



1 Bailey Street  
Port Carling, ON P0B 1J0

E: [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) P: 705-765-3156 F: 705-765-6755

## PLANNING COMMITTEE - NOTICE OF PUBLIC MEETING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

Take notice that the Council for the Corporation of the Township of Muskoka Lakes will be considering an application for a proposed Amendment to Zoning By-law 2014-14 pursuant to Section 34 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: ZBA-14/25**

**Roll No.: 4-27-036**

**By-law No.: To Be Assigned**

<b>Owners:</b>	Jane and Philip Garratt PO Box 68 Port Carling, ON., P0B 1J0		
<b>Address &amp; Description:</b>	249 Island R60 Part of Lots 7 & 8, Concession B, Parts 2 to 5, 7 and 9 on Registered Plan 35R12653, Part 1 on Registered Plan 35R-22878 (Medora)		
<b>Zoning:</b>	Waterfront Residential (WR5-7) & Open Space - Private (OS2)	Lake Rosseau (Category 1 Lake)	Schedule: 22
<b>Meeting Date: Thursday, July 17<sup>th</sup>, 2025 at 9:00 a.m.</b>			



Take further notice that this public meeting will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.

### Explanation of the Purpose and Effect:

The applicant proposes to renovate an existing two-storey boathouse with a covered area on the second storey. The renovation involves the removal of a storage room, the construction of a second-storey sleeping cabin, and a reduction in the size of a covered area. A Zoning By-law Amendment Application has been submitted to permit a 400 sq. ft. covered area combined with a 650 sq. ft. sleeping cabin on the second storey of an existing two-storey boathouse on a lot located on a Category 1 Lake with more than 400 feet of lot frontage. In this case, the maximum permitted size of a covered area is 250 square feet.



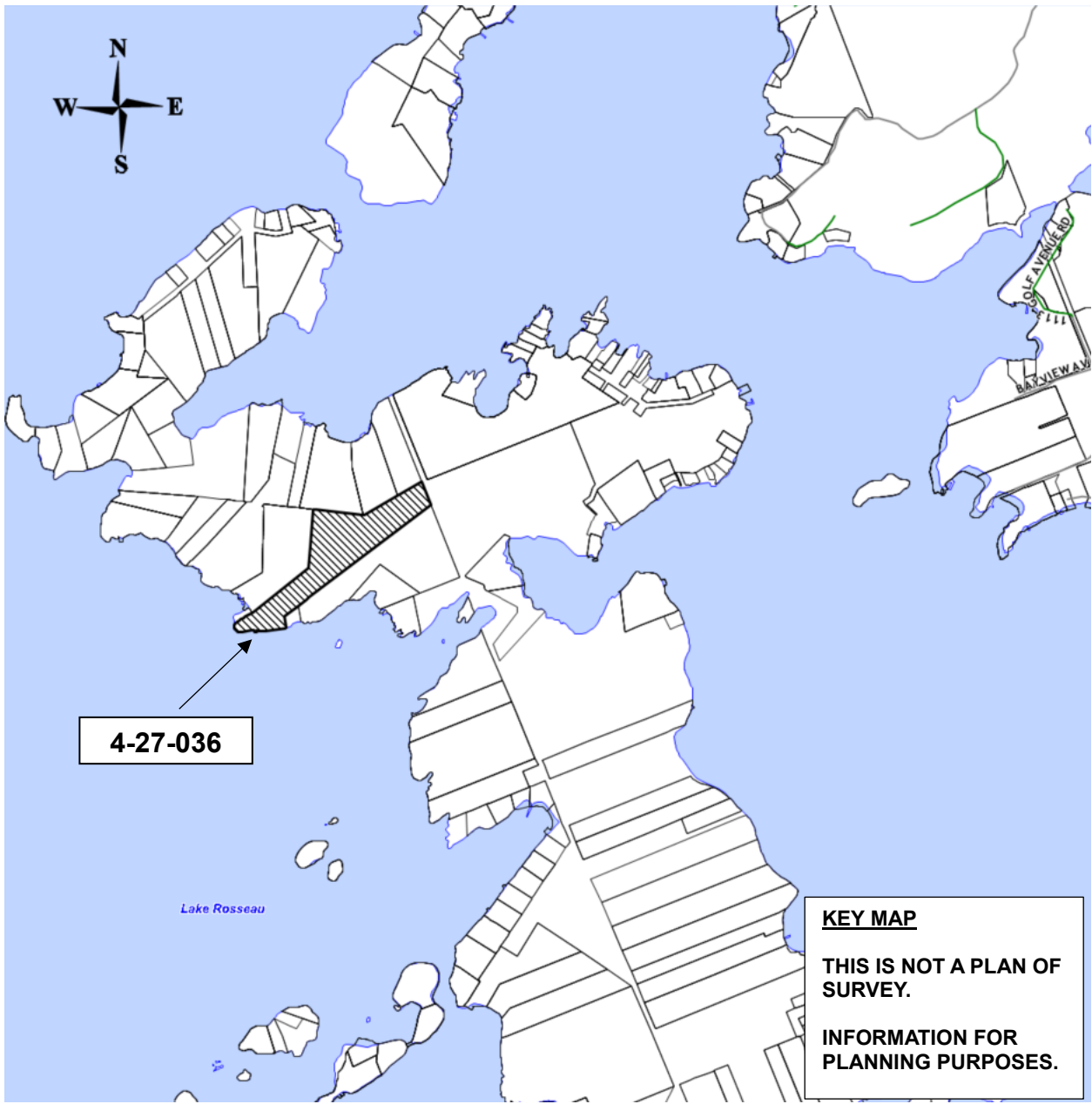
Notice of Public Meeting  
ZBA-14/25, Garratt

Exemption	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Relief	Proposal
A	4.1.7 and 4.1.7.7	Maximum Permitted Second Storey Boathouse Size (Category 1 Lake, ≥ 400 ft. of Lot Frontage)	Covered Area (250 sq. ft.) + Sleeping Cabin (650 sq. ft.) = 900 sq. ft.	Covered Area (400 sq. ft.) + Sleeping Cabin (650 sq. ft.) = 1,050 sq. ft	150 sq. ft	Renovate an Existing Two-Storey Boathouse Resulting in a Larger Second Storey Than Permitted

A key map of the subject property, the applicant's site plan and any drawing, and a draft By-law are included in this notice.



**KEY MAP**



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**

**How to Participate:**

**Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0



Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.

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### Active Participation In-Person or on Zoom



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Planning Committee at the meeting by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled meeting.

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### Watch the Meeting Online



You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN MEETING:** If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**REQUIREMENT FOR OWNERS OF MULTI-TENANT BUILDINGS:** Upon receiving this Notice, owners of multi-tenant buildings with seven (7) or more residential units are asked to post this Notice in a location that is clearly visible to all tenants (i.e. building or community notice board), in accordance with O.Reg 545/06.

**NOTICE OF PASSING & APPEALS:** If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca).

Furthermore, if a person or public body would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Notwithstanding the above, subsection 34(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

Dated at the Township of Muskoka Lakes this 24th day of June, 2025.

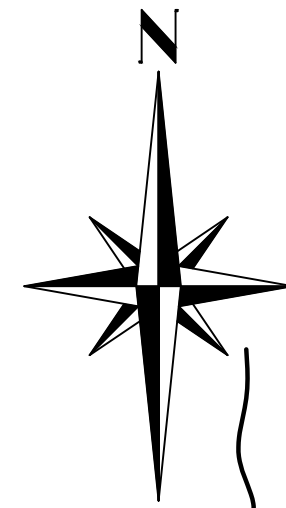
Crystal Paroschy, Clerk  
Corporation of the Township of Muskoka Lakes



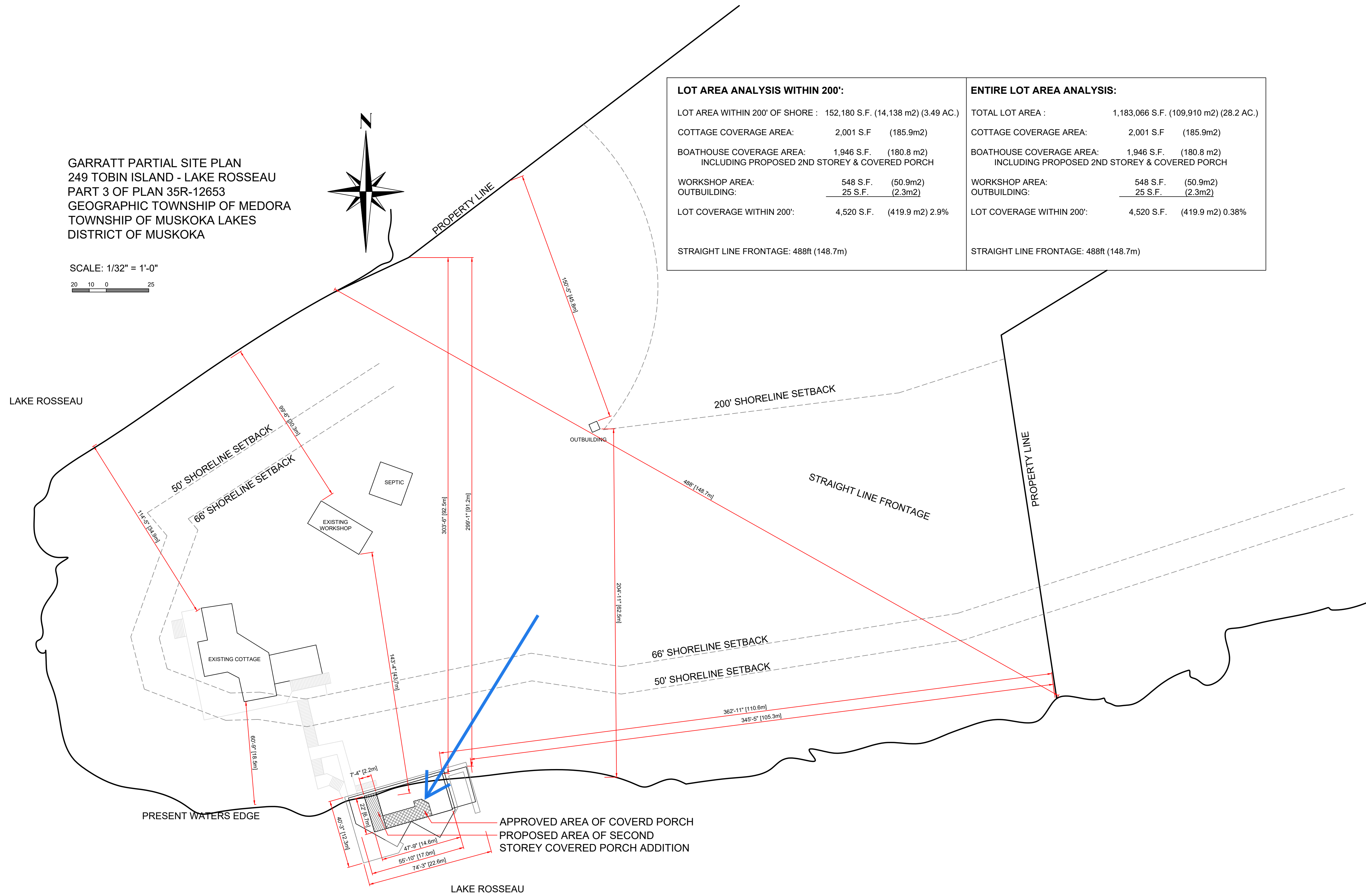
# PROPOSED SITE PLAN

GARRATT PARTIAL SITE PLAN  
 249 TOBIN ISLAND - LAKE ROSSEAU  
 PART 3 OF PLAN 35R-12653  
 GEOGRAPHIC TOWNSHIP OF MEDORA  
 TOWNSHIP OF MUSKOKA LAKES  
 DISTRICT OF MUSKOKA

SCALE: 1/32" = 1'-0"



LOT AREA ANALYSIS WITHIN 200':		ENTIRE LOT AREA ANALYSIS:	
LOT AREA WITHIN 200' OF SHORE :	152,180 S.F. (14,138 m2) (3.49 AC.)	TOTAL LOT AREA :	1,183,066 S.F. (109,910 m2) (28.2 AC.)
COTTAGE COVERAGE AREA:	2,001 S.F. (185.9m2)	COTTAGE COVERAGE AREA:	2,001 S.F. (185.9m2)
BOATHOUSE COVERAGE AREA: INCLUDING PROPOSED 2ND STOREY & COVERED PORCH	1,946 S.F. (180.8 m2)	BOATHOUSE COVERAGE AREA: INCLUDING PROPOSED 2ND STOREY & COVERED PORCH	1,946 S.F. (180.8 m2)
WORKSHOP AREA:	548 S.F. (50.9m2)	WORKSHOP AREA:	548 S.F. (50.9m2)
OUTBUILDING:	25 S.F. (2.3m2)	OUTBUILDING:	25 S.F. (2.3m2)
LOT COVERAGE WITHIN 200':	4,520 S.F. (419.9 m2) 2.9%	LOT COVERAGE WITHIN 200':	4,520 S.F. (419.9 m2) 0.38%
STRAIGHT LINE FRONTAGE:	488ft (148.7m)	STRAIGHT LINE FRONTAGE:	488ft (148.7m)



1 SITE PLAN  
 S-1 249 TOBIN ISLAND - LAKE ROSSEAU

NOT TO SCALE

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. PROPERTY OF CEDARBUILT HOMES

DESIGN DATA FOR BRACEBRIDGE

GROUND SNOW LOAD: Ss: 3.1 kPa  
 ASSOC. RAIN LOAD: Sr: 0.4 kPa  
 WIND LOAD: 1/50: 0.35 kPa  
 ALLOWABLE SOIL BEARING: BEDROCK 500 kPa

CIVIC ADDRESS

249 TOBIN ISLAND, MUSKOKA LAKES

LEGAL DESCRIPTION

XXXX

3	-	
2	-	
1	-	
NO.	DATE	DESCRIPTION

REVISIONS

PROJECT NO.

CUSTOMER  
 GARRATT

SHEET TITLE  
 SITE PLAN

DATE  
 JUNE 20, 2025

SCALE  
 1/32" = 1'-0"

DESIGNER  
 RP

CHECKED BY  
 JA

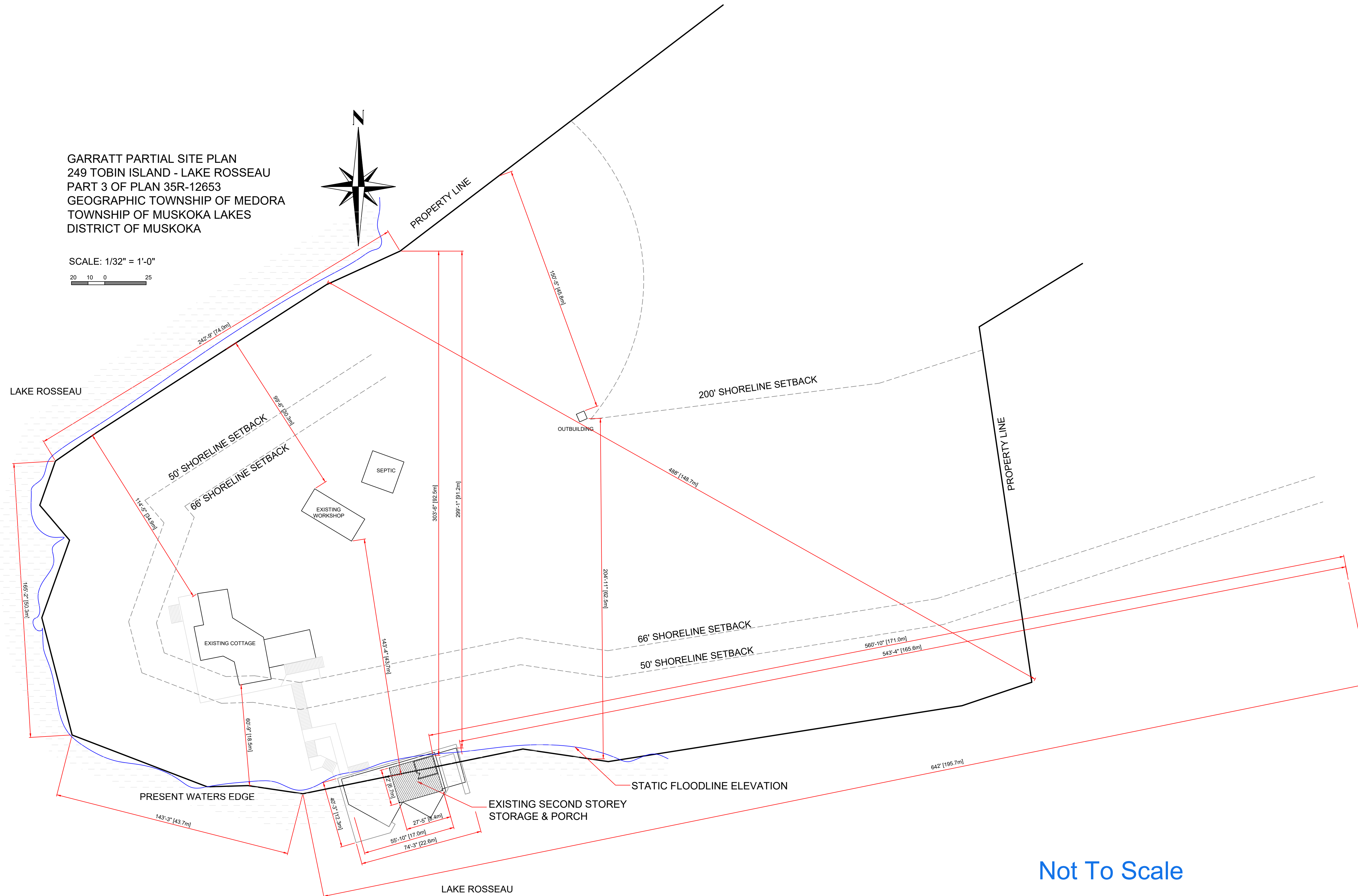
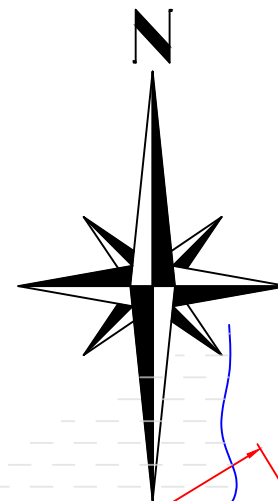
SHEET NUMBER

S-1

# EXISTING SITE PLAN

GARRATT PARTIAL SITE PLAN  
 249 TOBIN ISLAND - LAKE ROSSEAU  
 PART 3 OF PLAN 35R-12653  
 GEOGRAPHIC TOWNSHIP OF MEDORA  
 TOWNSHIP OF MUSKOKA LAKES  
 DISTRICT OF MUSKOKA

SCALE: 1/32" = 1'-0"



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 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE.  
 PROPERTY OF CEDARBUILT HOMES

DESIGN DATA FOR BRACEBRIDGE

GROUND SNOW LOAD:	Ss: 3.1 kPa
ASSOC. RAIN LOAD:	Sr: 0.4 kPa
WIND LOAD:	1/50: 0.35 kPa
ALLOWABLE SOIL BEARING:	BEDROCK 500 kPa

CIVIC ADDRESS  
 249 TOBIN ISLAND, MUSKOKA LAKES

LEGAL DESCRIPTION  
 XXXX

NO.	DATE	DESCRIPTION
3	-	-
2	-	-
1	-	-

REVISIONS

PROJECT NO.  
 CUSTOMER  
 GARRATT

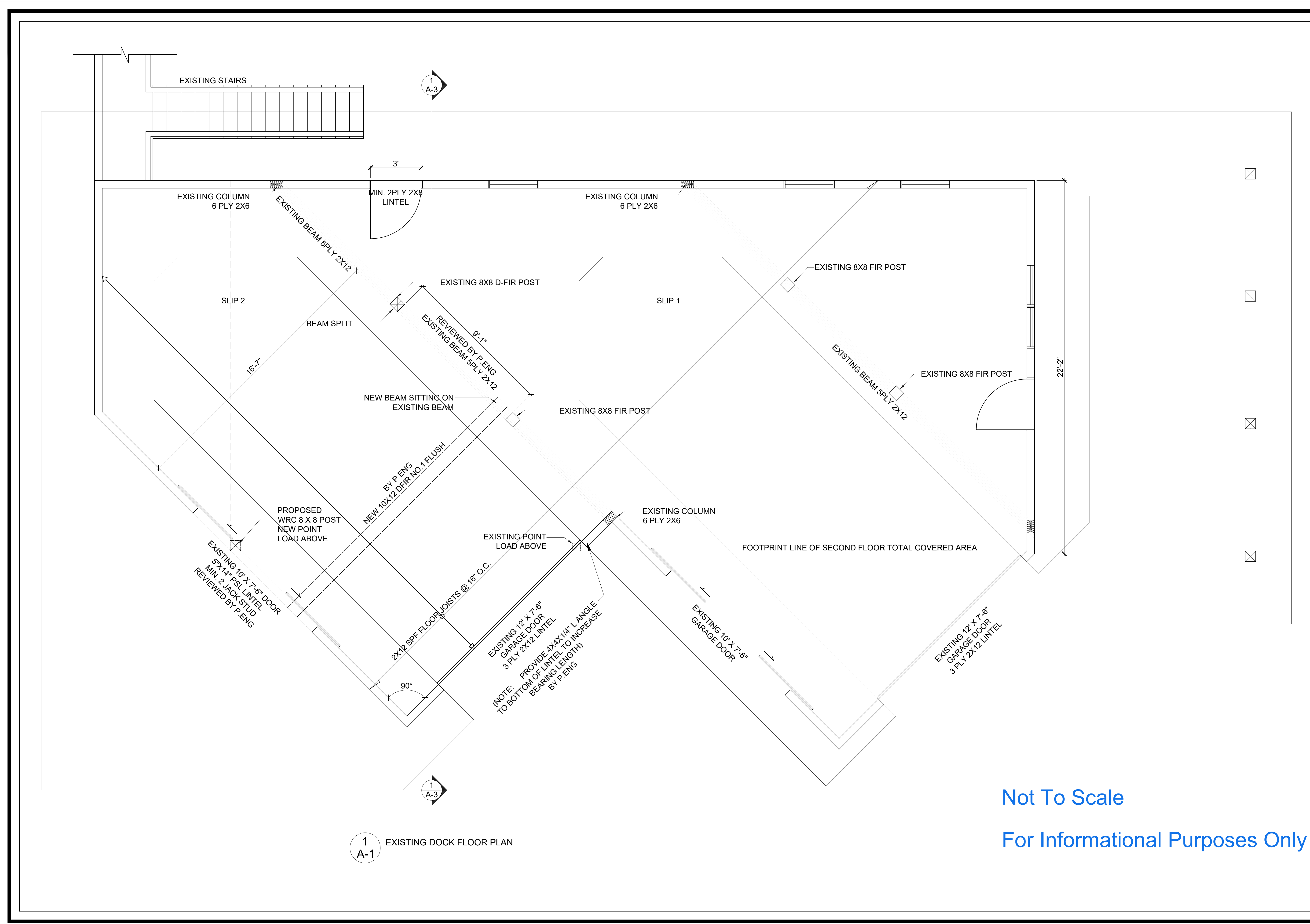
SHEET TITLE  
 SITE PLAN

DATE	MAY 28, 2025	SHEET NUMBER	S-2
SCALE	1/32" = 1'-0"		
DESIGNER	RP		
CHECKED BY	JA		

1 SITE PLAN W/EXISTING BOATHOUSE  
 S-2 249 TOBIN ISLAND - LAKE ROSSEAU

Not To Scale  
 For Informational Purposes Only

# EXISTING DOCK FLOOR PLAN



1 A-1 EXISTING DOCK FLOOR PLAN

Not To Scale  
For Informational Purposes Only

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BY LAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. PROPERTY OF CEDARCOAST HOMES

DESIGN DATA FOR BRACEBRIDGE

GROUND SNOW LOAD: Ss: 3.1 kPa  
ASSOC. RAIN LOAD: Sr: 0.4 kPa  
WIND LOAD: 1/50: 0.35 kPa  
ALLOWABLE SOIL BEARING: BEDROCK 500 kPa

ANY WINDOW OR DOOR OPENING WITH A POINT LOAD AND ANY WINDOW OR DOOR OPENING GREATER THAN 6' WIDE REQUIRES DOUBLE JACK STUDS

FULL BEARING BUILT-UP STUD POSTS OR 6X6 POSTS TO SUPPORT ALL BEAMS, POSTS AND POINT-LOADS FROM ABOVE. SOLID SQUASH BLOCKING REQUIRED IN THE FLOOR UNDER ALL POINT LOADS

LINTELS IN FRAME WALLS TO BE 2-PLY 2X10 UNLESS NOTED OTHERWISE

CIVIC ADDRESS  
249 TOBIN ISLAND, MUSKOKA LAKES

LEGAL DESCRIPTION  
XXXX

NO.	DATE	DESCRIPTION
3		
2		
1		

REVISIONS

**CedarCoast**  
TIMBER HOMES

PROJECT NO.  
BOATHOUSE

CUSTOMER  
GARRATT

SHEET TITLE  
MAIN FLOOR PLAN

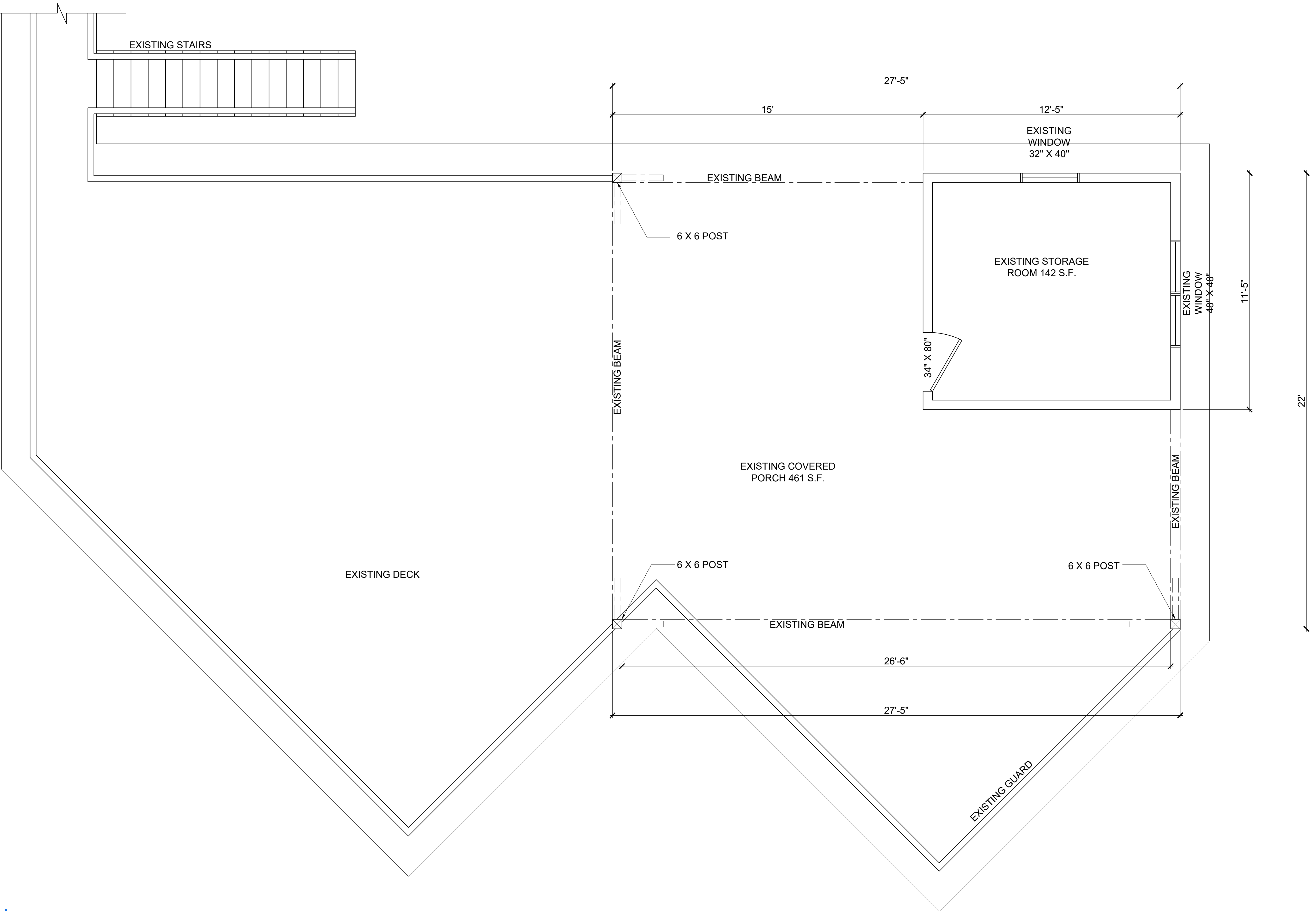
DATE	SHEET NUMBER
MAY 28, 2025	A-1

SCALE  
3/16" = 1'-0"

DESIGNER  
RP

CHECKED BY  
JA

# EXISTING SECOND FLOOR PLAN



Not To Scale  
For Informational Purposes Only

1  
A-2.1 EXISTING SECOND FLOOR PLAN

EXISTING STORAGE AREA 142 S.F.  
EXISTING PORCH AREA 461 S.F.

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. PROPERTY OF CEDARBUILT HOMES

DESIGN DATA FOR BRACEBRIDGE

GROUND SNOW LOAD:	Ss: 3.1 kPa
ASSOC. RAIN LOAD:	Sr: 0.4 kPa
WIND LOAD:	1/50: 0.35 kPa
ALLOWABLE SOIL BEARING:	BEDROCK 500 kPa

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LINTELS IN FRAME WALLS TO BE 2-PLY 2X10 UNLESS NOTED OTHERWISE

CIVIC ADDRESS	
249 TOBIN ISLAND, MUSKOKA LAKES	
LEGAL DESCRIPTION	
XXXX	

NO.	DATE	DESCRIPTION
3	-	-
2	-	-
1	-	-

REVISIONS



PROJECT NO. BOATHOUSE RENO  
CUSTOMER GARRATT

SHEET TITLE  
ELECTRICAL PLAN

DATE	MAY 28, 2025	SHEET NUMBER	A-2.1
SCALE	3/16" = 1'-0"		
DESIGNER	RP		
CHECKED BY	JA		



# PROPOSED SECOND FLOOR PLAN

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DESIGN DATA FOR BRACEBRIDGE	
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CIVIC ADDRESS  
249 TOBIN ISLAND, MUSKOKA LAKES

LEGAL DESCRIPTION  
XXXX

NO.	DATE	DESCRIPTION
3	-	-
2	-	-
1	-	-



PROJECT NO.  
BOATHOUSE RENO

CUSTOMER  
GARRATT

SHEET TITLE  
ELECTRICAL PLAN

DATE	SHEET NUMBER
MAY 28, 2025	
SCALE 3/16" = 1'-0"	A-2
DESIGNER RP	
CHECKED BY JA	

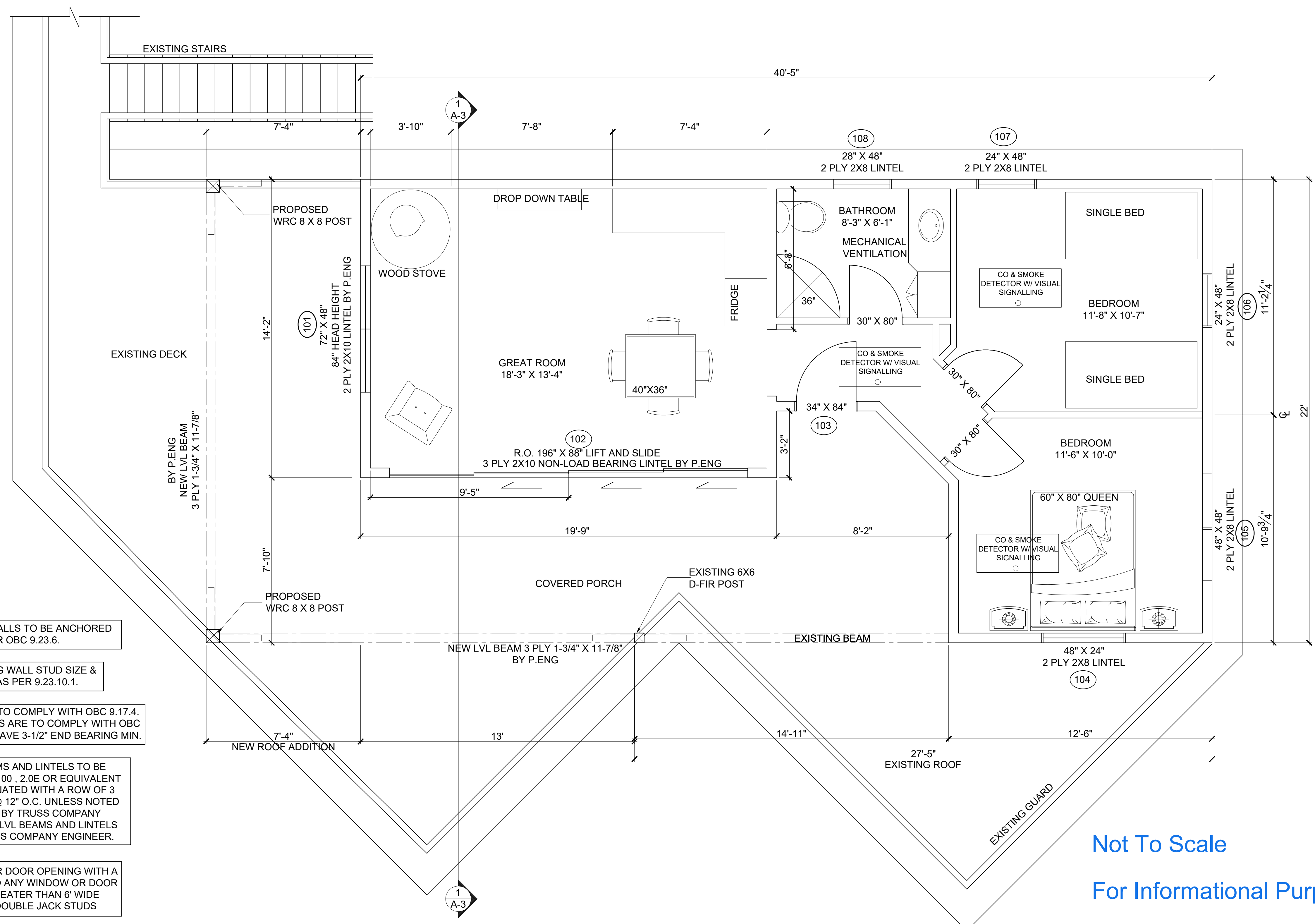
LOADBEARING WALLS TO BE ANCHORED AS PER OBC 9.23.6.

LOAD BEARING WALL STUD SIZE & SPACING AS PER 9.23.10.1.

BUILT-UP POSTS ARE TO COMPLY WITH OBC 9.17.4. BUILT UP WOOD BEAMS ARE TO COMPLY WITH OBC 9.23.8.3. AND ARE TO HAVE 3-1/2" END BEARING MIN.

ALL LVL BEAMS AND LINTELS TO BE Versa LAM Fb=3,100 . 2.0E OR EQUIVALENT GRADE & LAMINATED WITH A ROW OF 3 SDW SCREWS @ 12" O.C. UNLESS NOTED OTHERWISE BY TRUSS COMPANY ENGINEER. ALL LVL BEAMS AND LINTELS SIZED BY TRUSS COMPANY ENGINEER.

ANY WINDOW OR DOOR OPENING WITH A POINT LOAD AND ANY WINDOW OR DOOR OPENING GREATER THAN 6' WIDE REQUIRES DOUBLE JACK STUDS



Not To Scale  
For Informational Purposes Only

1  
A-2 PROPOSED SECOND FLOOR PLAN

EXISTING PORCH AND STORAGE 603 S.F.  
PROPOSED SLEEPING CABIN TOTAL AREA 650 S.F.  
PROPOSED PORCH TOTAL AREA 399 S.F.

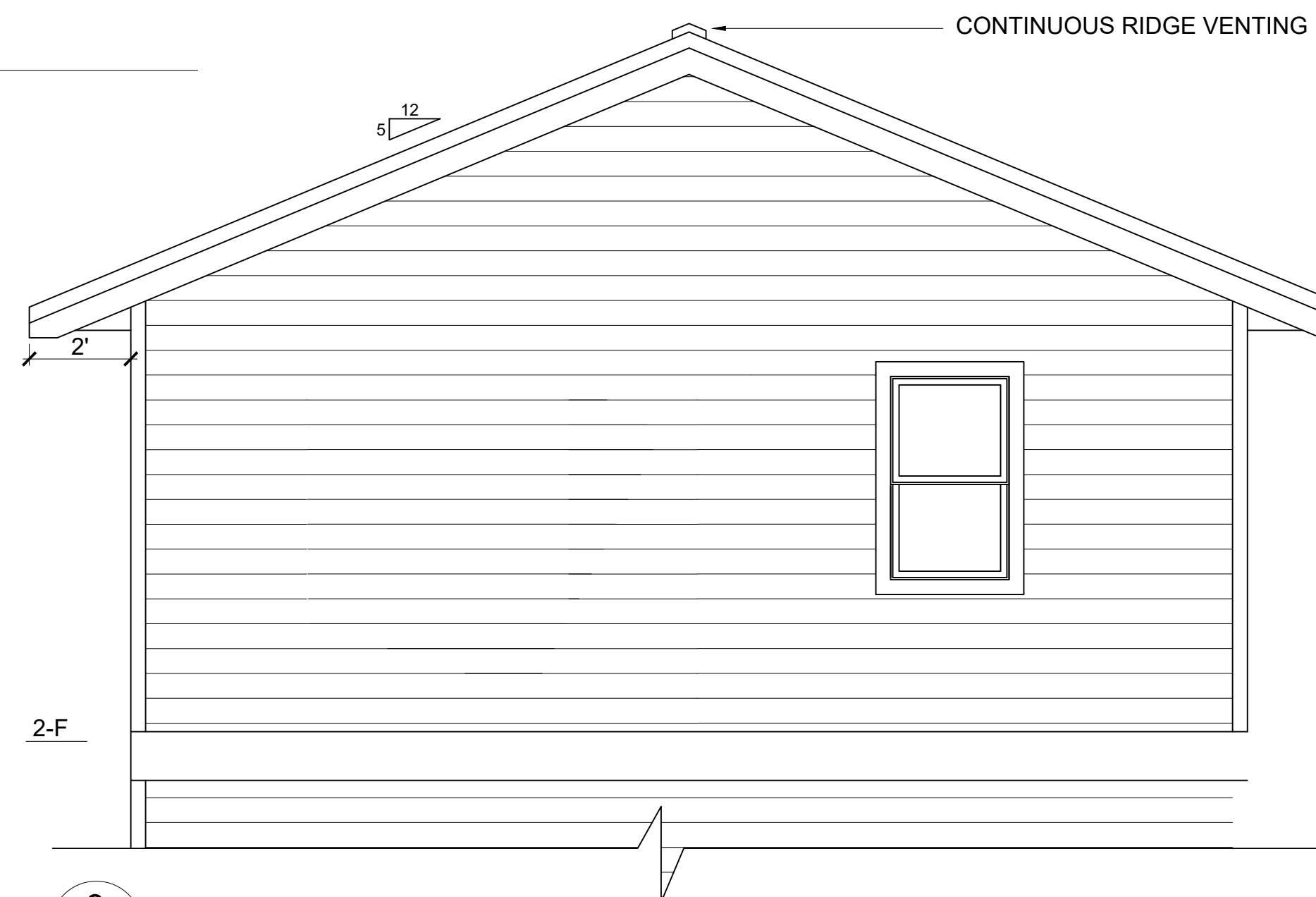
# PROPOSED ELEVATIONS



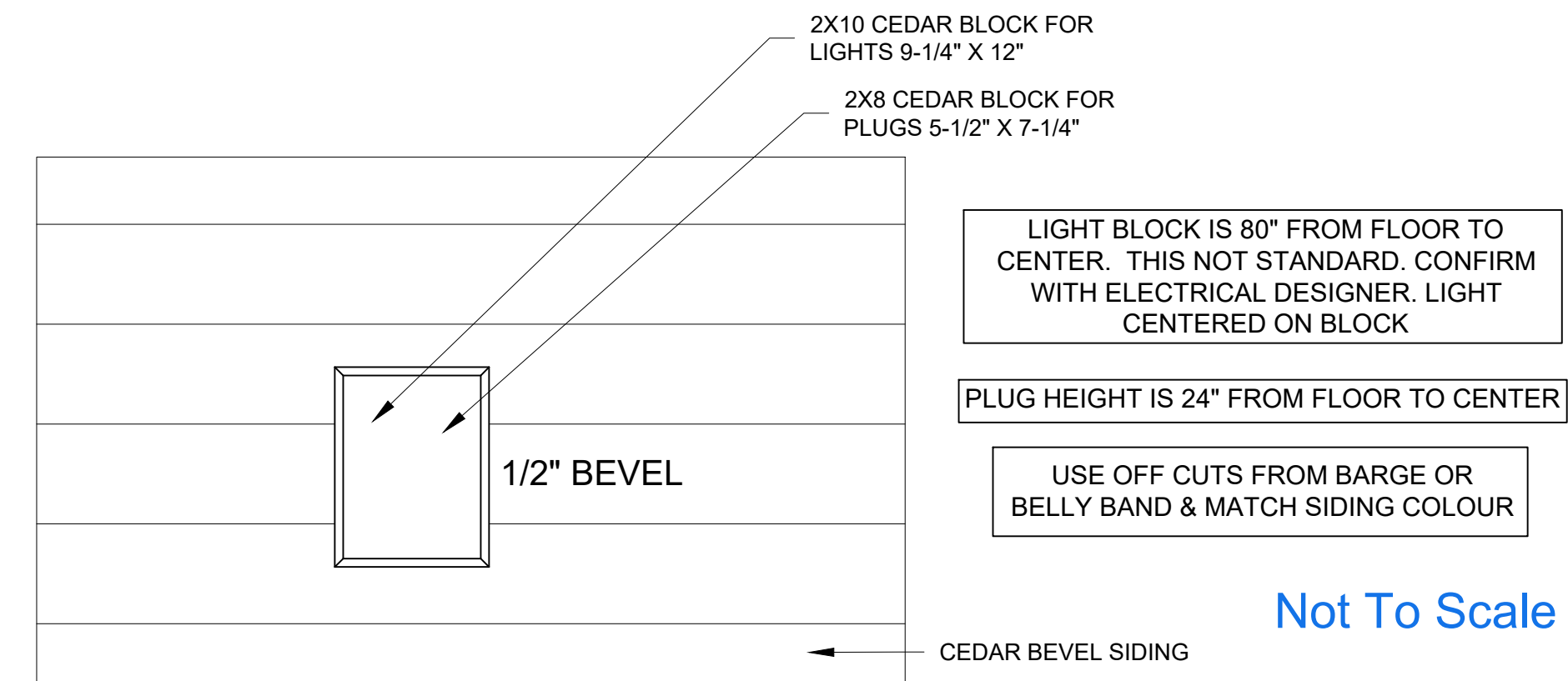
1 LAKE/SOUTH SIDE ELEVATION  
A-4



2 WEST ELEVATION  
A-4



3 EAST ELEVATION  
A-4



4 EXT. CEDAR BLOCKING FOR LIGHTS/PLUGS - BEVEL  
A-4

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LINTELS IN FRAME WALLS TO BE 2-PLY 2X10 UNLESS NOTED OTHERWISE

CIVIC ADDRESS

249 TOBIN ISLAND, MUSKOKA LAKES

LEGAL DESCRIPTION

XXXX

NO	DATE	DESCRIPTION
3	-	-
2	-	-
1	-	-

REVISIONS



PROJECT NO. COTTAGE RENOVATION

CUSTOMER GARRATT

SHEET TITLE

ELEVATIONS

DATE	SHEET NUMBER
MAY 28, 2025	A-4
SCALE 1/4" = 1'-0"	
DESIGNER RP	
CHECKED BY JA	

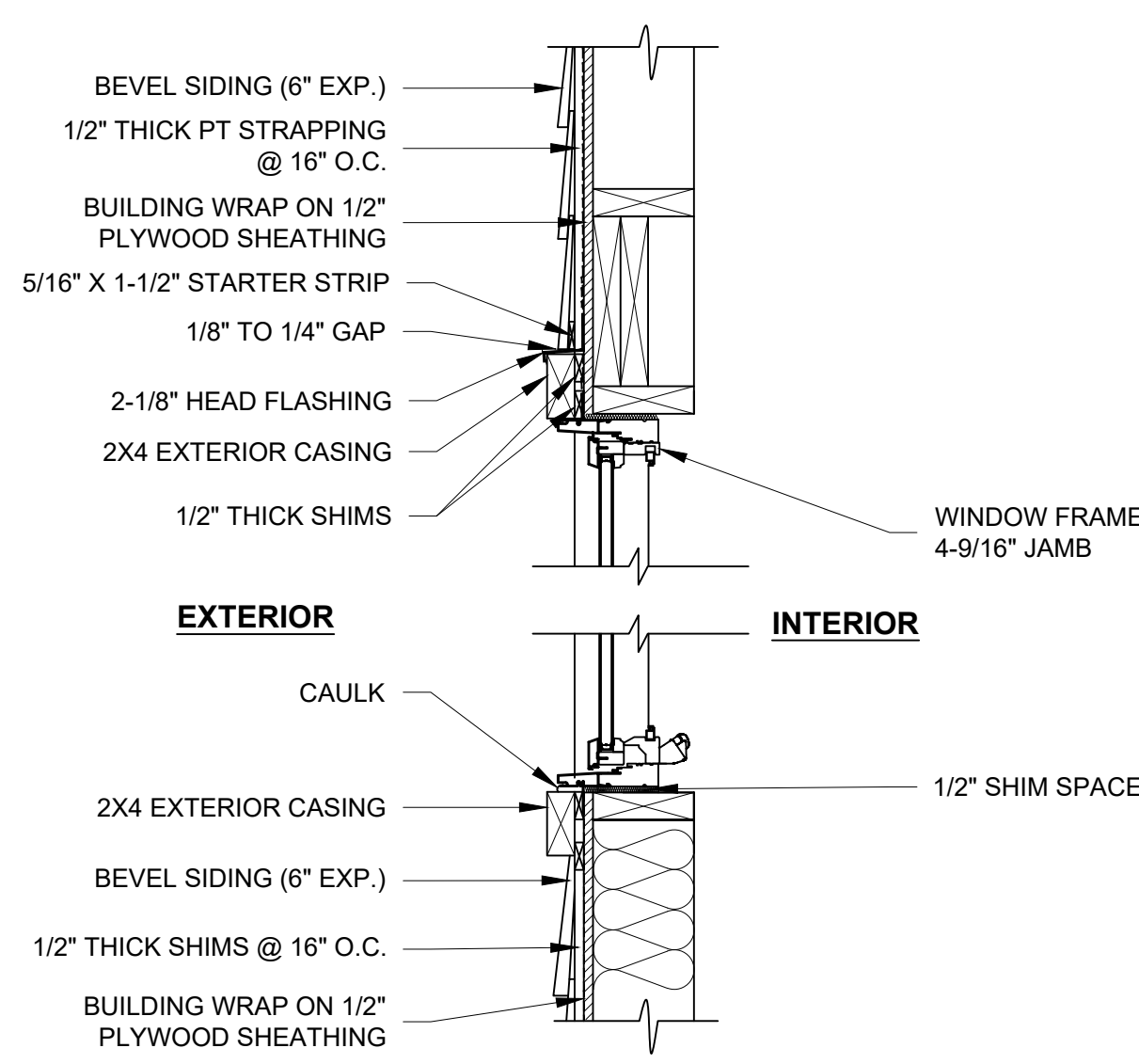
# PROPOSED NORTH ELEVATION

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED.  
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PROPERTY OF CEDARBUILT HOMES

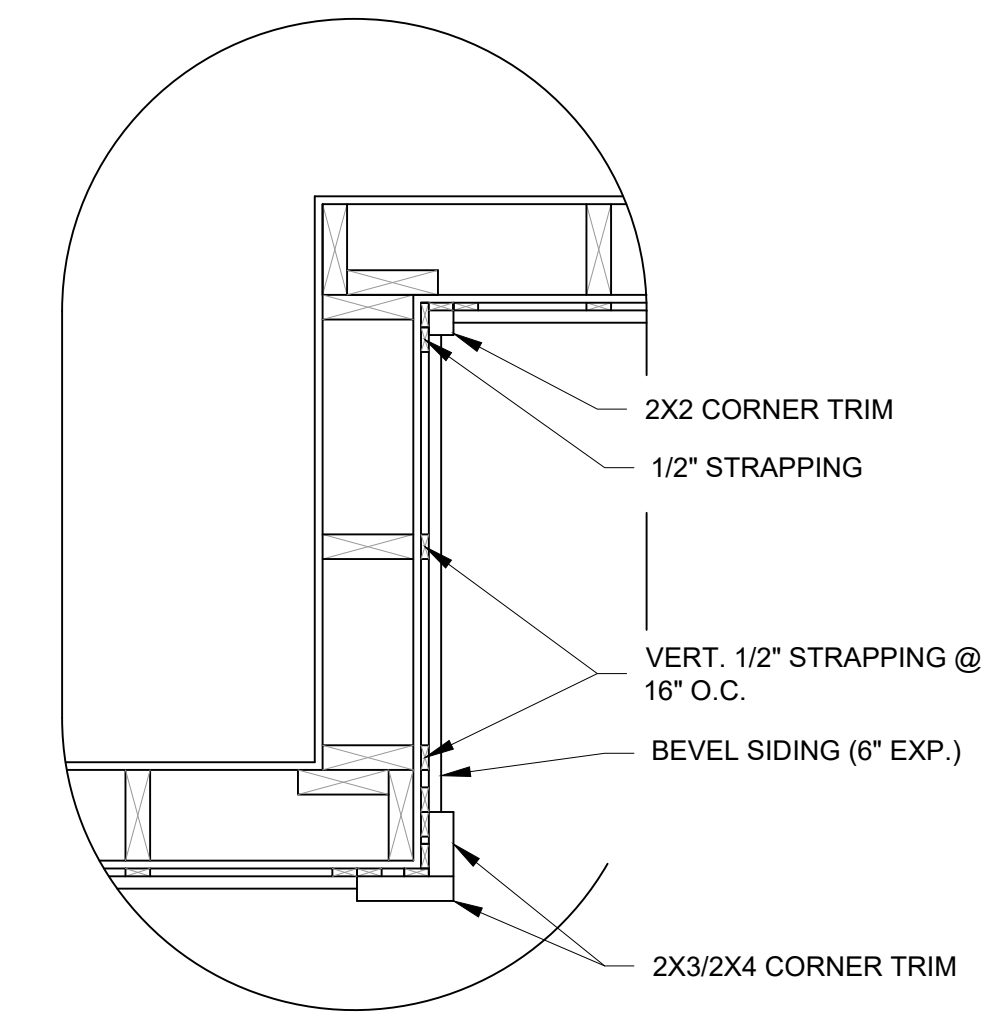
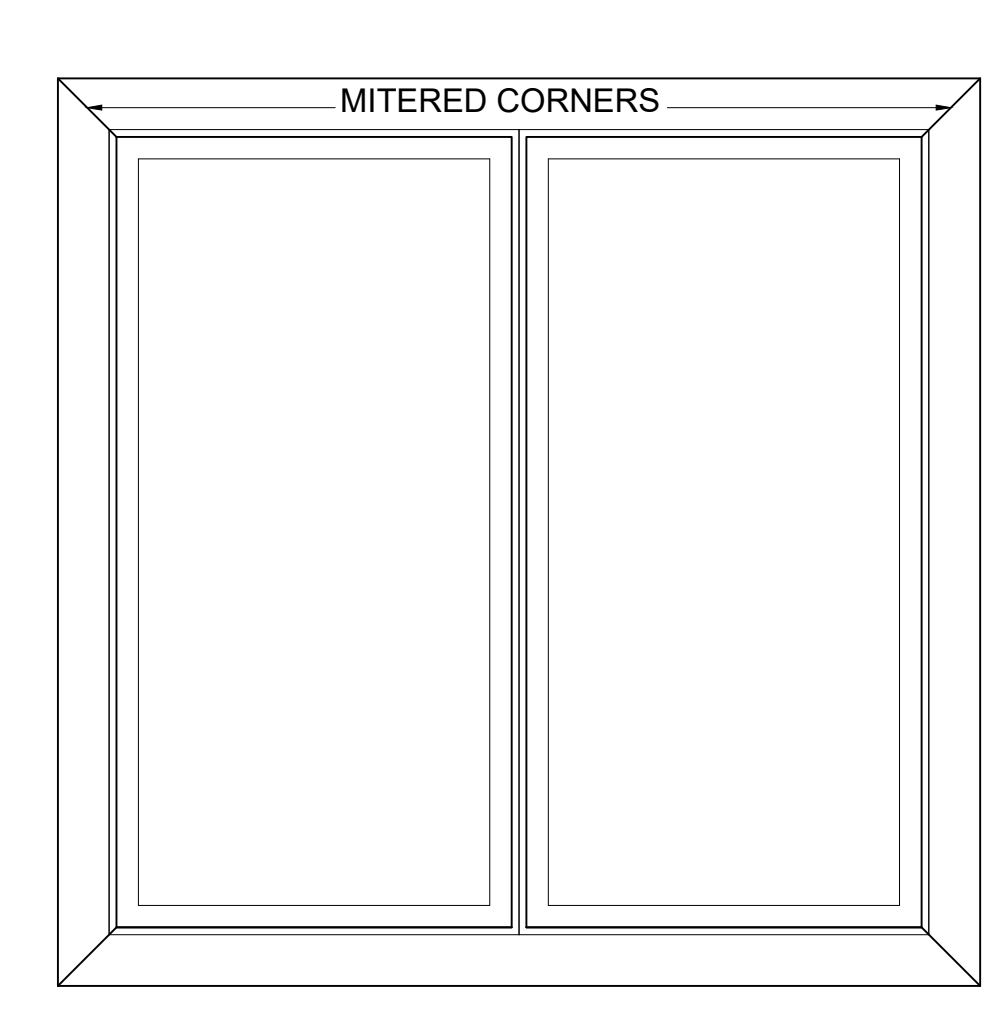
DESIGN DATA FOR BRACEBRIDGE

GROUND SNOW LOAD:	Ss: 3.1 kPa
ASSOC. RAIN LOAD:	Sr: 0.4 kPa
WIND LOAD:	1/50: 0.35 kPa
ALLOWABLE SOIL BEARING:	BEDROCK 500 kPa

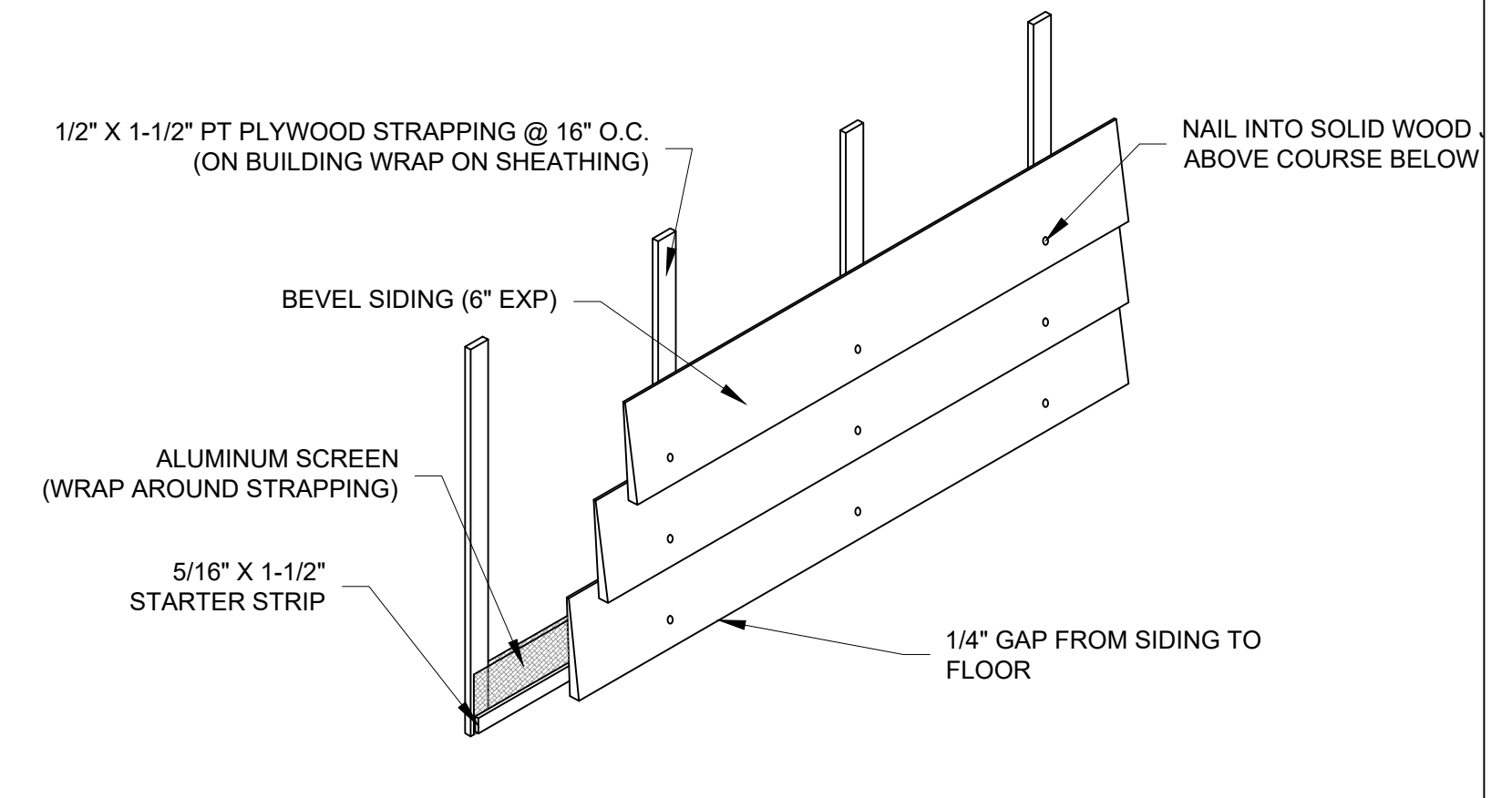
ANY WINDOW OR DOOR OPENING WITH A POINT LOAD AND ANY WINDOW OR DOOR OPENING GREATER THAN 6' WIDE REQUIRES DOUBLE JACK STUDS.  
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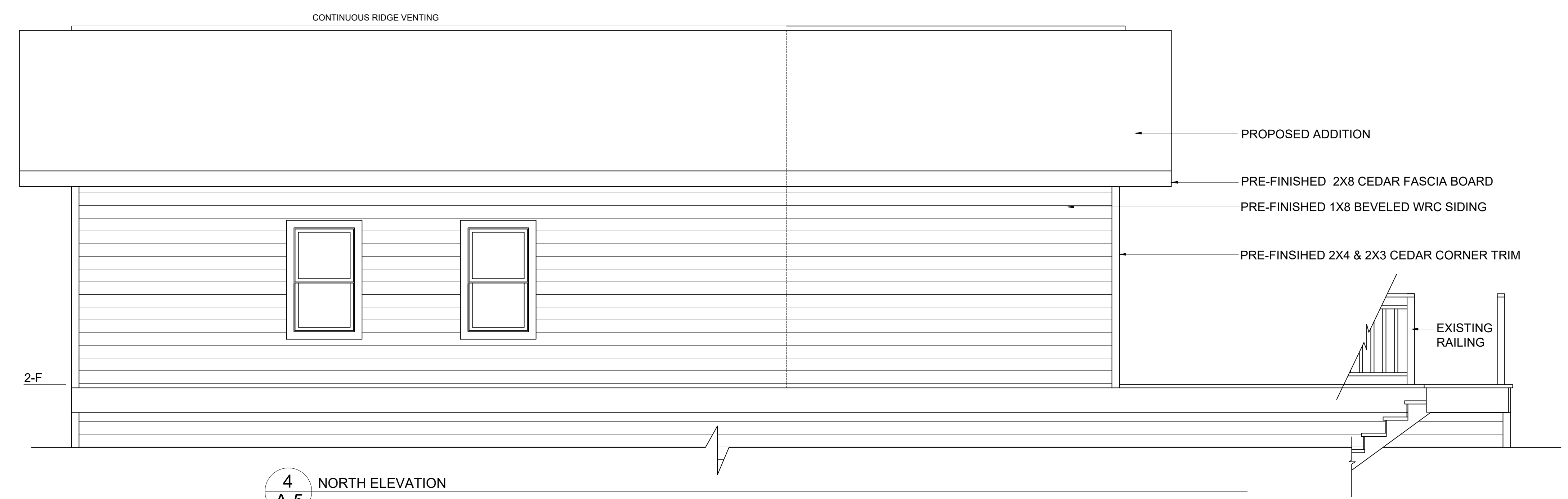
**1** WINDOW DETAIL (BEVEL SIDING)  
A-5 NOT TO SCALE



**2** CORNER TRIM DETAIL (BEVEL SIDING)  
A-5 NOT TO SCALE



**3** BEVEL SIDING INSTALLATION  
A-5 NOT TO SCALE



**4** NORTH ELEVATION  
A-5

Not To Scale  
For Informational Purposes Only

CIVIC ADDRESS

249 TOBIN ISLAND, MUSKOKA LAKES

LEGAL DESCRIPTION

XXXX

NO	DATE	DESCRIPTION
3	-	-
2	-	-
1	-	-

REVISIONS

**CedarCoast**  
TIMBER HOMES

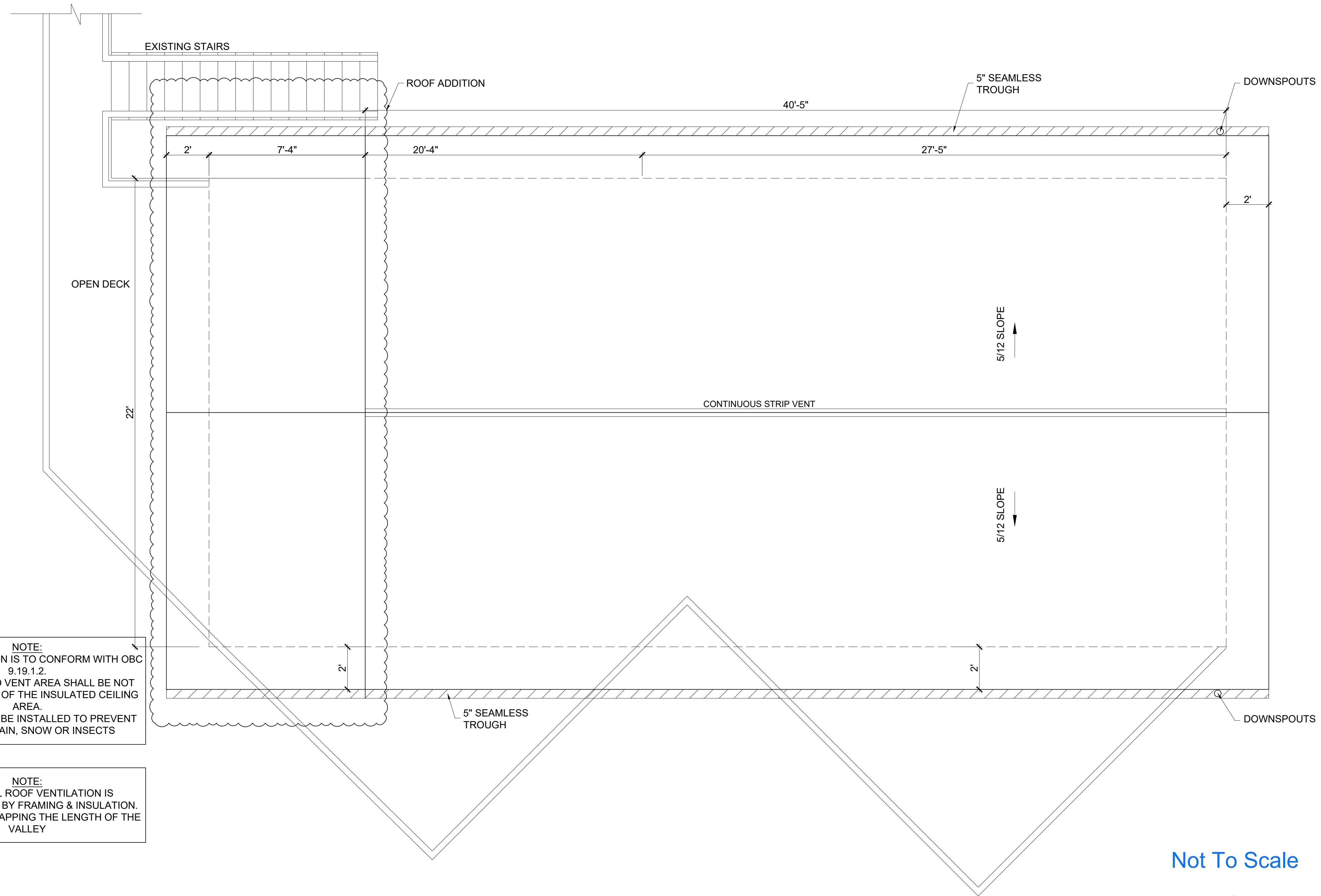
PROJECT NO.  
COTTAGE RENOVATION

CUSTOMER  
GARRATT

SHEET TITLE  
DETAILS & ELEVATION

DATE	MAY 28, 2025	SHEET NUMBER	A-5
SCALE	3/16" = 1'-0"		
DESIGNER	RP		
CHECKED BY	JA		

# PROPOSED ROOF PLAN



**NOTE:**  
 ROOF VENTILATION IS TO CONFORM WITH OBC 9.19.1.2.  
 UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.  
 ROOF VENTS TO BE INSTALLED TO PREVENT ENTRY OF RAIN, SNOW OR INSECTS

**NOTE:**  
 ENSURE ALL ROOF VENTILATION IS UNOBSTRUCTED BY FRAMING & INSULATION. DO NOT RUN STRAPPING THE LENGTH OF THE VALLEY

1 BOATHOUSE ROOF PLAN  
 A-6

Not To Scale  
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 PROPERTY OF CEDARBUILT HOMES

DESIGN DATA FOR BRACEBRIDGE	
GROUND SNOW LOAD:	Ss: 3.1 kPa
ASSOC. RAIN LOAD:	Sr: 0.4 kPa
WIND LOAD:	1/50: 0.35 kPa
ALLOWABLE SOIL BEARING:	BEDROCK 500 kPa

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FULL BEARING BUILT-UP STUD POSTS OR 6X6 POSTS TO SUPPORT ALL BEAMS, POSTS AND POINT-LOADS FROM ABOVE. SOLID SQUASH BLOCKING REQUIRED IN THE FLOOR UNDER ALL POINT LOADS

LINTELS IN FRAME WALLS TO BE 2-PLY 2X10 UNLESS NOTED OTHERWISE

CIVIC ADDRESS	249 TOBIN ISLAND, MUSKOKA LAKES
LEGAL DESCRIPTION	XXXX

NO.	DATE	DESCRIPTION
3	-	-
2	-	-
1	-	-



PROJECT NO.	COTTAGE RENOVATION
CUSTOMER	GARRATT
SHEET TITLE	ROOF PLAN

DATE	MAY 28, 2025	SHEET NUMBER	A-6
SCALE	3/16" = 1'-0"		
DESIGNER	RP		
CHECKED BY	JA		

**THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES**

**BY-LAW NUMBER 2025-XXX**

**Being a By-law to amend Comprehensive Zoning By-law  
2014-14, as amended, in the Township of Muskoka Lakes**

**WHEREAS** the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

**AND WHEREAS** By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

**AND WHEREAS** the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

**NOW THEREFORE** the Council of the Corporation of the Township of Muskoka Lakes enacts as follows:

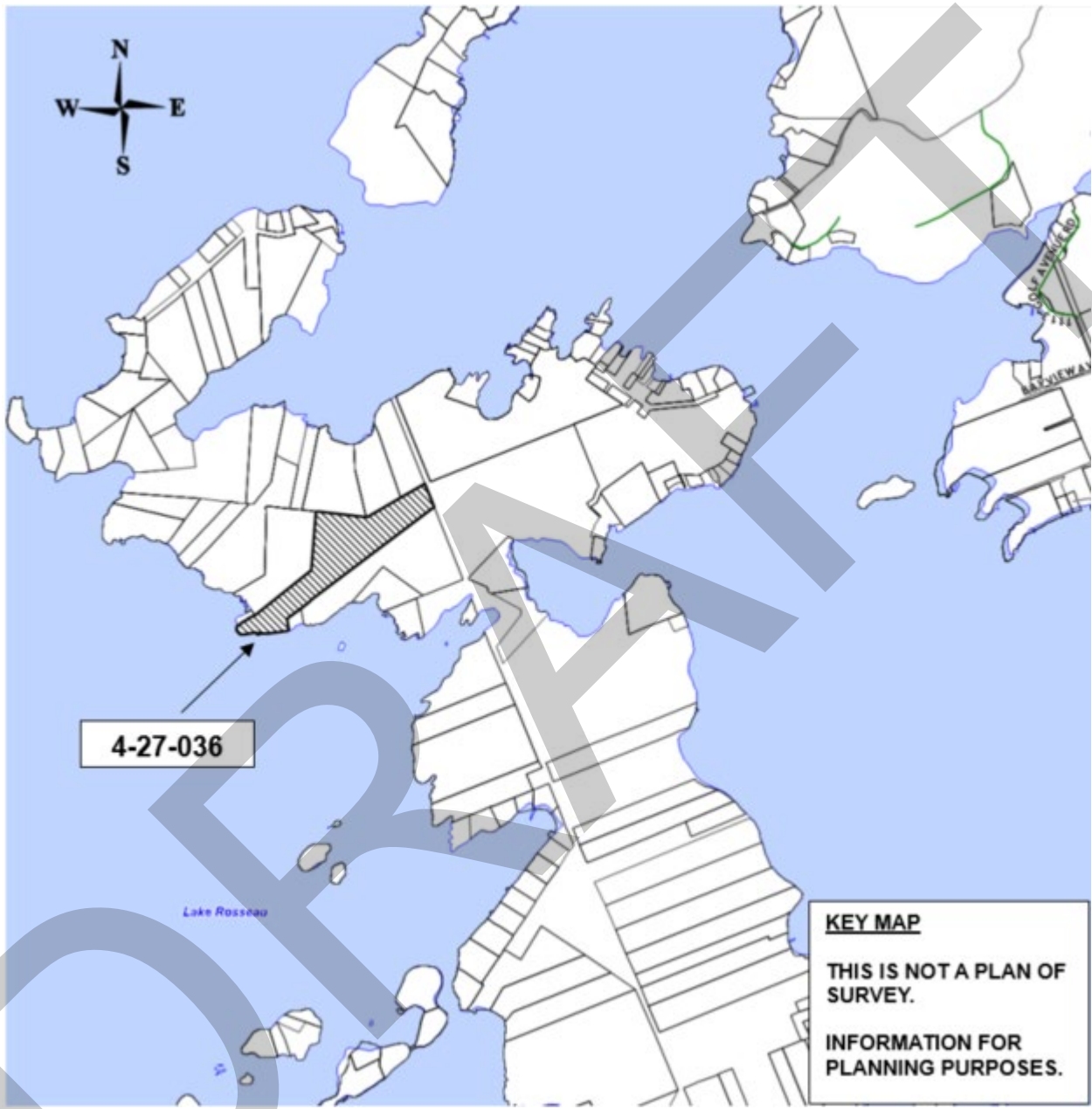
1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:
  - 87-XXXX i) The lands affected by this amendment are described as Part of Lots 7 & 8, Concession B, (in the former Township of Medora), now in the Township of Muskoka Lakes, more particularly described as Parts 2 to 5, 7 & 9 on Registered Plan 35R-12653 and Part 1 on Registered Plan 35R-22878, as shown hatched on Schedule I to By-law 2025-XXX.
  - ii) Despite the provisions of Sections 4.1.7 and 4.1.7.7 of Zoning By-law 2014-14, as amended, for those lands described above, a 650 sq. ft. sleeping cabin and a 400 sq. ft. covered area shall be permitted on the second storey of a two-storey boathouse, as shown in the location and extent on Schedule II to By-law 2025-XXX.
2. Schedules I and II attached hereto are hereby made part of this By-law.
3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2025-XXX and By-law 2014-14, as amended, the provisions of By-law 2025-XXX shall apply.

Read a **first, second and third time** and **finally passed** this \_\_\_\_\_ day of \_\_\_\_\_, **2025**.

\_\_\_\_\_  
Peter Kelley, Mayor

\_\_\_\_\_  
Crystal Paroschy, Clerk

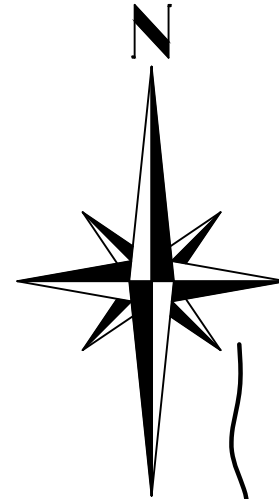
**SCHEDULE I TO DRAFT BY-LAW 2025-XXX**



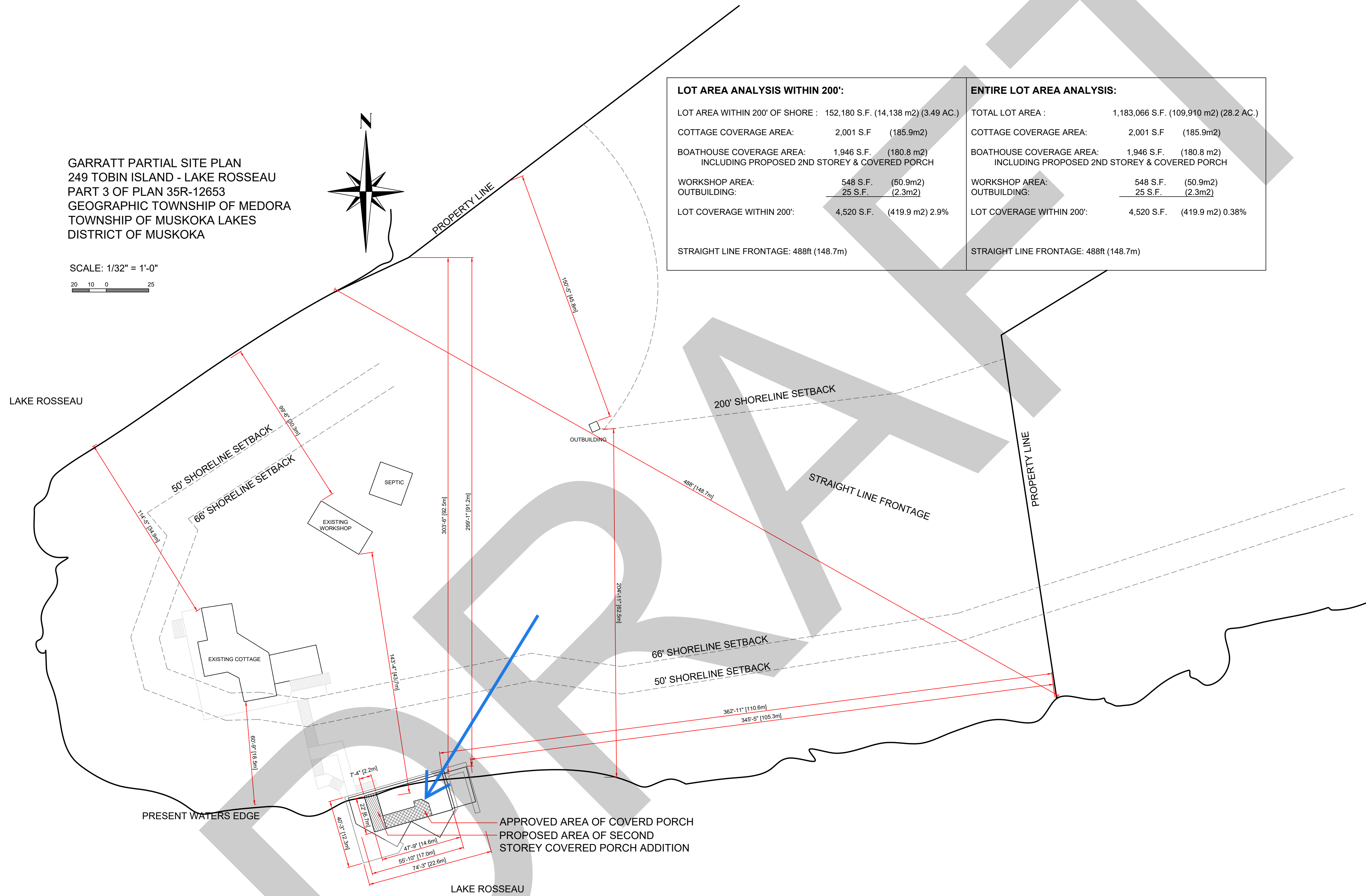
# SCHEDULE II TO DRAFT BY-LAW 2025-XXX

GARRATT PARTIAL SITE PLAN  
 249 TOBIN ISLAND - LAKE ROSSEAU  
 PART 3 OF PLAN 35R-12653  
 GEOGRAPHIC TOWNSHIP OF MEDORA  
 TOWNSHIP OF MUSKOKA LAKES  
 DISTRICT OF MUSKOKA

SCALE: 1/32" = 1'-0"



LOT AREA ANALYSIS WITHIN 200':		ENTIRE LOT AREA ANALYSIS:	
LOT AREA WITHIN 200' OF SHORE :	152,180 S.F. (14,138 m2) (3.49 AC.)	TOTAL LOT AREA :	1,183,066 S.F. (109,910 m2) (28.2 AC.)
COTTAGE COVERAGE AREA:	2,001 S.F. (185.9m2)	COTTAGE COVERAGE AREA:	2,001 S.F. (185.9m2)
BOATHOUSE COVERAGE AREA: INCLUDING PROPOSED 2ND STOREY & COVERED PORCH	1,946 S.F. (180.8 m2)	BOATHOUSE COVERAGE AREA: INCLUDING PROPOSED 2ND STOREY & COVERED PORCH	1,946 S.F. (180.8 m2)
WORKSHOP AREA:	548 S.F. (50.9m2)	WORKSHOP AREA:	548 S.F. (50.9m2)
OUTBUILDING:	25 S.F. (2.3m2)	OUTBUILDING:	25 S.F. (2.3m2)
LOT COVERAGE WITHIN 200':	4,520 S.F. (419.9 m2) 2.9%	LOT COVERAGE WITHIN 200':	4,520 S.F. (419.9 m2) 0.38%
STRAIGHT LINE FRONTAGE: 488ft (148.7m)		STRAIGHT LINE FRONTAGE: 488ft (148.7m)	



**1** SITE PLAN  
**S-1** 249 TOBIN ISLAND - LAKE ROSSEAU

NOT TO SCALE

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BY-LAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED.  
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. PROPERTY OF CEDARBUILT HOMES

DESIGN DATA FOR BRACEBRIDGE

GROUND SNOW LOAD: Ss: 3.1 kPa  
 ASSOC. RAIN LOAD: Sr: 0.4 kPa  
 WIND LOAD: 1/50: 0.35 kPa  
 ALLOWABLE SOIL BEARING: BEDROCK 500 kPa

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CIVIC ADDRESS  
 249 TOBIN ISLAND, MUSKOKA LAKES

LEGAL DESCRIPTION  
 XXXX

NO.	DATE	DESCRIPTION
3	-	-
2	-	-
1	-	-

REVISIONS

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PROJECT NO.

CUSTOMER  
**GARRATT**

SHEET TITLE  
**SITE PLAN**

DATE	SHEET NUMBER
JUNE 20, 2025	S-1

SCALE: 1/32" = 1'-0"  
 DESIGNER: RP  
 CHECKED BY: JA