

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-67/25

Roll No.: 6-1-081-01

Owner:	Stewart Brown, Suite 114 – 115 Elk Run Boulevard, Canmore, Alberta, T1W 1G8		
Address & Description:	1206 Ashforth Drive Part of Lot 25, Concession 3, Part of Lot 26, Plan M-298, Part 1, Plan 35R-6724, (Wood)		
Zoning:	Waterfront Residential (WR6-7 & WR6-7R)	Lake Muskoka (Category 1)	Schedule: 42
Hearing Date: Monday, December, 8th, 2025 at 9:00 a.m.			



Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.

Explanation of the Purpose and Effect:

The applicant proposes to reconstruct a sundeck associated with a dwelling that will incorporate an over width set of stairs and an oversized landing. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3	Minimum Front Yard Setback (Stairs)	66 ft.	22 ft.	44 ft.	Construct a Set of Stairs >6 ft. in Width
B		Minimum Front Yard Setback (Landing)		23 ft.	43 ft.	Construct a Landing >50 sq. ft.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: December 3, 2025.

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies, a “specified person” (as defined by the Planning Act 1(1)), and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

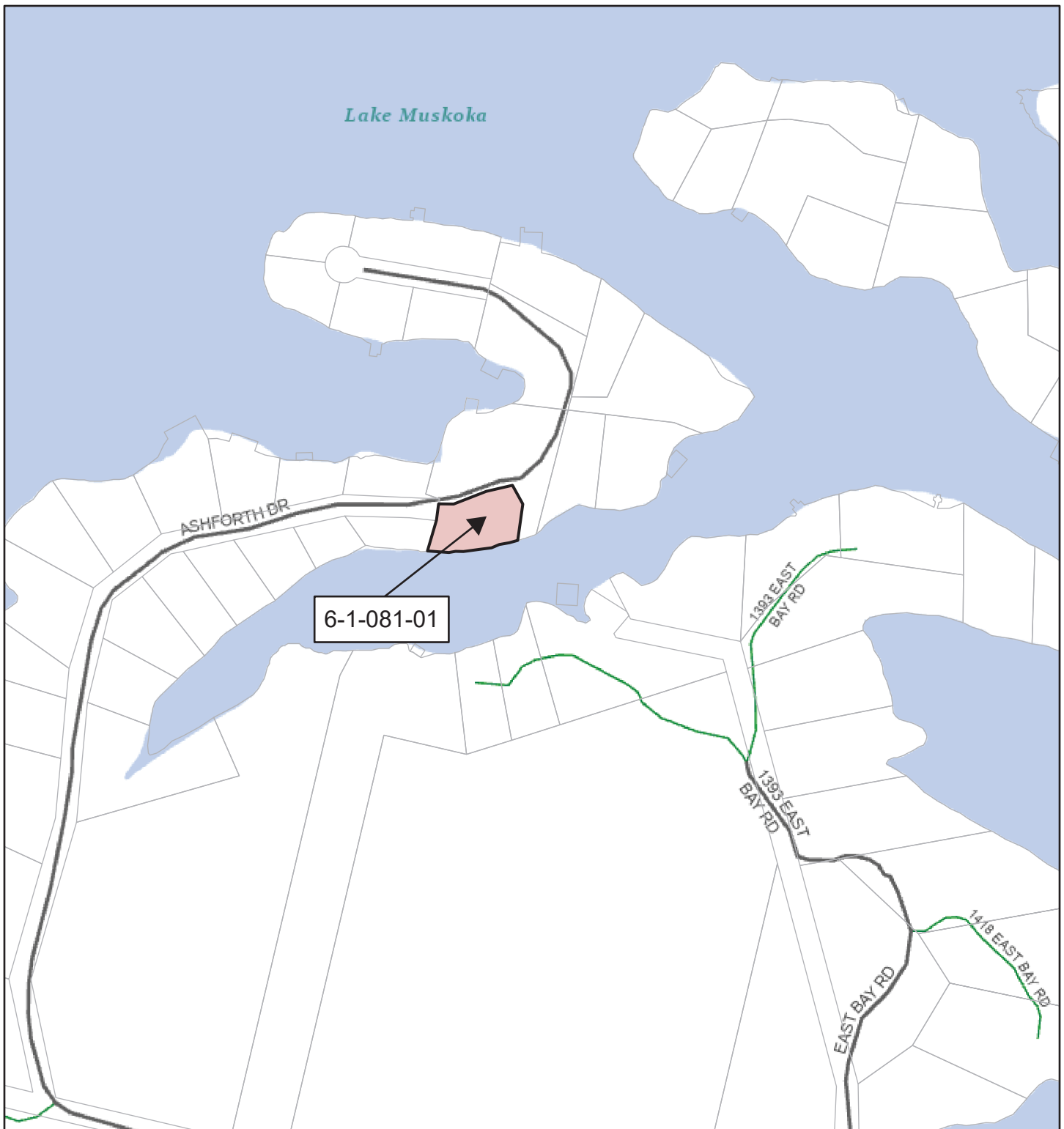
PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 20th day of November, 2025.












Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca

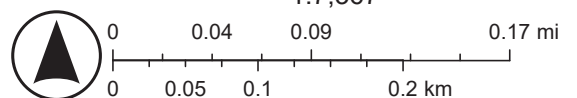


KEY MAP, A-67/25 (BROWN)



NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

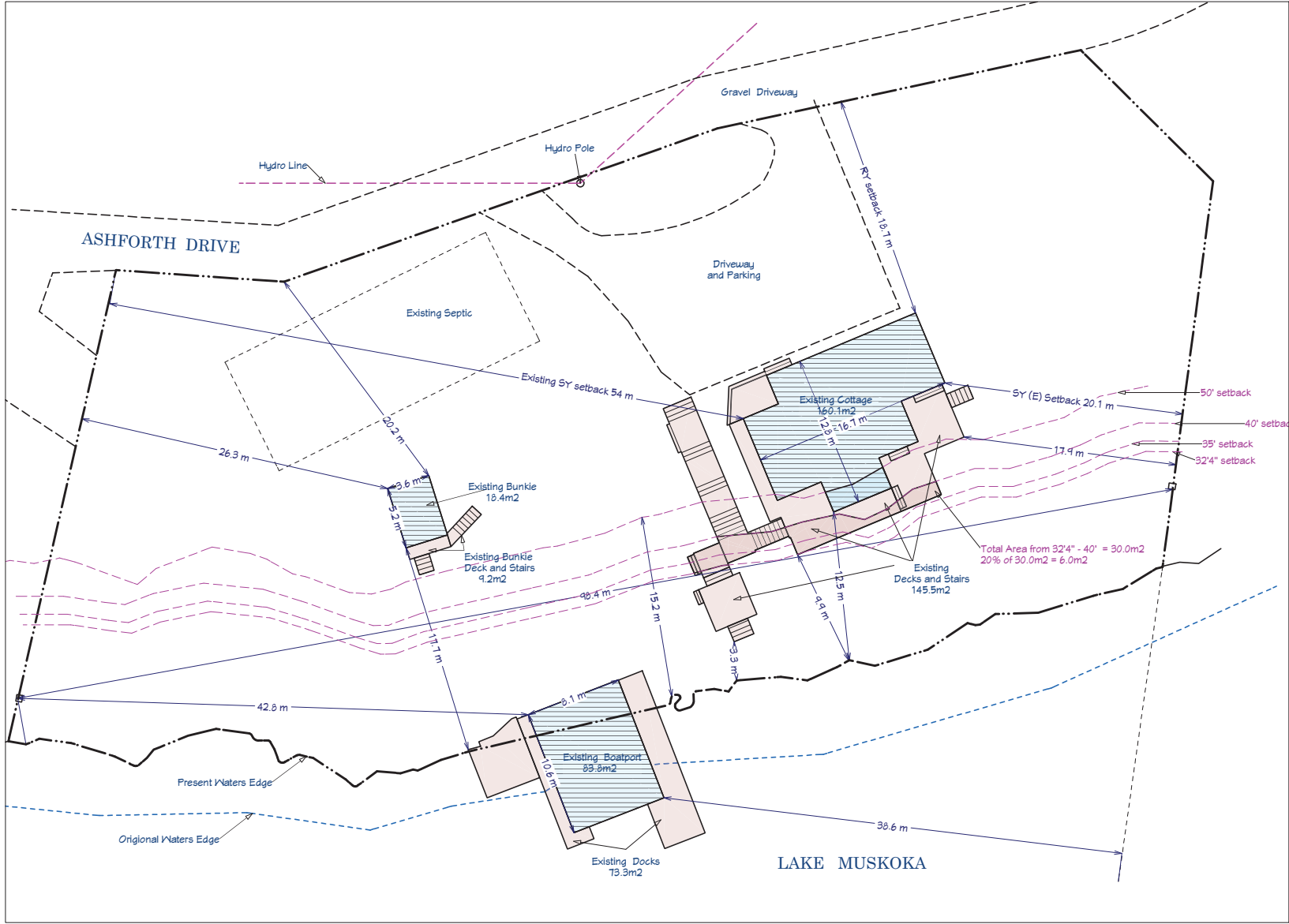
-  Parcel: Assessment
-  District Municipality
-  Area Municipality
-  Geographic Township
-  Road Network
-  Township
-  Private
-  Waterbody
-  Major Lake
-  Canada_Hillshade
-  World_Hillshade



Esri, NASA, NGA, USGS, FEMA, Sources: NRCan, Esri Canada, and Canadian Community Maps contributors.



SITE PLAN - EXISTING



Existing

NOT TO SCALE



Design By Bobbi

CONTACT INFORMATION:

Name: Bobbi Leppington
Phone: 705-321-8916
Email: designbybobby@gmail.com
Location: 190 Taylor Road
Bracebridge On.
P1L 1J9

GENERAL NOTE:

THESE DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS MUST BE VERIFIED BY
CONTRACTOR PRIOR TO COMMENCEMENT
OF ANY WORK. ANY DISCREPANCIES MUST
BE REPORTED DIRECTLY TO THE DESIGNER.

PROJECT INFORMATION:

Scott Brown
1206 Ashforth Drive
Torrence On.
Muskoka Lakes

THE UNDERSIGNED HAS REVIEWED AND TAKES
RESPONSIBILITY FOR THIS DESIGN, AND HAS THE
QUALIFICATIONS AND MEETS THE
REQUIREMENTS SET OUT IN THE ONTARIO
BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

18465 **B. Leppington**
BCIN SIGNATURE
REGISTRATION INFORMATION:
103806 **Design by Bobbi**
BCIN FIRM NAME

REVISIONS

NUM	DATE	REVISED BY	DESCRIPTION
01	25.11.18	SLR	FOR PLANNING
02			
03			
04			

DRAWN BY:

STEVE ROSSITER

SCALE:

1 : 500

DRAWING:

SITE PLAN

PROJECT NUMBER:
2025-029

SHEET NUMBER:
SP 1.0



SITE PLAN - PROPOSED



Design By Bobbi

CONTACT INFORMATION:

Name: Bobbi Leppington
Phone: 705-321-8916
Email: designbybobbi@gmail.com

Location: 190 Taylor Road
Bracebridge On.
P1L 1J9

GENERAL NOTE:

THESE DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS MUST BE VERIFIED BY
CONTRACTOR PRIOR TO COMMENCEMENT
OF ANY WORK. ANY DISCREPANCIES MUST
BE REPORTED DIRECTLY TO THE DESIGNER.

PROJECT INFORMATION:

Scott Brown
1206 Ashforth Drive
Torrence On.
Muskoka Lakes

THE UNDERSIGNED HAS REVIEWED AND TAKES
RESPONSIBILITY FOR THIS DESIGN, AND HAS THE
QUALIFICATIONS AND MEETS THE
REQUIREMENTS SET OUT IN THE ONTARIO
BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

18465 **B. Leppington**
BCIN SIGNATURE
REGISTRATION INFORMATION:
103806 **Design by Bobbi**
BCIN FIRM NAME

REVISIONS

NUM	DATE	REVISED BY	DESCRIPTION
01	25.11.18	SLR	FOR PLANNING
02			
03			
04			

DRAWN BY:

STEVE ROSSITER

SCALE:

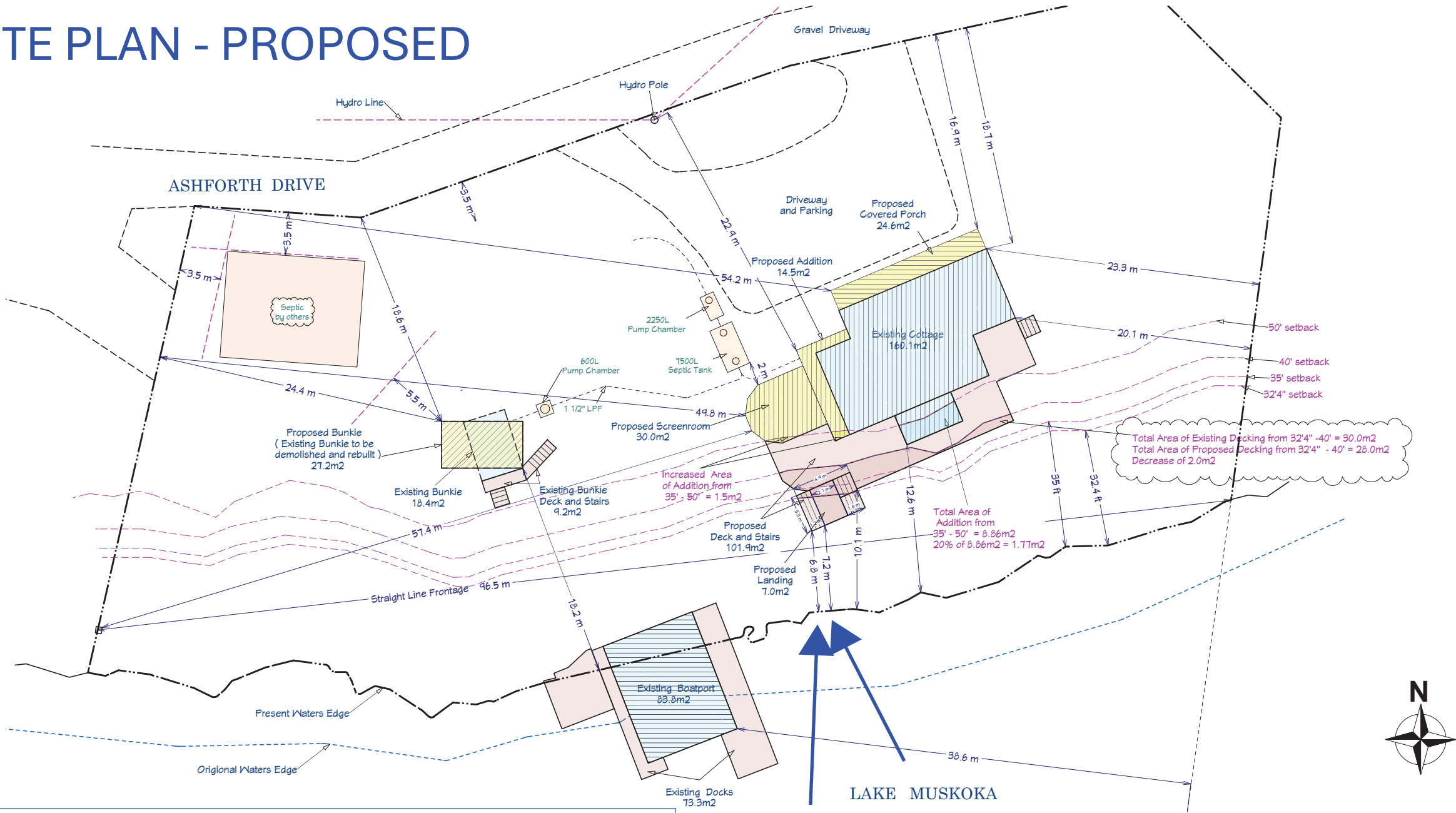
1 : 400

DRAWING:

SITE PLAN

PROJECT NUMBER:
2025-029

SHEET NUMBER:
SP 1.1



Lot Coverage

Existing Cottage	160.1m2
Existing Bunkie	18.4m2
Existing Boat Port	83.8m2
Total	262.3m2
Remove Bunkie	-18.4m2
Total	243.9m2
Proposed Addition:	14.5m2
Proposed Screen Room	30.0m2
Proposed Covered Porch	24.6m2
Proposed Bunkie	27.2m2
Total	340.2m2

Lot Coverage	Full Lot (4165.8m2)	Required	Existing	Proposed	Acceptable
Lot Coverage	60.1m (4165.8m2)	10%	6.3%	8.2%	Yes

Lake Categories - Lake Muskoka , Category 1 = 10%

MUSKOKA ZONING : WATERFRON RESIDENTIAL (WR6-7R)

LOT SETBACKS

Proposed Addition	Required	Proposed	Acceptable
FY	20.1m	12.6m	Yes (Existing)
SY(E)	4.6m	20.1m	Yes
SY(W)	4.6m	57.4m	Yes
RY	4.6m	22.9m	Yes
Proposed Bunkie	Required	Proposed	Acceptable
FY	20.1m	18.2m	Yes (Existing)
SY(E)	4.6m	60.0m	Yes
SY(W)	4.6m	24.4m	Yes
RY	4.6m	18.6m	Yes
Proposed Covered Porch	Required	Proposed	Acceptable
FY	20.1m	25.2m	Yes
SY(E)	4.6m	23.3m	Yes
SY(W)	4.6m	54.2m	Yes
RY	4.6m	25.2m	Yes

NOT TO SCALE

RENDERINGS

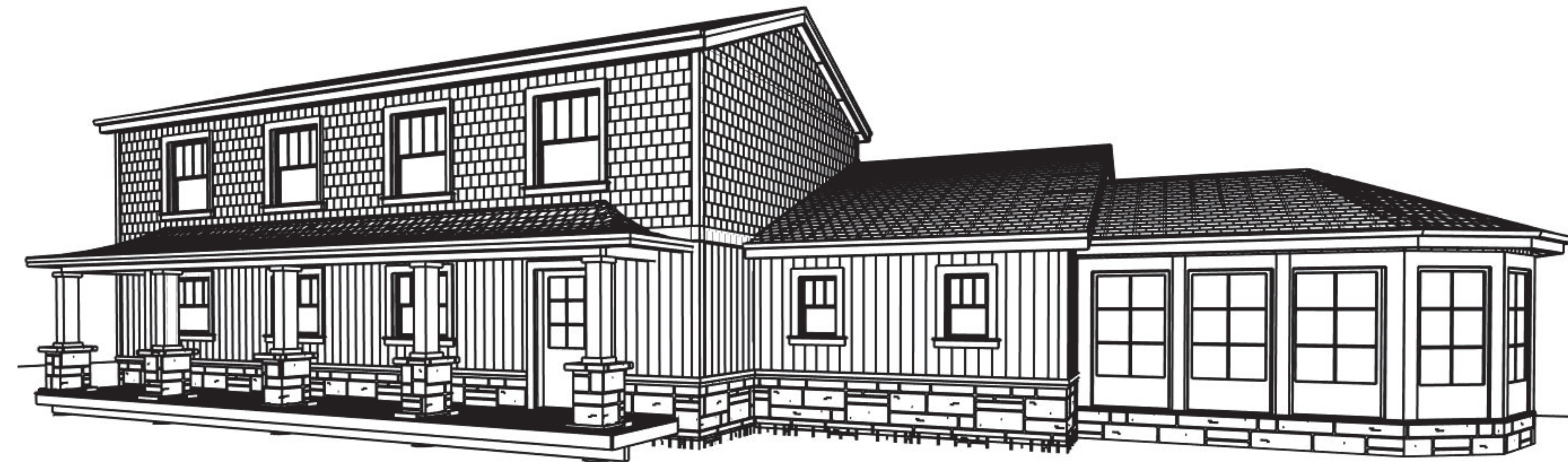


SEPTIC DATA:

5 Bedrooms
33 Fixture Units
285 m2

Daily Flow: 3150 L / Day

3D RENDERINGS NOT TO SCALE



PROJECT DESCRIPTION:

THIS PROJECT INVOLVES THE RENOVATION OF AN EXISTING COTTAGE, THE RENOVATION WILL ENTAIL A NEW PRIMARY BEDROOM W/ ENSUITE AND WALK IN CLOSET, NEW LAUNDRY ROOM, AND ROAD SIDE ENTRY. AN ADDITION WILL BE CREATED BESIDE THE EXISTING KITCHEN & DINING AREA IN ORDER TO CREATE A NEW LARGER KITCHEN SPACE. A NEW SCREEN ROOM WILL ALSO BE CONSTRUCTED ADJACENT TO THE NEW KITCHEN & DINING AREA. THE EXISTING STAIRWELLS ARE TO BE RELOCATED AND THE UPSTAIRS WILL REMAIN RELATIVELY UNTOUCHED WITH THE EXCEPTION OF THE CONSTRUCTION OF A NEW BATHROOM AND THE RENOVATION TO THE EXISTING BATHROOM.

FOR INFORMATIONAL PURPOSES ONLY

BUILDING INFORMATION:

EXISTING MAIN FLOOR: 1615 SQ FT
EXISTING UPPER FLOOR: 916 SQ FT
EXISTING GFA: 2535 SQ FT

PROPOSED MAIN FLOOR: 2152 SQ FT
PROPOSED UPPER FLOOR: 916 SQ FT
PROPOSED GFA: 3068 SQ FT

EXISTING DECK: 611 SQFT
PROPOSED REAR DECK: 1002 SQ FT
PROPOSED COVERED DECK: 227 SQ FT

List of Drawings:

- D - 0.0.
D - 1.0.

COVER SHEET
CONSTRUCTION NOTES & DISCLAIMER
DOOR & WINDOW SCHEDULES
- DEMO - 1.0.
DEMO - 1.1.
DEMO - 1.2.

DEMOLITION PLAN: FOUNDATION
DEMOLITION PLAN: MAIN FLOOR
DEMOLITION PLAN: UPPER FLOOR
- A - 1.0.
A - 1.1.

ARCHITECTURAL FLOOR PLAN: MAIN FLOOR
ARCHITECTURAL FLOOR PLAN: UPPER FLOOR
- A - 2.0.
A - 2.1.

NORTH & EAST ELEVATIONS (E1 & E2)
SOUTH & WEST ELEVATIONS (E3 & E4)
- S - 1.0.
S - 1.1.

STRUCTURAL FLOOR PLAN: BASEMENT
STRUCTURAL FLOOR JOIST PLAN: BASEMENT
- S - 2.0.
S - 2.1.
S - 2.2.

STRUCTURAL FLOOR PLAN: MAIN
STRUCTURAL FLOOR JOIST PLAN: MAIN
STRUCTURAL FLOOR PLAN: UPPER
- S - 3.0.
S - 3.1.

STRUCTURAL ROOF PLAN: MAIN
STRUCTURAL ROOF PLAN: UPPER
- A - 3.0
A - 3.1
A - 3.2.
A - 3.3.
A - 3.4.
A - 3.5.

SECTION A
SECTION B
SECTION C
SECTION D
SECTION E
SECTION F
- A - 4.0.
A - 4.1.

WALL SECTIONS
DETAILS
- E - 1.0.
E - 1.1.

ELECTRICAL PLAN: MAIN FLOOR
ELECTRICAL PLAN: UPPER FLOOR

NOT TO SCALE



Design By Bobbi

CONTACT INFORMATION:

Name:
Phone:
Email:

Bobbi Leppington
705-321-8916
designbybobbi@gmail.com

Location:

190 TAYLOR RD.
BRACEBRIDGE, Ontario
P1L 1JR

GENERAL NOTE:

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO THE DESIGNER.

PROJECT INFORMATION:

CLIENT: BROWN

PROJECT DESCRIPTION:
RENO & ADDITION

PROJECT LOCATION:
1206 ASHFORTH DRIVE
TORRANCE, ON

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

18465 **B. Leppington**

BCIN SIGNATURE

REGISTRATION INFORMATION:

103806 **Design by Bobbi**

BCIN FIRM NAME

REVISIONS

NO.	DATE	REVISED BY	DESCRIPTION
01	25/06/05	KJM	CLIENT REVIEW
02	25/07/15	KJM	CLIENT REV. 1
03			
04			
05			

DRAWN BY: < DESIGNER NAME>

APPROVED BY: BOBBI LEPPINGTON

SCALE:

N.T.S.

DRAWING:

COVER SHEET

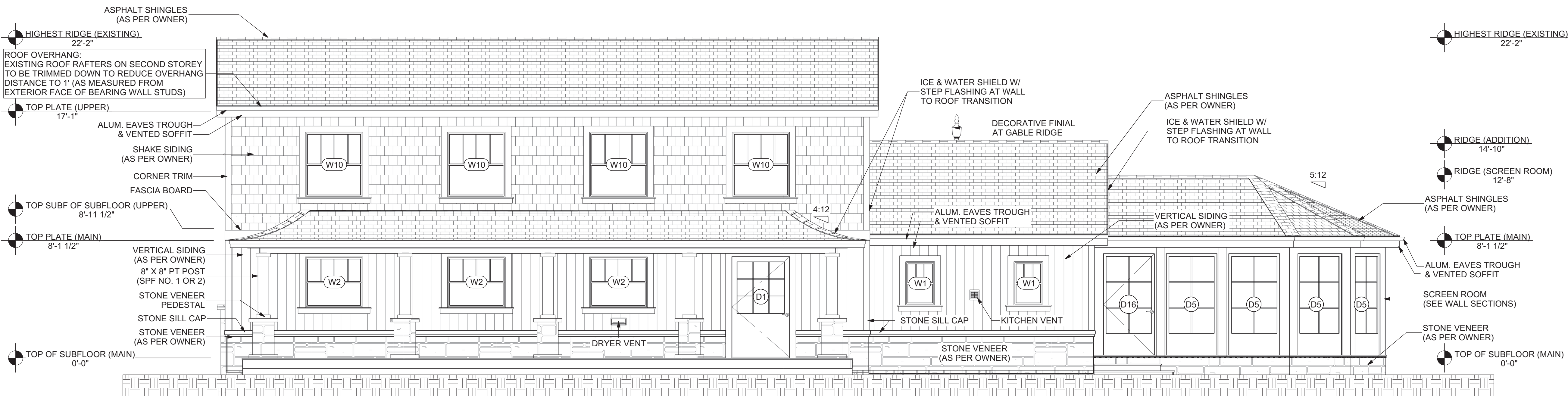
PROJECT:

2025 - 029

DRAWING:

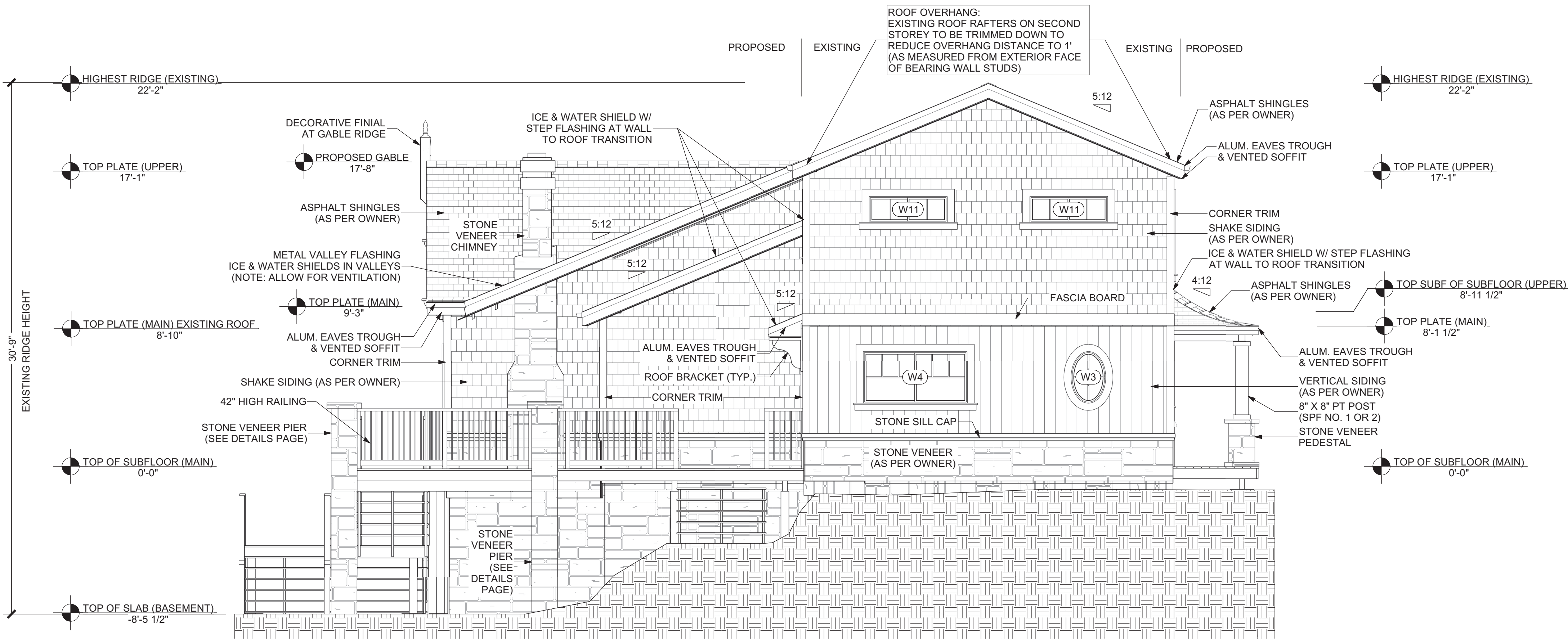
D - 0.0.

ELEVATIONS



E1
A - 2.0.

NORTH ELEVATION:
SCALE: 1/4" = 1' - 0



E2
A - 2.0.

EAST ELEVATION
SCALE: 1/4" = 1' - 0"

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE



Design By Bobbi

CONTACT INFORMATION:

Name: Bobbi Leppington
Phone: 705-321-8916
Email: designbybobbi@gmail.com
Location: 190 TAYLOR RD.
BRACEBRIDGE, Ontario
P1L 1JR

GENERAL NOTE:

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO THE DESIGNER.

PROJECT INFORMATION:

CLIENT: BROWN
PROJECT DESCRIPTION:
RENO & ADDITION
PROJECT LOCATION:
1206 ASHFORTH DRIVE
TORRANCE, ON

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

18465 **B. Leppington**
BCIN SIGNATURE
REGISTRATION INFORMATION:
103806 **Design by Bobbi**
BCIN FIRM NAME

REVISIONS

NO.	DATE	REVISED BY	DESCRIPTION
01	25/06/05	KJM	CLIENT REVIEW
02	25/07/15	KJM	CLIENT REV. 1
03			
04			
05			

DRAWN BY: < DESIGNER NAME>

APPROVED BY: BOBBI LEPPINGTON

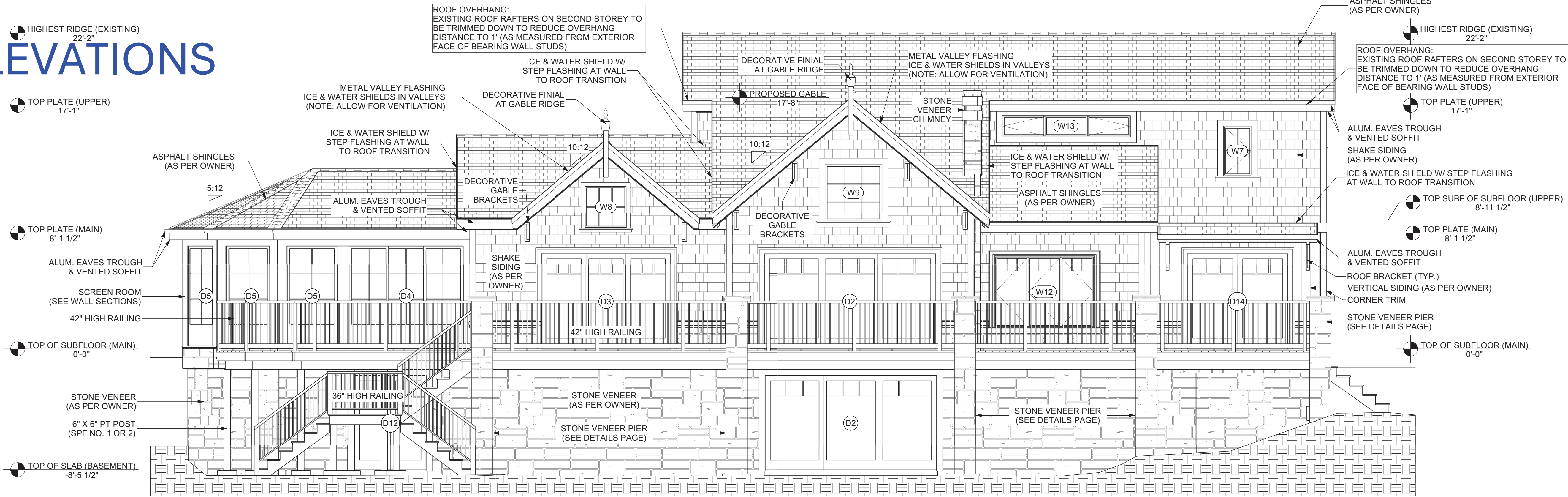
SCALE:
1/4" = 1' - 0"

DRAWING:
NORTH & EAST
ELEVATIONS

PROJECT:
2025 - 029

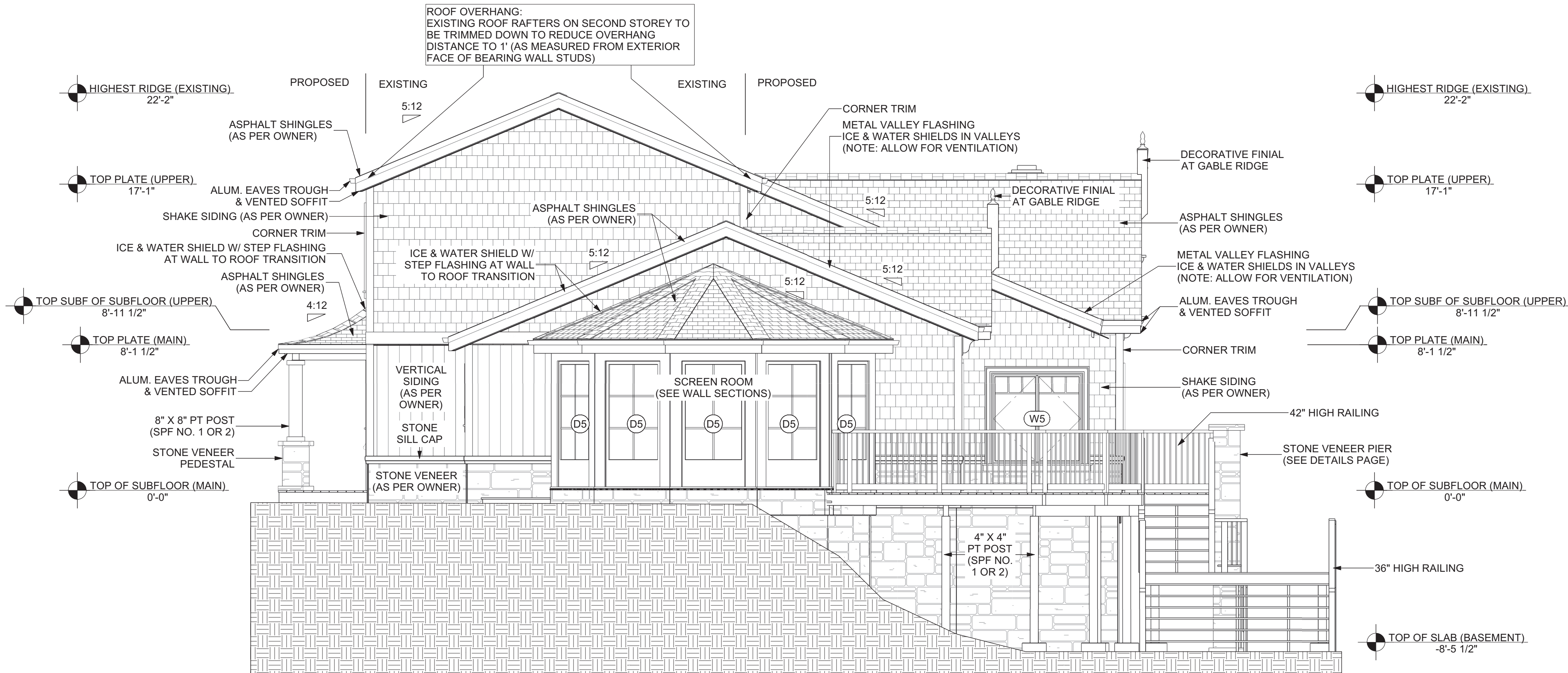
DRAWING:
A - 2.0.

ELEVATIONS



E3
A - 2.1.

SOUTH ELEVATION:
SCALE: 1/4" = 1' - 0



E4
A - 2.1.

WEST ELEVATION
SCALE: 1/4" = 1' - 0"

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE



Design By Bobbi

CONTACT INFORMATION:

Name: Bobbi Leppington
Phone: 705-321-8916
Email: designbybobbi@gmail.com
Location: 190 TAYLOR RD.
BRACEBRIDGE, Ontario
P1L 1JR

GENERAL NOTE:

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO THE DESIGNER.

PROJECT INFORMATION:

CLIENT: BROWN

PROJECT DESCRIPTION:
RENO & ADDITION

PROJECT LOCATION:
1206 ASHFORTH DRIVE
TORRANCE, ON

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

18465 **B. Leppington**
BCIN SIGNATURE

REGISTRATION INFORMATION:

103806 **Design by Bobbi**
BCIN FIRM NAME

REVISIONS

NO.	DATE	REVISED BY	DESCRIPTION
01	25/06/05	KJM	CLIENT REVIEW
02	25/07/15	KJM	CLIENT REV. 1
03			
04			
05			

DRAWN BY: < DESIGNER NAME >

APPROVED BY: BOBBI LEPPINGTON

SCALE:
1/4" = 1' - 0"

DRAWING:
SOUTH & WEST
ELEVATIONS

PROJECT:
2025 - 029

DRAWING:
A - 2.1.