

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-25/25

Roll No.: 6-4-024

Owners:	Mark & Petra Rinas and Karl & Ruth Niemann, 100 Lakeshore Road East, Apartment 909, Oakville, ON, L6J 6M9		
Address & Description:	1057 Whittings Road, Unit #23 Part of Lot 25, Concession 6, Parts 38 to 40, Plan 35R-24395, (Wood)		
Zoning:	Waterfront Residential (WR5)	Lake Muskoka (Category 1)	Schedule: 48
Hearing Date: Monday, June 9th, 2025 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notice/> or scan the QR code.



Explanation of the Purpose and Effect:

The applicants propose to demolish an existing dock and single-storey boathouse (attached to a land-based dwelling) and propose to construct a new swim dock and single-storey boathouse connected to the dwelling. Both the existing and proposed boathouses incorporate a rooftop sundeck design. No changes are proposed to the existing dwelling. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.7 & 4.1.7.11 c.	Minimum Easterly Side Yard Setback (Single Storey Boathouse with a Rooftop Sundeck)	30 ft.	10 ft.	20 ft.	Demolish an Existing Single Storey Boathouse (With a Rooftop Sundeck) and Construct a New Single Storey Boathouse (With a Rooftop Sundeck)
B	4.1.7 & 4.1.7.11 b.	Minimum Easterly Side Yard Setback (Dock)	15 ft.	10 ft.	5 ft.	Demolish an Existing Dock and Construct a New Dock

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: June 4, 2025. **Please note that comments can still be submitted after the agenda has been published.**

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

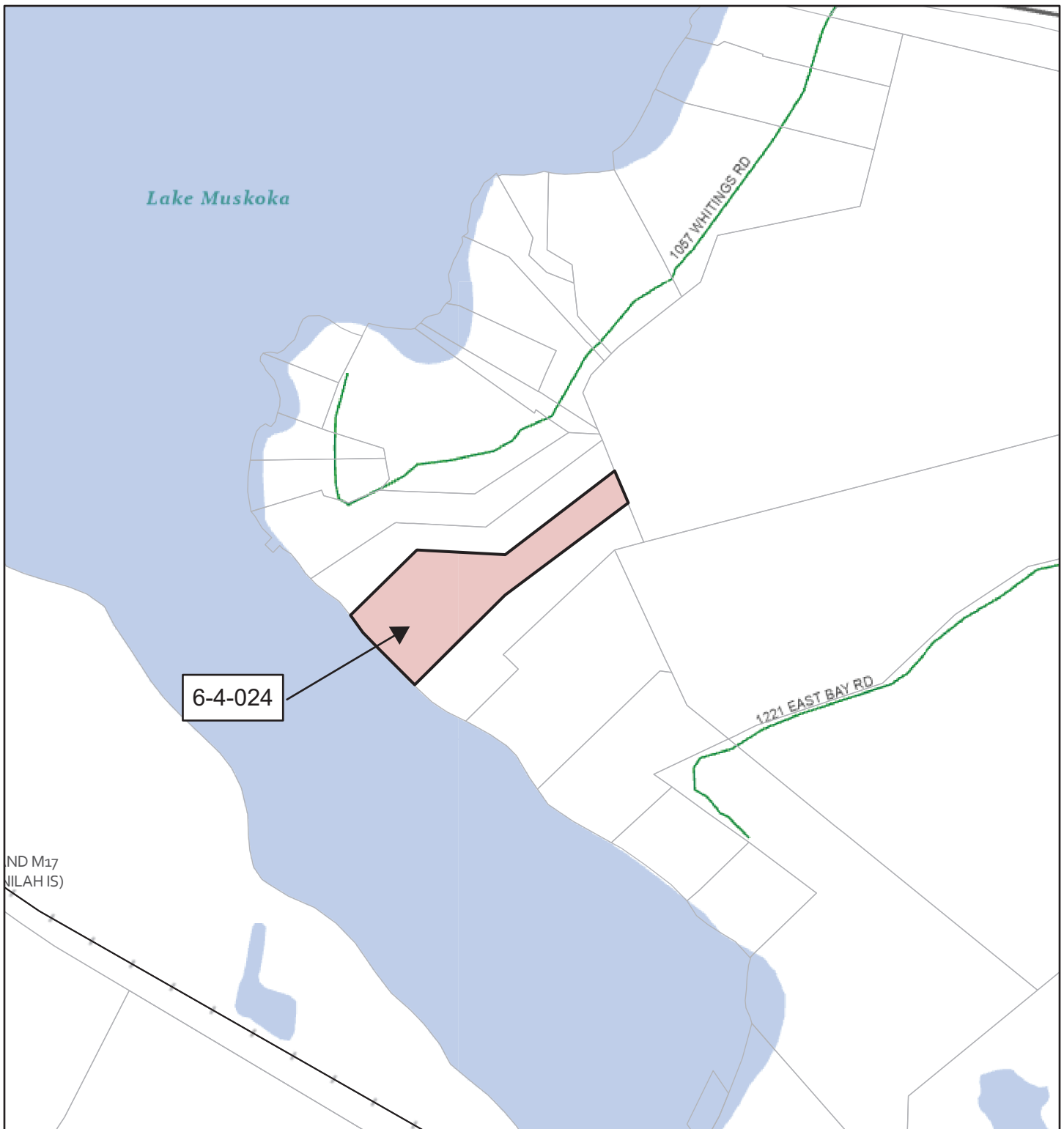
PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 16th day of May, 2025.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca

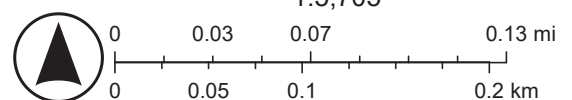


Key Map, A-25/25 (RINAS & NIERMANN)



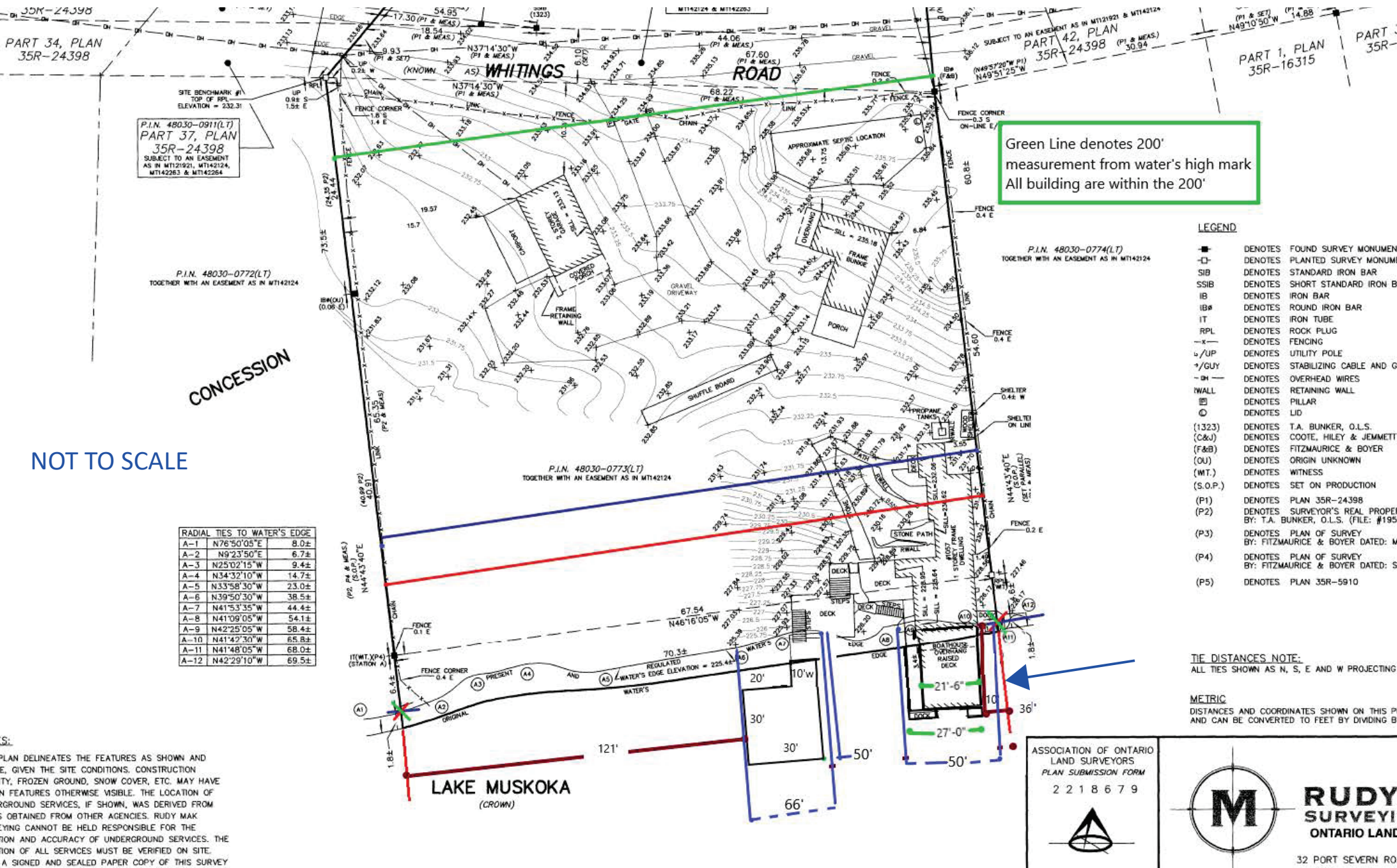
3/31/2025, 10:23:54 AM

- Parcel: Assessment
- District Municipality
- Area Municipality
- Geographic Township
- Road Network
- Township
- Private
- Waterbody
- Major Lake
- Canada_Hillshade
- World_Hillshade

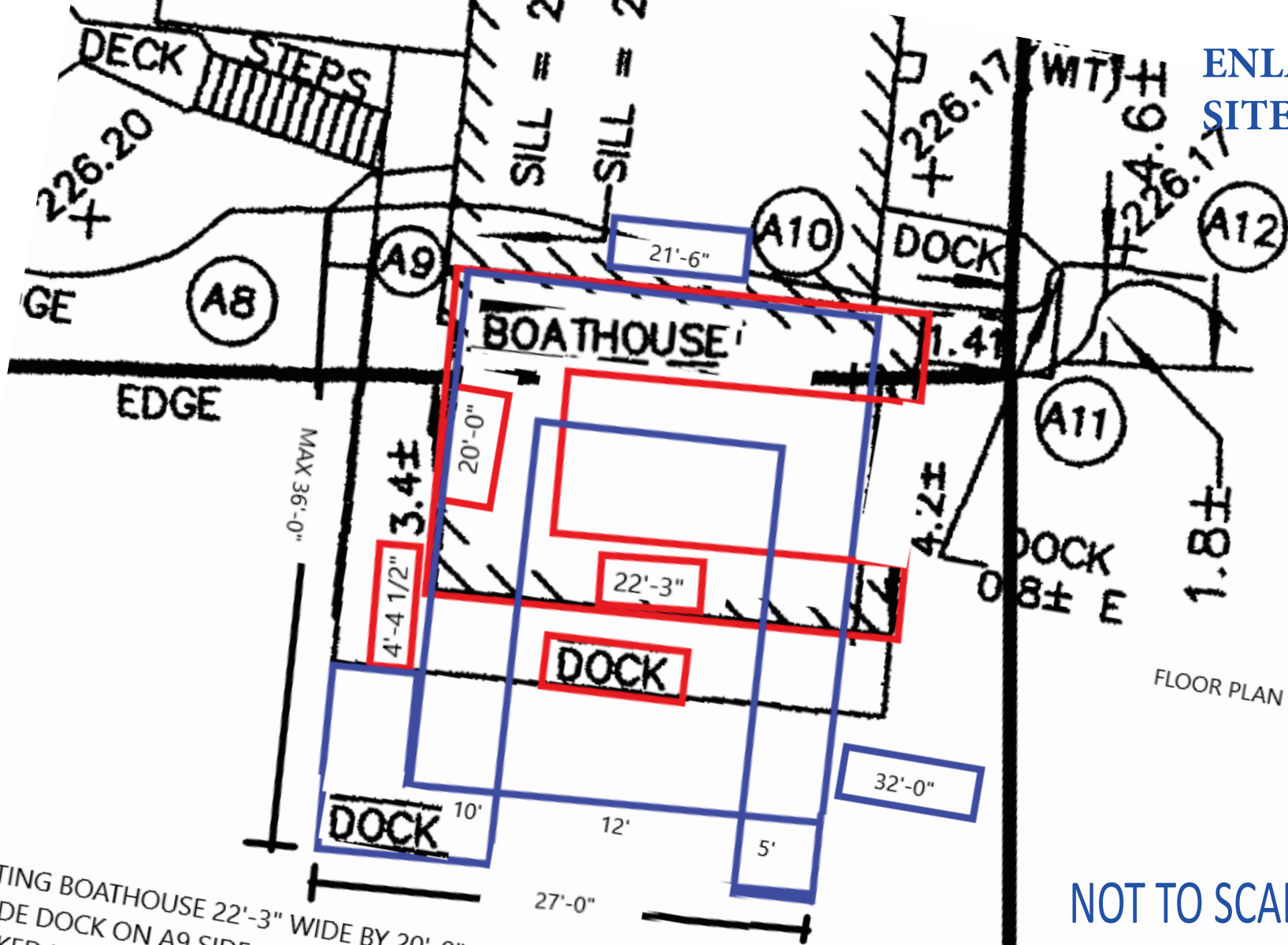


Sources: NRCan, Esri, Canada, and Canadian Community Maps contributors., Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community

NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.



ENLARGED SITE PLAN



FLOOR PLAN

NOT TO SCALE

EXISTING BOATHOUSE 22'-3" WIDE BY 20'-0" LONG MEASURED FROM WALL TO WALL. WIDE DOCK ON A9 SIDE AND 4'-4 1/2" DOCK ON WATER SIDE WHERE DOCK IS CHECKED IN RED WRITING.

PROPOSED BOATHOUSE TO BE 21'-6" WIDE BY 32'-0" LONG MEASURED FROM WALL TO WALL. 5' WIDE DOCK TO REMAIN ON A9 SIDE AND 2' DOCK ACROSS THE WATER. MAXIMUM LENGTH OF BOATHOUSE FROM SHORELINE INCLUDING DOCK TO BE DEPENDING ON WATER'S EDGE.

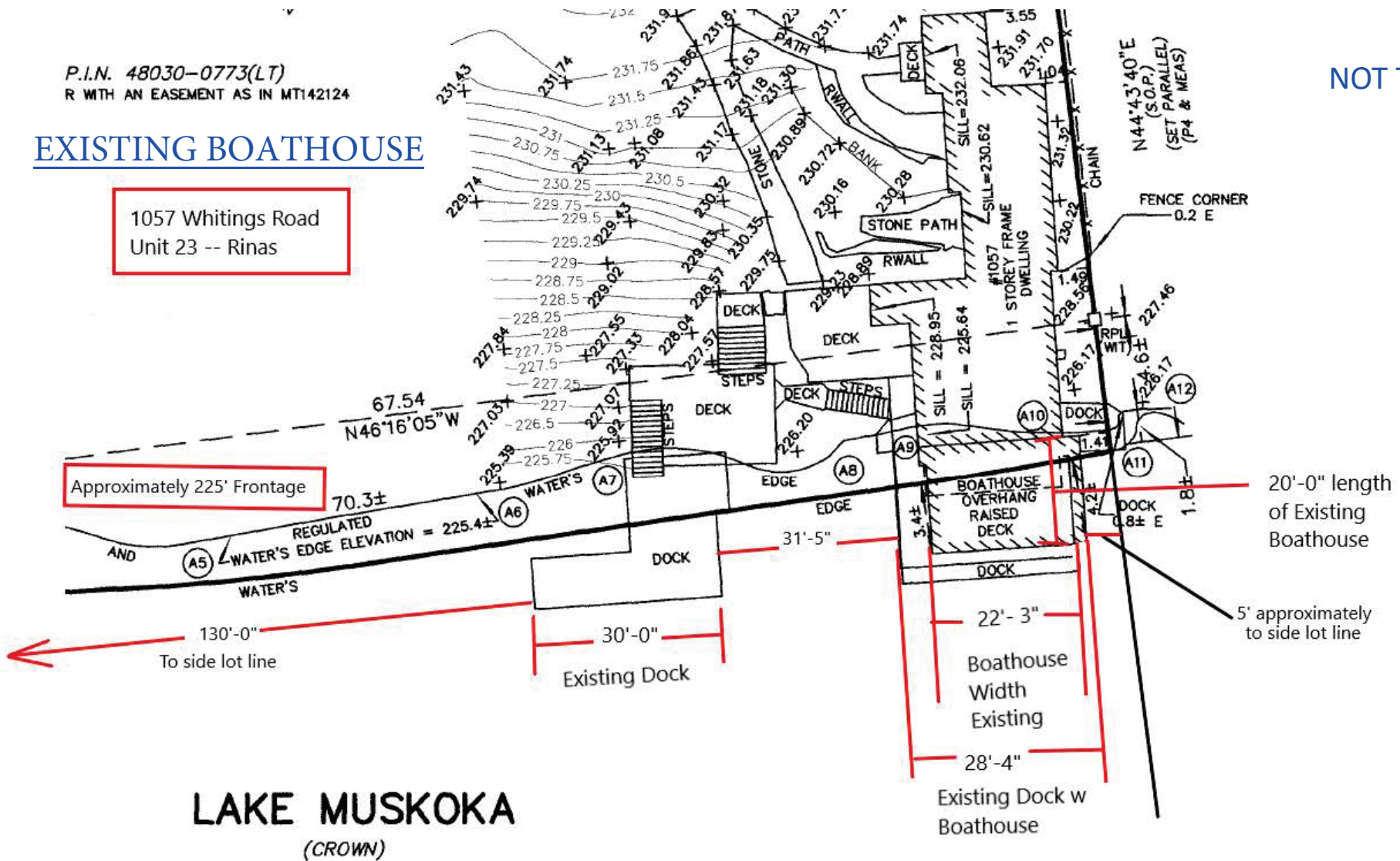
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P.I.N. 48030-0773(LT)
R WITH AN EASEMENT AS IN MT142124

EXISTING BOATHOUSE

1057 Whittings Road
Unit 23 -- Rinas

NOT TO SCALE



ELEVATIONS

NOT TO SCALE

Existing - Rinas

Top of dock to top of roof top deck 8'-10"

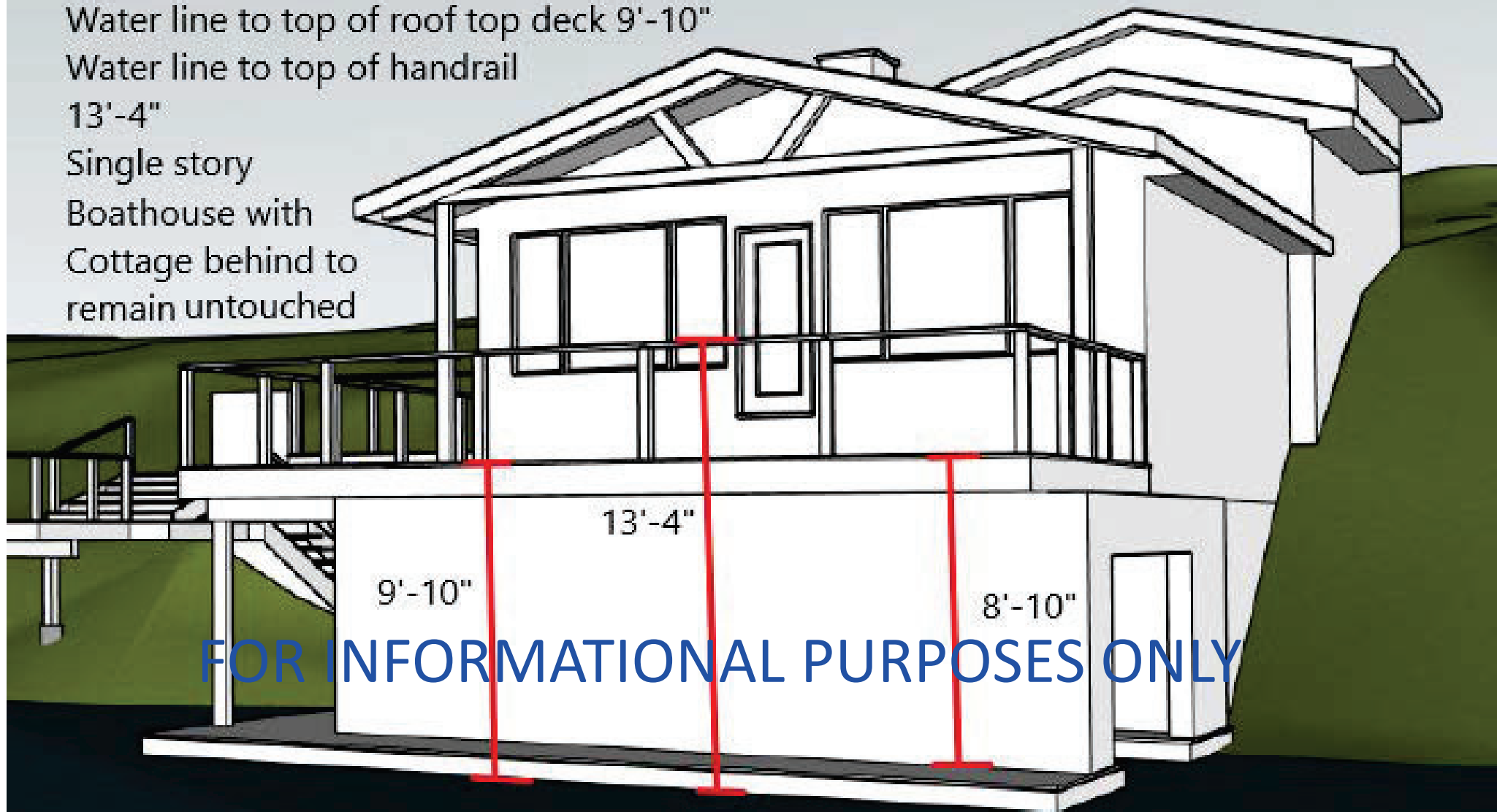
Water line to top of roof top deck 9'-10"

Water line to top of handrail

13'-4"

Single story

Boathouse with
Cottage behind to
remain untouched



FOR INFORMATIONAL PURPOSES ONLY

Proposed Single Story Boathouse

Top of Dock to top of Rooftop deck 10'- 2 1/2"

Water height to top of Rooftop deck 11'-8 1/2"

Water height to top of guardrail 15'- 2 1/2"

Cottage behind to remain the same size, height and location.

NOT TO SCALE

Increase to allow for taller overhead door and account for structural steel pile dock design.

