



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

PLANNING COMMITTEE NOTICE OF PUBLIC MEETING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

Take notice that the Council for the Corporation of the Township of Muskoka Lakes will be considering an application for a proposed Amendment to Zoning By-law 2014-14 pursuant to Section 34 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended.

File No.: ZBA-07/26

Roll No.: 4-5-082

By-law No.: To Be Assigned

Owners:	Stephanie and Paul Coffey
Address:	4768 Muskoka Rd 169, Unit #4
Description:	Part of Lots 6 and 7, Concession 8, Parts 1-3 and 4, Plan 35R-5894 (Medora)
Zoning:	Waterfront Residential – Highly Sensitive or Over Threshold Lakes (WR4) Lake: Lake Joseph (Category 1 Lake) Schedule: 27
Meeting Date: Thursday, May 14th, 2026, at 9:00 a.m.	



Take further notice that this public meeting will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code. Please note there may be a delay when the physical notice signs are posted and when the electronic copy of the Notice is available online.

Explanation of the Purpose and Effect:

A Zoning By-law Amendment Application has been submitted to construct a two-storey boathouse with an oversized upper-storey covered area. The proposed boathouse is to be taken from a property located at the property municipally known as 1 Island J24 (4-24-039) and relocated to the subject lands.

Exemption	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Relief	Proposal
A	4.1.7 and 4.1.7.7	Maximum Permitted Second Storey Boathouse Size on a Category 1 Lake (Lake Joseph) with ≥ 400 ft. of Lot Frontage	650 sq. ft. (Sleeping Cabin or Covered Area) + 250 sq. ft. (Total 900 sq. ft.) Covered Area	650 sq. ft. Sleeping Cabin + 515 sq. ft. Covered Area (Total = 1,165 sq. ft.)	265 sq. ft.	Construct a Two-Storey Boathouse with an Oversized Covered Area



A key map of the subject property, the applicant's zoning sketch and any drawings, and a draft By-law are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



If you wish to provide a response to this application, please submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **May 7th, 2026**

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating, please visit www.muskokalakes.ca/speaking-at-a-meeting

Watch the Meeting Online



You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN MEETING: If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

REQUIREMENT FOR OWNERS OF MULTI-TENANT BUILDINGS: Upon receiving this Notice, owners of multi-tenant buildings with seven (7) or more residential units are asked to post this Notice in a location that is clearly visible to all tenants (i.e. building or community notice board), in accordance with O.Reg 545/06.

NOTICE OF PASSING & APPEALS: If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect to this application, you must make a written request to planning@muskokalakes.ca.

Furthermore, if a person or public body would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.



Notwithstanding the above, subsection 34(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

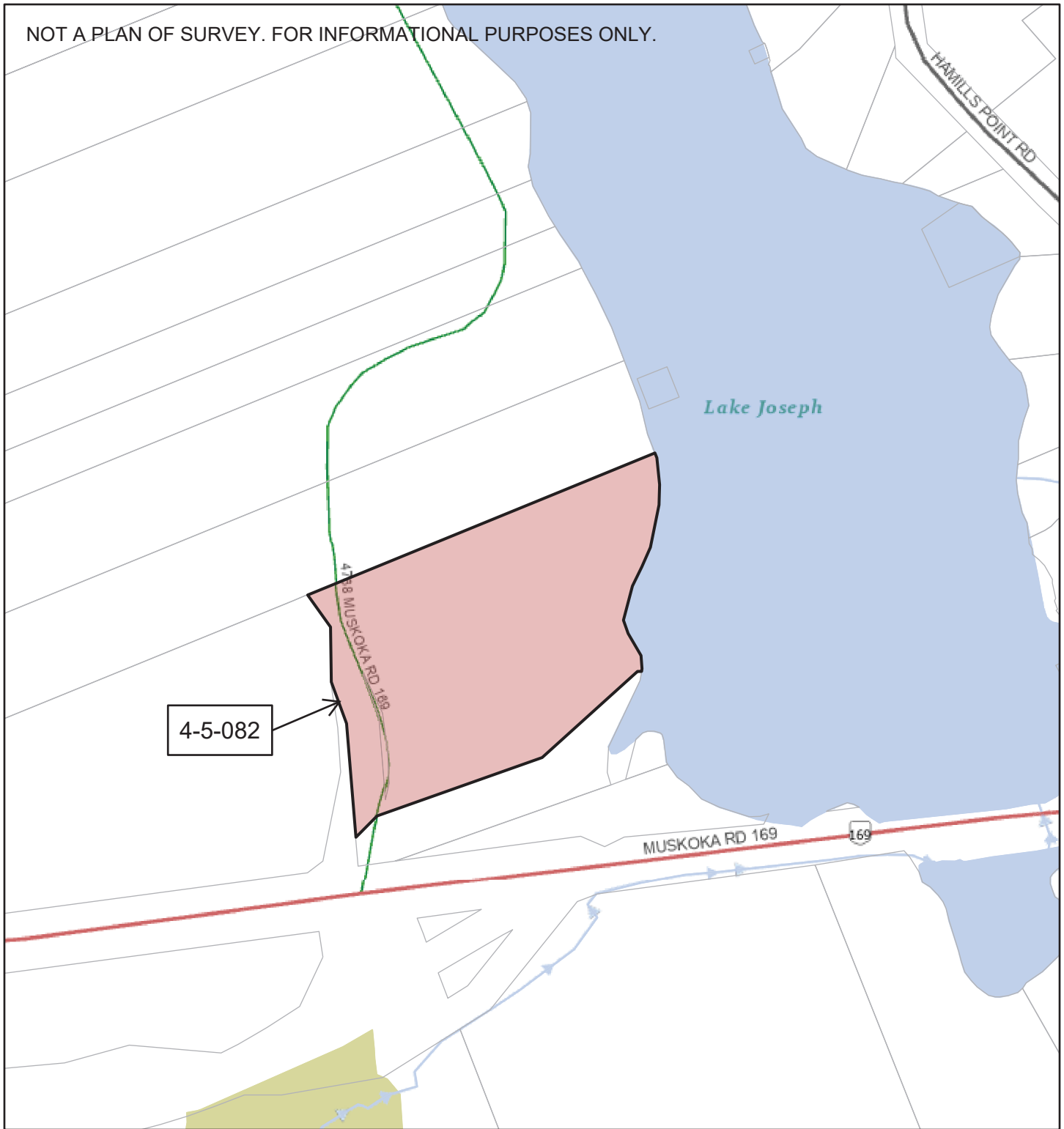
Dated at the Township of Muskoka Lakes this 23rd day of April, 2026.

Crystal Best-Sararas, Clerk
Corporation of the Township of Muskoka Lakes



Key Map, ZBA-07/26 (COFFEY)

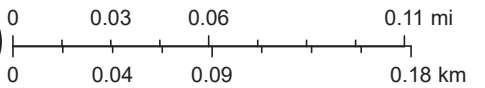
NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.



3/2/2026, 9:58:30 AM

1:4,837

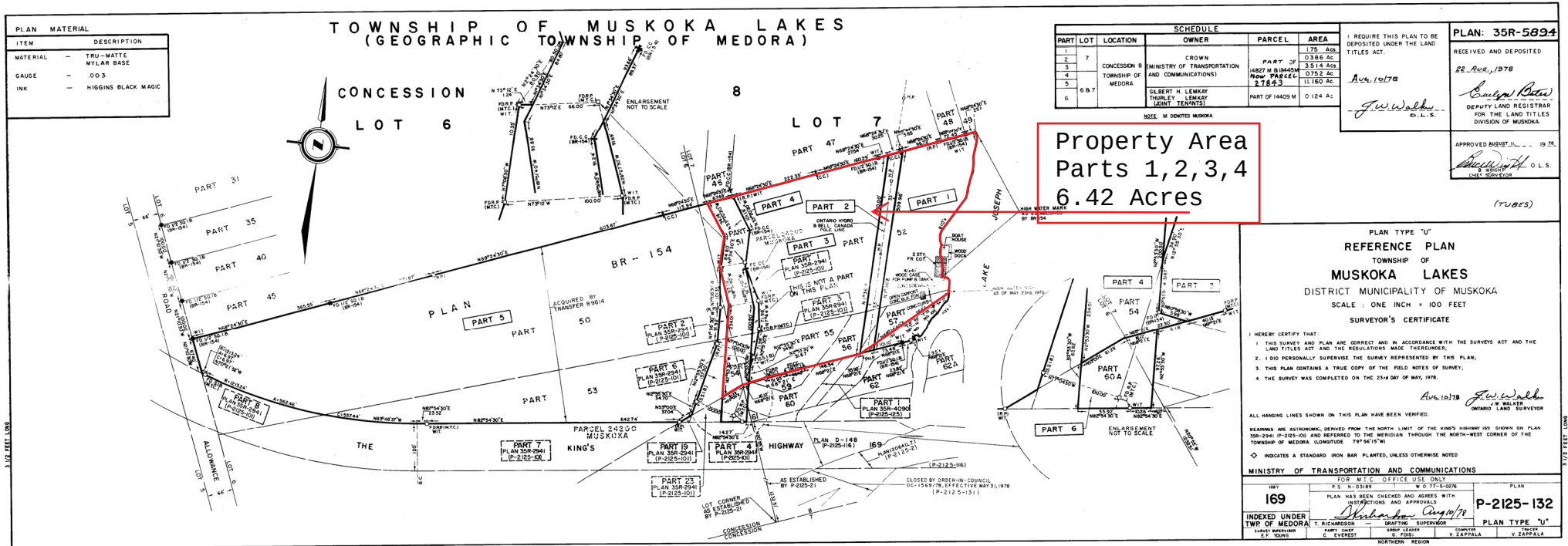
- | | | |
|-----------------------|---------------------------|-----------------|
| Parcel: Assessment | Road Network | Evaluated-Other |
| District Municipality | District | Stream |
| Area Municipality | Township | Waterbody |
| Geographic Township | Private | Major Lake |
| Civic Addresses | Wetland With Significance | World_Hillshade |
| | Evaluated-Provincial | |



Sources: NRCan, Esri, Canada, and Canadian Community Maps contributors., Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyreisen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community

SURVEY

Survey



NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY



Live Lake Level (approximate)
—

Live River/Lake Gauges
📍

Historically Flooded Roadways
➡

Parcels
Parcel: Assessment
□

Building Footprint
Building Footprint
■

Wetland With Significance
■ Evaluated-Provincial
■ Evaluated-Other

Floodline Mapping (2020's)
▨ Static Floodline Elevation
▨ Floodway
▨ Floodline

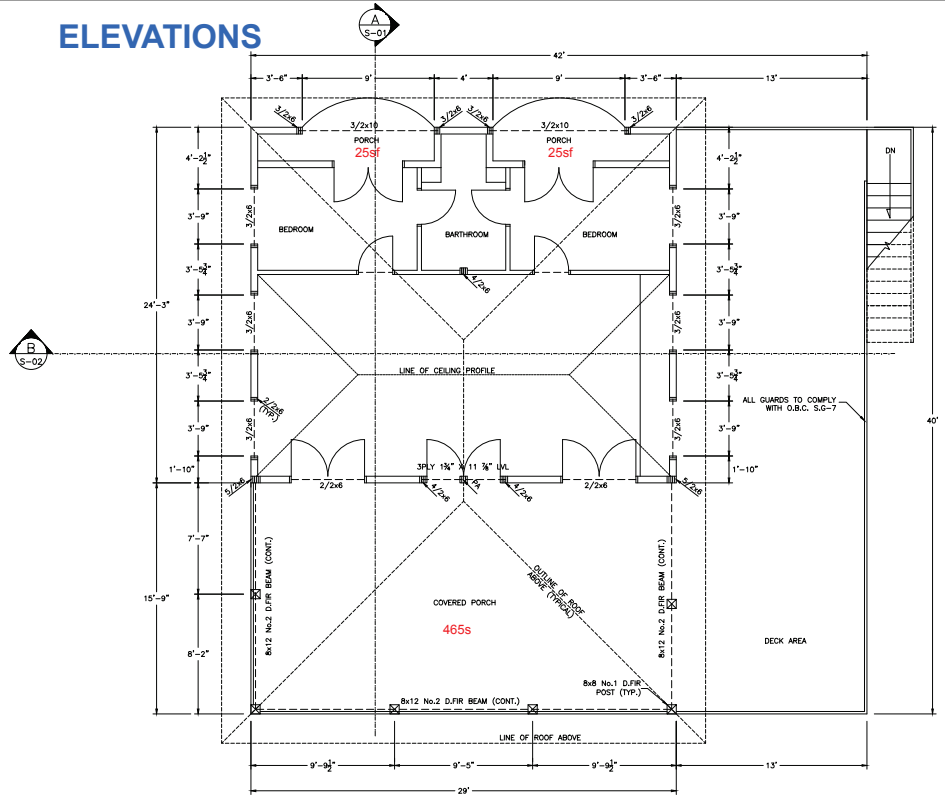
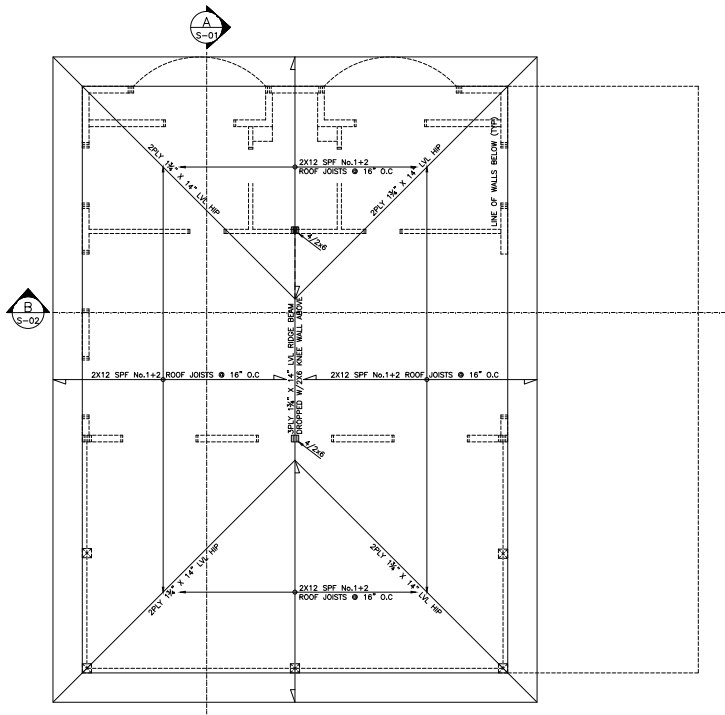


GIS Imagery

GIS IMAGERY

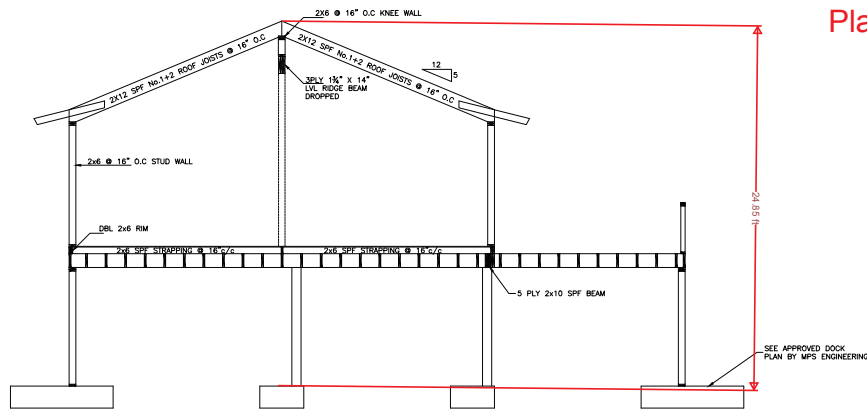
FOR INFORMATIONAL PURPOSES ONLY

ELEVATIONS



UPPER LEVEL

Plans for ZBA Reference Purposes Only



CROSS SECTION B-B

- NOTES:
1. PROVIDE SOLID BEARING TO BEAMS OR STEEL DOCK FOUNDATION AT POINT LOADS OR BEARING WALLS.
 2. PROVIDE WIND BRACING AS PER O.B.C.
 3. WOOD TO WOOD CONNECTIONS SHALL BE ACCOMPLISHED WITH APPROVED SIMPSON STRONG-TIE CONNECTORS OR BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
 4. CONTRACTOR MUST CONFORM WITH ALL APPLICABLE CODES AND ALL OTHER REGULATORY BODIES HAVING JURISDICTION.
 5. DRAWINGS FOR USE BY JAMIE BLAIR EXCLUSIVELY.
 6. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 7. ALL DIMENSIONS ON PLAN WILL BE TO BEAM CENTRES AND WALL EDGES.
 8. PROVIDE LAMINATED S.P.F. POSTS BELOW ALL BEAMS, HIPPS & VALLEYS. (POST WIDTH TO EQUAL BEAM WIDTH - MINIMUM)
 9. BOATHOUSE SHALL BE SITUATED ON STEEL DOCK ACCORDING TO STRUCTURAL PLANS D-01 BY MPS ENGINEERING & DESIGN SERVICES INC.
 10. LAMINATED S.P.F. OR P.T. BEAMS SHALL BE FASTENED AS PER O.B.C.
 11. ALL WELDING SHALL BE UNDERTAKEN BY A FABRICATOR CERTIFIED BY THE CWB TO THE REQUIREMENTS OF CSA STANDARD W59 AND W47.1.
 12. ALL BOLTS SHALL BE A307 GRADE - MINIMUM.
 13. ALL PLATE STEEL SHALL BE A36 GRADE - MINIMUM.
 14. ALL LVL SHALL BE 2000F-2.0E GRADE - MINIMUM.
 15. ALL PSL POSTS SHALL BE 2000F-1.8E GRADE - MINIMUM.
 16. ALL FLOOR(S) SHEATHING SHALL BE 5/8" TAG SPRUCE GLUE-NAILED TO JOISTS UNLESS NOTED OTHERWISE.
 17. ALL DECKS AND GUARDS TO COMPLY WITH O.B.C. 9.8.8 AND 50-7.
 18. THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND MAY NOT BE COPIED WITHOUT THE ENGINEER'S APPROVAL AND ARE SUBJECT TO RETURN UPON REQUEST.
 19. STRUCTURAL STEEL FABRICATOR TO PROVIDE SHOP DRAWINGS FOR ALL CONNECTIONS, PRIOR TO FABRICATION, FOR ENGINEER'S REVIEW.

3	REVISED ROOF	10/20/04
2	REVISED DOCK WIDTH	11/24/04
1	ISSUED FOR PERMIT	10/15/04
NO.	REVISIONS	DATE

MUSKOKA-PARRY SOUND ENGINEERING & DESIGN SERVICES INC.
 1000 GARDNER (705) 746-8220
 PARRY SOUND (705) 746-8982

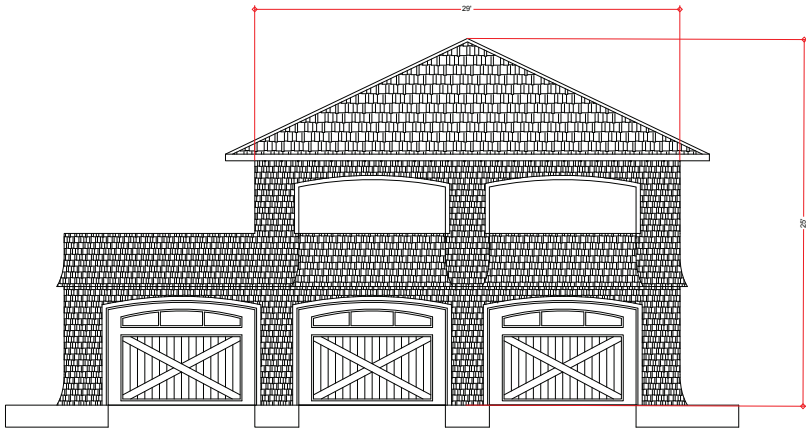
DRAWN BY: J. CUNNINGHAM
 CHECKED BY: J. BALL
 DATE: SEPT. 7, 2004

SCALE: 1/4" = 1'-0"

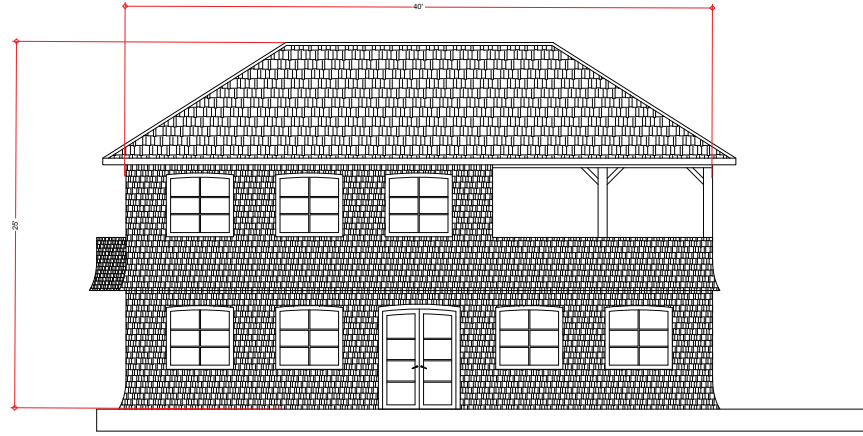
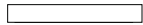
"BLAIR BOATHOUSE"
 LAKE JOSEPH
 ROOF, UPPER
 FRAMING PLAN
 SECTION B-B

DRAWING NUMBER: S-02
 REV. NO.:

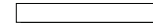
ELEVATIONS



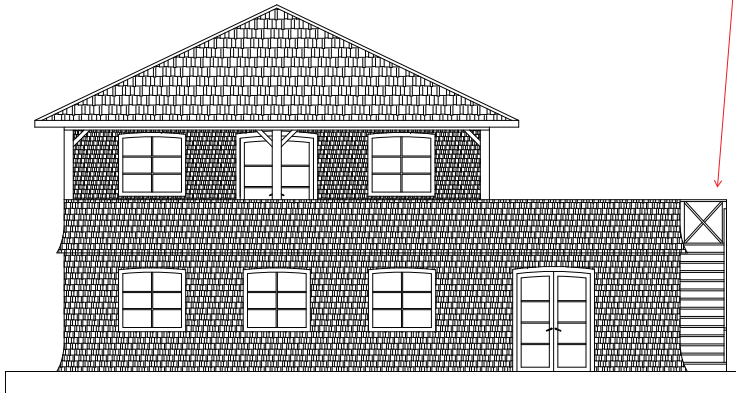
South



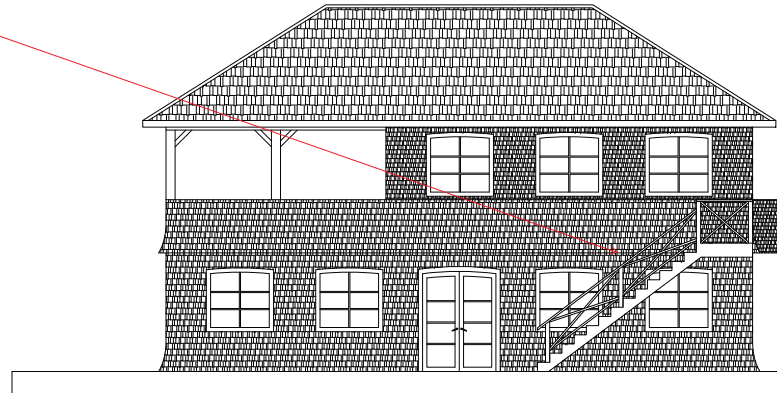
East (Front)



Stairs from dock to provide safe access to second floor



North



West (Rear)



Plans for Minor Variance Reference Purposes Only

-NOT FOR CONSTRUCTION	
2	REVISED DOCK WIDTH 11/24/04
1	ISSUED FOR PERMIT 11/11/04
REVISIONS DATE	
MUSKOKA-PARRY SOUND ENGINEERING & DESIGN SERVICES INC. PARRY SOUND (705) 745-9982	
DRAWN BY: J. CUNNINGHAM	SCALE: 1/4" = 1'-0"
CHECKED BY: J.BALL	DATE: SEPT. 7, 2004
DRAWING NUMBER	
"BLAIR BOATHOUSE" LAKE JOSEPH	
ELEVATIONS	
DRAWING NUMBER	REV. NO.
A-01	

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

BY-LAW NUMBER 2026-XXX

**Being a by-law to amend Comprehensive Zoning By-law
2014-24, as amended, in the Township of Muskoka Lakes**

WHEREAS the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

AND WHEREAS By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

AND WHEREAS the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF
MUSKOKA LAKES ENACTS AS FOLLOWS:**

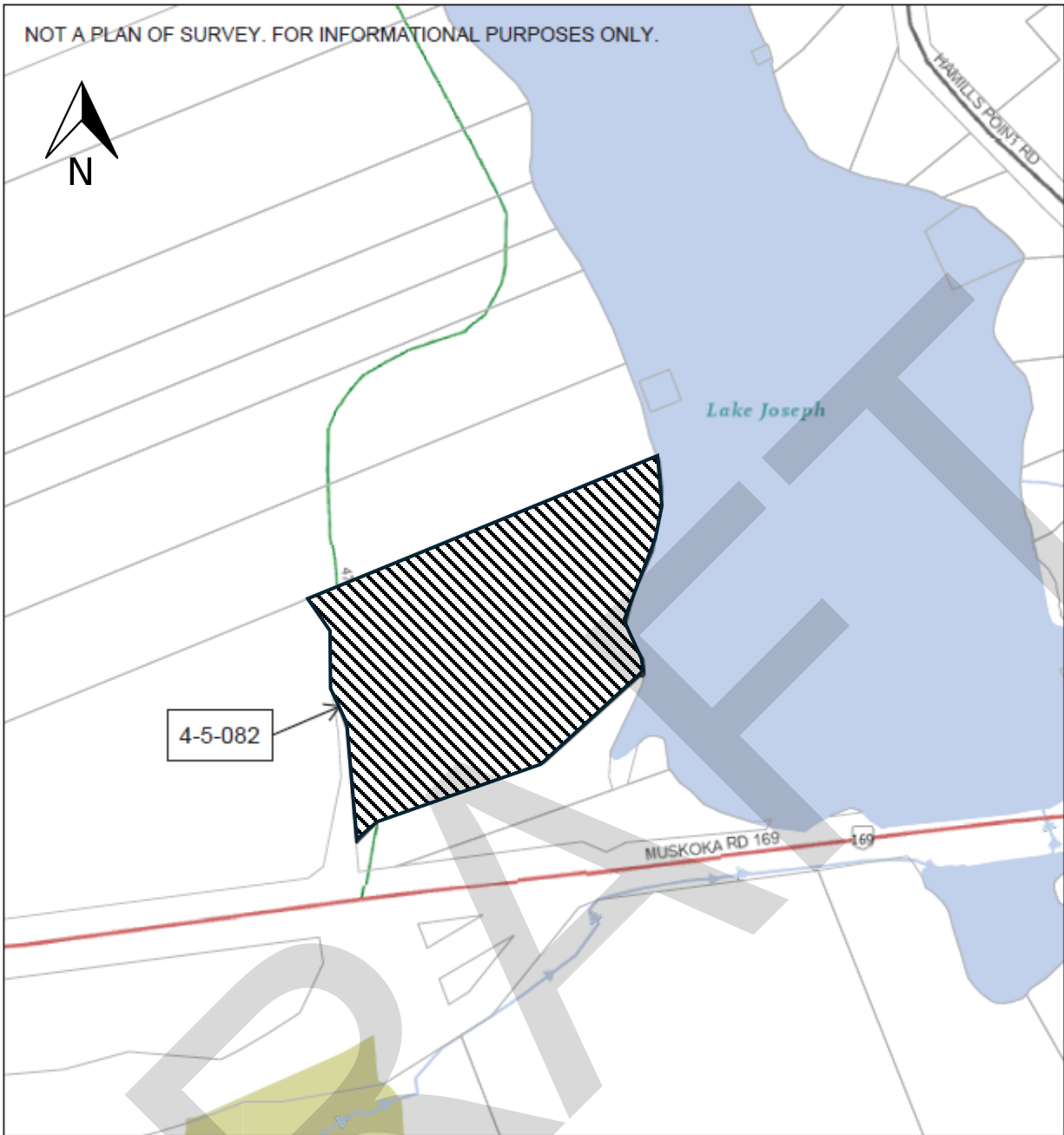
1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:
 - 87-XXXX i) The lands affected by this amendment are described as Part of Lots 6 and 7, Concession 8, (in the former Township of Medora), now in the Township of Muskoka Lakes, more particularly described as Parts 1-3 and 4, Plan 35R-5894, as shown hatched on Schedule I to By-law 2026-XXX.
 - ii) Despite the provisions of Section 4.1.7 and 4.1.7.7 of Zoning By-law 2014-14, as amended, for those lands described above, the maximum permitted second-storey size of a two-storey boathouse shall be 1,165 square feet, consisting of a 650 square foot sleeping cabin and a 515 square foot covered area, as shown in the location and extent on Schedule II to By-law 2026-XXX.
2. Schedules I and II attached hereto are hereby made part of this By-law.
3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2026-XXX and By-law 2014-14, as amended, the provisions of By-law 2026-XXX shall apply.
4. That this by-law shall come into force and take effect _____, 2026.

Read a **first, second and third time** and **finally passed** this ___th day of _____, 2026.

Mayor Peter Kelley

Crystal Best-Sararas, Clerk

SCHEDULE I TO DRAFT BY-LAW 2026-XXX



SCHEDULE II TO DRAFT BY-LAW 2026-XXX

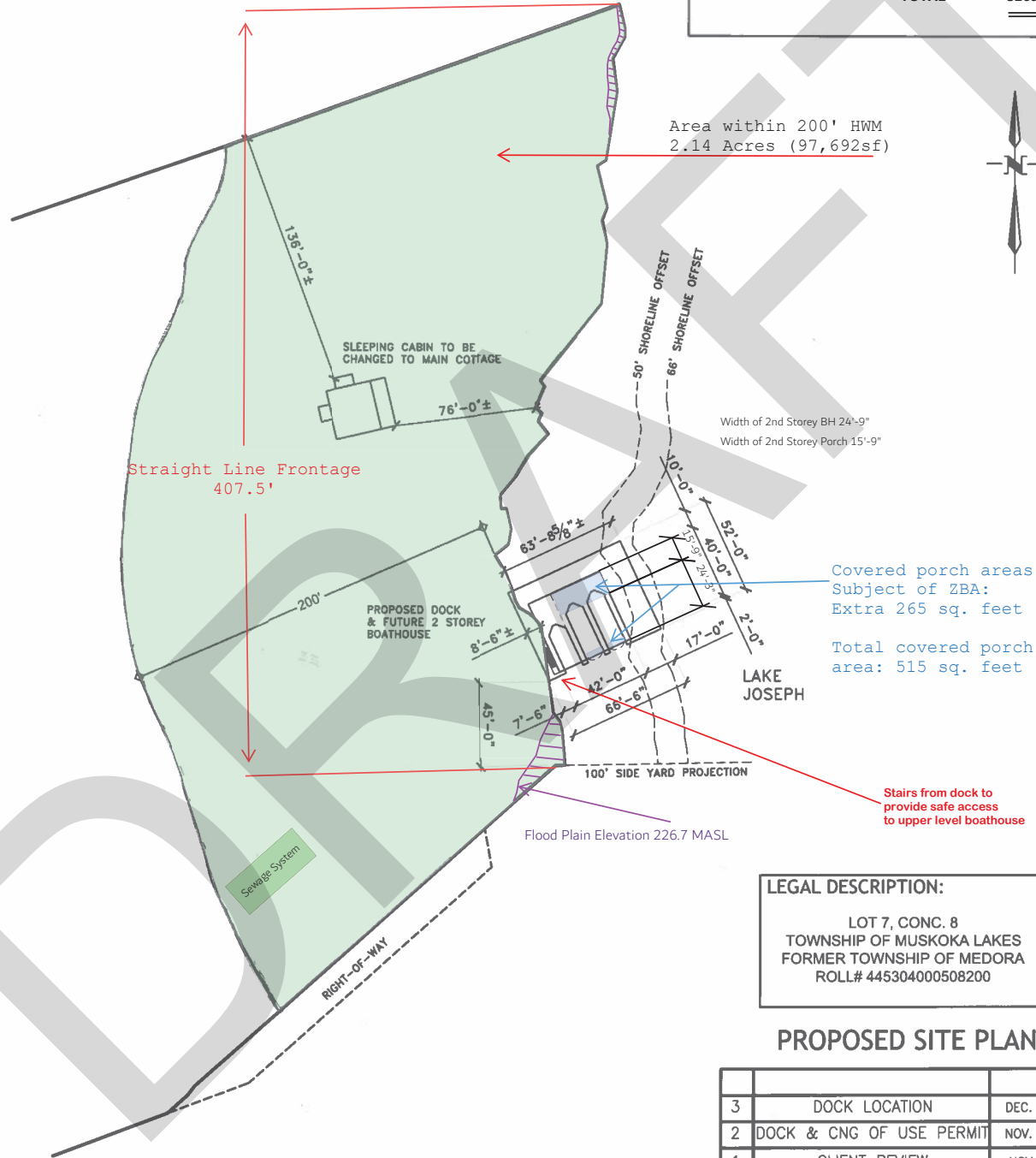
ZBA Site Plan

4-4678 Muskoka Road 169

4453 040 005 08200

SITE STATISTICS

LOT AREA:	
TOTAL LOT AREA	6.4 Acres
TOTAL LOT AREA WITHIN 200'	97692 ft ² ±
LOT COVERAGE WITHIN 200' (10%)	9769.2 ft ² ±
STRAIGHT LINE FRONTAGE	407.5'±
PROPOSED LOT COVERAGE:	
EXISTING SLEEPING CABIN (CHANGE OF USE TO MAIN COTTAGE)	966.4 ft ² ±
FUTURE 2 STOREY BOATHOUSE	1680 ft ² ±
PROPOSED DOCK	2623 ft ² ±
TOTAL =	5269.4 sf



Area within 200' HWM
2.14 Acres (97,692sf)

Straight Line Frontage
407.5'

Covered porch areas
Subject of ZBA:
Extra 265 sq. feet

Total covered porch
area: 515 sq. feet

Stairs from dock to
provide safe access
to upper level boathouse

LEGAL DESCRIPTION:

LOT 7, CONC. 8
TOWNSHIP OF MUSKOKA LAKES
FORMER TOWNSHIP OF MEDORA
ROLL# 445304000508200

PROPOSED SITE PLAN

3	DOCK LOCATION	DEC. 18, 2025
2	DOCK & CNG OF USE PERMIT	NOV. 10, 2025
1	CLIENT REVIEW	NOV. 7, 2025
NO.	ISSUE-REVISIONS	DATE

PROJECT: "COFFEY" BOATHOUSE	
LOCATION: 4768, UNIT 6 MUSKOKA ROAD 169 TOWNSHIP OF MUSKOKA LAKES	
DRAWN BY: CH	SCALE: 1" = 57'-0"
CHECKED BY: CH	DATE: NOV. 4, 2025
DRAWING NUMBER	SP 1.1



**MUSKOKA - PARRY SOUND
ENGINEERING & DESIGN SERVICES INC**
Phone 705.765.0520 • Fax 705.765.0518

NOT TO SCALE