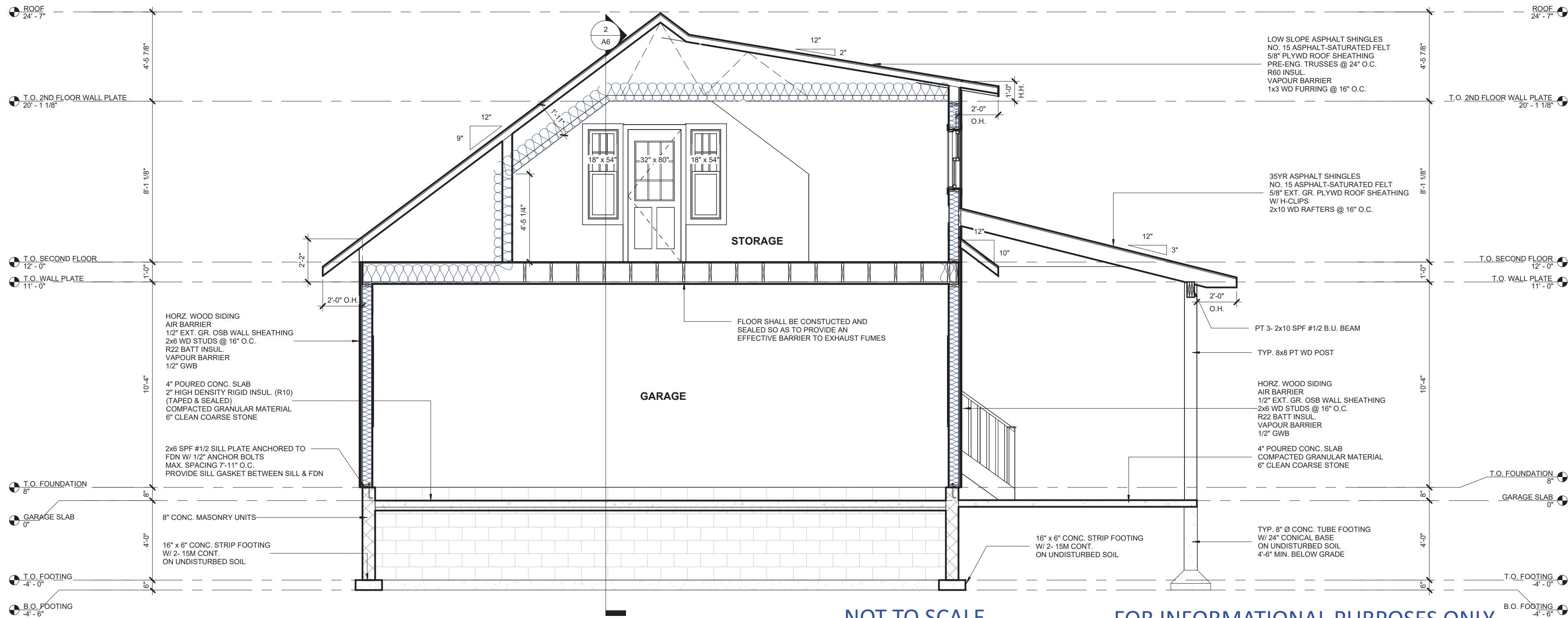
Date MARCH 10, 2025

Drawn by KB

A5

Scale 1/4" = 1'-0" Rev. 3

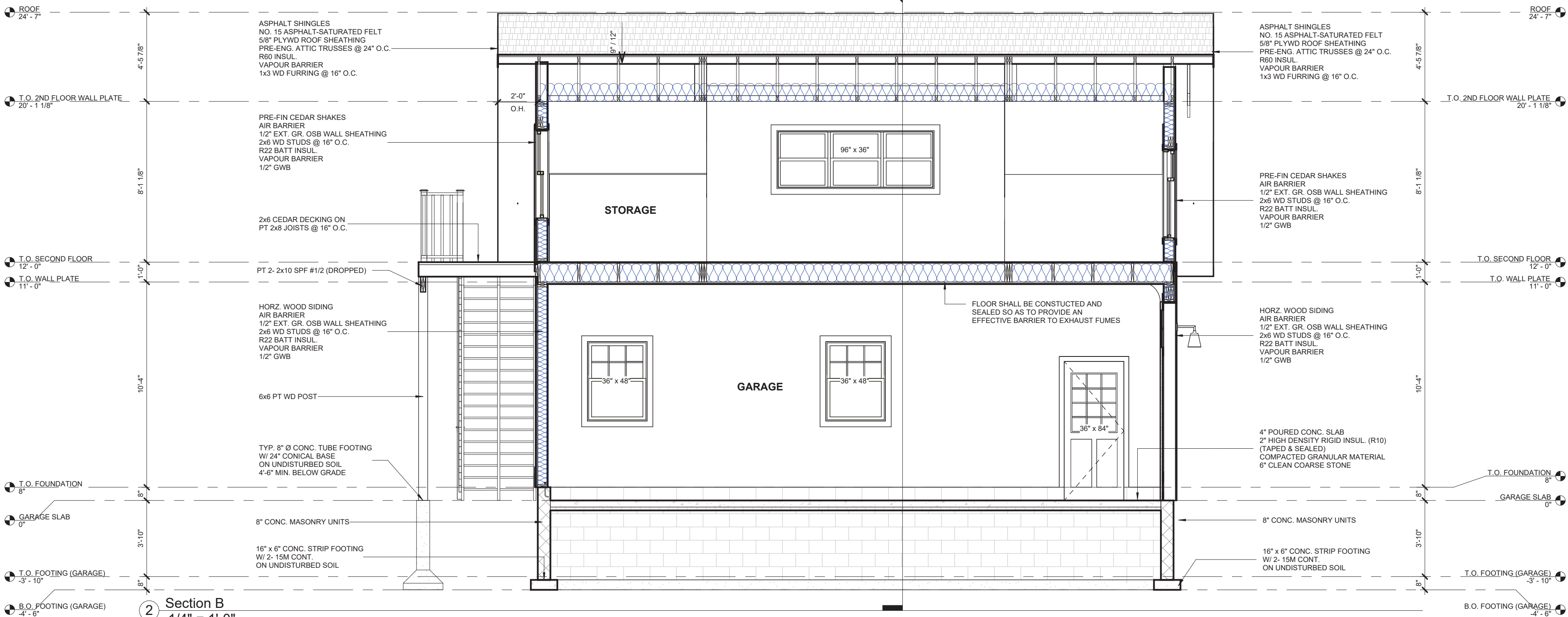
# ELEVATIONS



1 Section A  
1/4" = 1'-0"

NOT TO SCALE

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2 Section B  
1/4" = 1'-0"



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CARPORT: 360 SQ. FT.

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**ISSUED FOR PERMIT**

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## REVISIONS

NO.	DESCRIPTION	DATE
2	ISSUED FOR PERMIT	FEB 10, 2025
3	REVISED FOR PERMIT	MARCH 10, 2025

LADA

GARAGE

## CROSS SECTIONS

Address 3646 MUSKOKA RD 169 #22  
MUSKOKA LAKES, ON

Project Number 25-07

Date MARCH 10, 2025

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A6

Scale 1/4" = 1'-0" Rev. 3