



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended.

File No.: A-17/26
Roll No.: 2-9-072-02

Owners:	David & Kevin Beswick
Address:	1051 Montgomery Drive, Unit #4
Description:	Lot 29, Concession 5, Parts 5 and 6, Plan 35R-9259, (Watt)
Zoning:	Waterfront Residential Steep Slopes and/or Narrow Waterbody - (WR5-7) Lake Rosseau (Category 1 Lake) Schedule: 23 & 30
Hearing Date: Friday, May 15th, 2026 at 9:00 a.m.	



Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code. Please note there may be a delay when the physical notice signs are posted and when the electronic copy of the Notice is available online.

Explanation of the Purpose and Effect:

The applicants propose to construct a new two storey boathouse. A dock is currently under construction. A dock and single storey boathouse were previously demolished. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3 & 4.1.3.6	Maximum Permitted Lot Coverage – Entire Lot	10% (5,800.7 sq. ft.)	10.9% (6,305.5 sq. ft.)	0.9% (504.8 sq. ft.)	Construct a Two Storey Boathouse
B	4.1.3, 4.1.3.6 & 4.1.3.7	Maximum Permitted Lot Coverage – within 200 ft. of High Water Mark	10% (5,733.4 sq. ft.)	11% (6,305.5 sq. ft.)	1% (572.1 sq. ft.)	
C	4.1.7 & 4.1.7.12 a) & c)	Maximum Cumulative Boathouse Width – First Storey	16%/ 50 ft.	16.5%/ 51.5 ft.	0.5%/ 1.5 ft.	

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



If you wish to provide a response to this application, please submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **May 6, 2026.**

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating, please visit www.muskokalakes.ca/speaking-at-a-meeting

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies, a “specified person” (as defined by the Planning Act 1(1)), and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

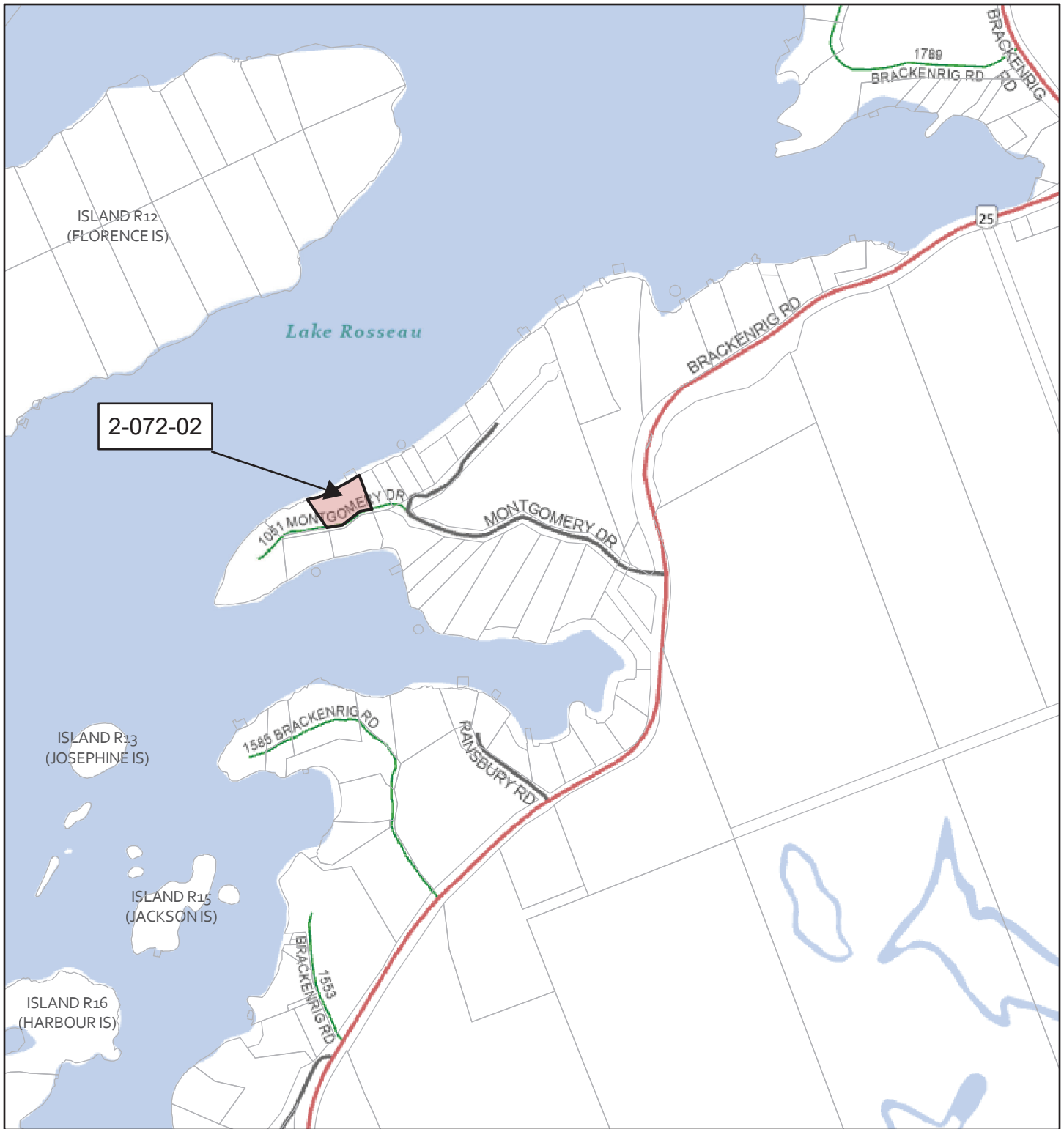
PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 22nd day of April, 2026.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



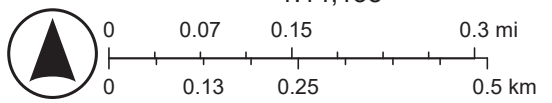
KEY MAP (A-17/26)



NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

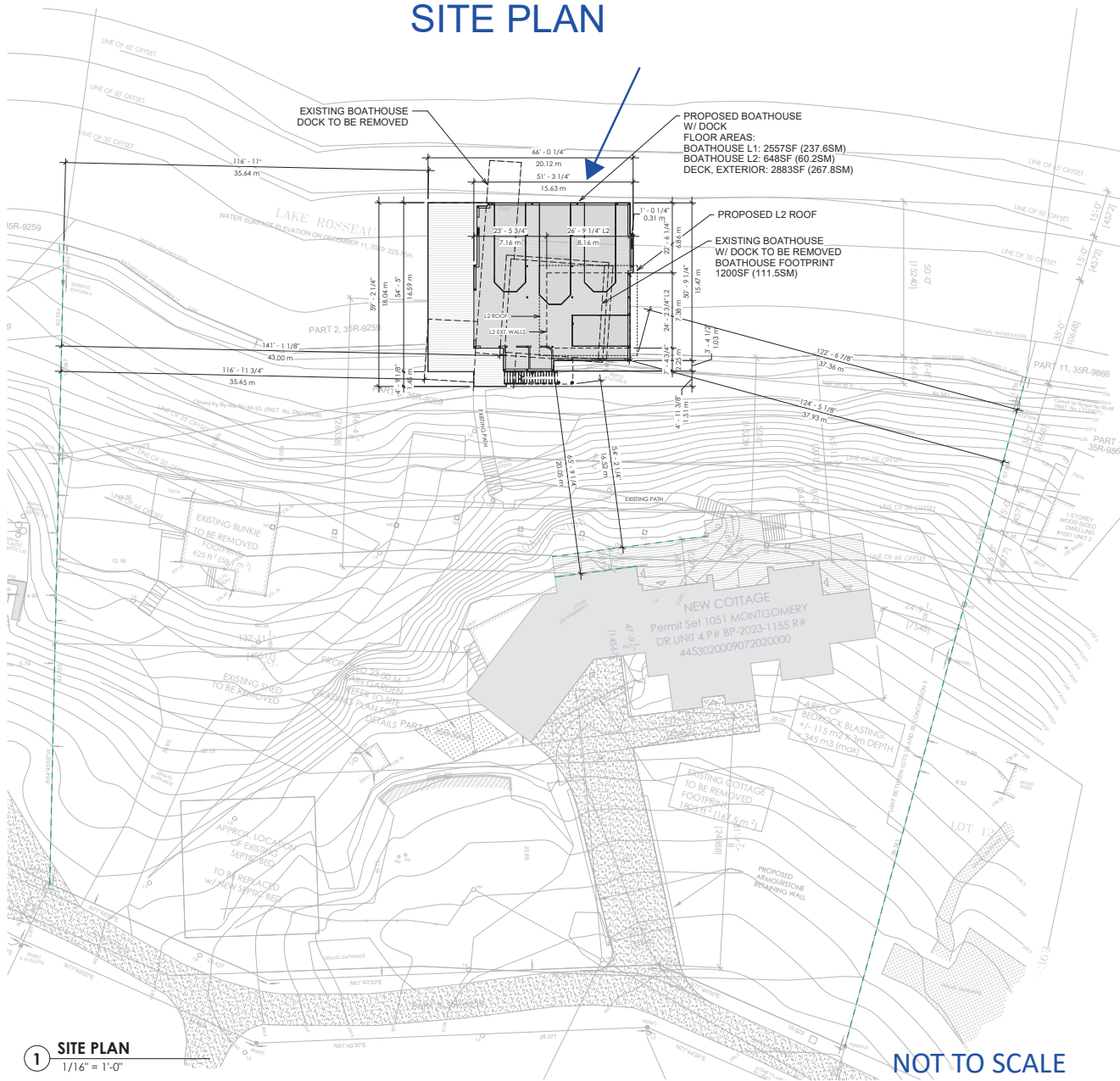
1:14,138

- | | | |
|-----------------------|---------------------------|------------------|
| Parcel: Assessment | Road Network | Evaluated-Other |
| District Municipality | District | Waterbody |
| Area Municipality | Township | Major Lake |
| Geographic Township | Private | Canada_Hillshade |
| | Wetland With Significance | World_Hillshade |
| | Evaluated-Provincial | |



Sources: NRCan, Esri Canada, and Canadian Community Maps contributors., Esri, NASA, NGA, USGS, FEMA

SITE PLAN



1 SITE PLAN
1/16" = 1'-0"

NOT TO SCALE



PROPOSED BOATHOUSE & DOCK FLOOR AREAS	
BUILDING AREA	342.0m ²
BUILDING AREA FOR MARINE	342.0m ²
FOOTPRINT INCLUDING OPEN DECK, STAIR & ROOF OVERHANG	344.1m ²
BOATHOUSE MAIN FLOOR	237.6m ²
BOATHOUSE SECOND FLOOR	60.2m ²
OPEN LOWER DECK	83.8m ²
COVERED LOWER DECK	4.3m ²
OPEN UPPER DECK	145.5m ²
COVERED UPPER DECK	14.0m ²
TOTAL LOWER DECK	88.2m ²
TOTAL UPPER DECK	179.6m ²

TOPOGRAPHIC PLAN
DATE: 07/20/23
PART OF THE ORIGINAL SHORE ROAD ALLOWANCE IN FRONT OF LOT 26, CONCESSION 5 (CLOSED BY 89-108 84-53, 09/18/93) AND PART OF LOT 26, CONCESSION 5 BEING PARTS 9 AND 10, 35R-9259 (GEOGRAPHIC TOWNSHIP OF WAT) TOWNSHIP OF WINDWARD LAKES DISTRICT MUNICIPALITY OF MUSKOKA DECEMBER 26, 2020.

SITE STATISTICS				
ZONE: W87-1 LAKE CATEGORY 1, 91.4 m - 122.0 m LAKE FRONTAGE ZONING BY-LAW 9224 14				
	REQUIRED	EXISTING	PROPOSED	REMARKS
PRIMARY COTTAGE				
LOT AREA	65.6m ² (8000.0 sq ft)	589.0 m ²	589.0 m ²	(NO CHANGE)
LOT AREA - WITHIN 20% OF ABOVE HIGH WATER MARK		589.0 m ²	589.0 m ²	(NO CHANGE)
LOT FRONTAGE - ROAD FRONT	91.4 m (300 ft)	91.4 m	91.4 m	(NO CHANGE)
LOT FRONTAGE - WATERFRONT FRONT	91.4 m (300 ft)	93.3 m	93.3 m	(NO CHANGE)
REAR YARD SETBACK - SOUTH ROAD	20.1 m (66 ft)	22.8 m	24.7 m	COMPLIES
REAR YARD SETBACK - WATERFRONT (BEHIND FRONT YARD SETBACK)	20.1 m (66 ft)	21.6 m	23.3 m	COMPLIES
FRONT YARD SETBACK - NORTH WATERFRONT DECK (UNCOVERED)	15.2 m (50 ft)	15.2 m	15.2 m	COMPLIES
INTERIOR SIDE YARD SETBACK - EAST	4.6 m (15 ft)	29.3 m	7.5 m	COMPLIES
INTERIOR SIDE YARD SETBACK - WEST	4.6 m (15 ft)	45.6 m	45.6 m	COMPLIES
BUILDING HEIGHT - LOWER EXTERIOR GRADE TO ROOF PEAK	10.7 m (35 ft)	11.7 m	11.7 m	MINOR VARIANCE EXCEEDS
LOT COVERAGE - CATEGORY 1 - ALL BUILDINGS W/ 30% OF PRIMARY BUILDING	106.53% (64.8 m ²)	4.36% (2.7 m ²)	35.5% (22.6 m ²)	MINOR VARIANCE EXCEEDS
HABITABLE FLOOR AREA - ALL BUILDINGS TOTAL	(730.0 m ²) (84.6 m ²)	428.5 m ²	603 m ²	COMPLIES
HABITABLE FLOOR AREA - BOATHOUSE TOTAL		403 m ²	583 m ²	
HABITABLE FLOOR AREA - PRIMARY BUILDING TOTAL		242.4 m ²	197.2 m ²	
BASEMENT FLOORSPACE INCLUDING GARAGE, MECHANICAL RM		14.4 m ²	14.4 m ²	
GROUND FLOOR (INCLUDING SHED, GARAGE & SCREEN PORCH)		297.0 m ²	172.8 m ²	
SCREEN PORCH		41.0 m ²	41.0 m ²	
GARAGE		91.3 m ²	91.3 m ²	
SCREEN PORCH		18.9 m ²	18.9 m ²	
SCREEN PORCH		9.9 m ²	9.9 m ²	
SCREEN PORCH		6.4 m ²	6.4 m ²	
SCREEN PORCH		8.0 m ²	8.0 m ²	
SCREEN PORCH		19.7 m ²	19.7 m ²	
ALTERATION OF GRADE - INCL. BLASTING OF ROCK	345.0 m ³ (MAX)	N/A	343.0 m ³	COMPLIES

ACCESSORY STRUCTURE OVER WATER - DOCKS				
	REQUIRED	EXISTING	PROPOSED	REMARKS
LENGTH	20.1 m (66 ft)	18.3 m	18.0 m	COMPLIES
CUMULATIVE WIDTH - SHORELINE @ 91.3m	258.0 m (22.7 m MAX)	18.4 m (17.2%)	20.8 m (21.8%)	COMPLIES
INTERIOR SIDE YARD SETBACK - EAST	5.1 m (17 ft)	45.6 m	14.4 m	COMPLIES
INTERIOR SIDE YARD SETBACK - WEST	5.1 m (17 ft)	29.3 m	29.3 m	COMPLIES

ACCESSORY STRUCTURE OVER WATER - BOATHOUSE, 2 STOREYS W/ SUNDECK				
	REQUIRED	EXISTING	PROPOSED	REMARKS
LENGTH	15.2 m (50 ft)	15.3 m	15.2 m	COMPLIES
CUMULATIVE WIDTH - GROUND LEVEL	1.8 m (6 ft)	16.1 m (16.0%)	15.2 m (15.0%)	COMPLIES
CUMULATIVE WIDTH - SECOND LEVEL	1.8 m (6 ft)	N/A	8.2 m (8.4%)	COMPLIES
AREA - WATER LEVEL FOOTPRINT	N/A	N/A	187 m ²	
GIA - SECOND STOREY HABITABLE / COVERED AREA	40.4 m ² (434 ft ²)	181 m ²	483 m ²	COMPLIES
HIGH WATER MARK SETBACK - SECOND STOREY	10.7 m (35 ft)	N/A	9.8 m	COMPLIES
INTERIOR SIDE YARD SETBACK - EAST	15.7 m (52 ft)	45.6 m	14.4 m	COMPLIES
INTERIOR SIDE YARD SETBACK - WEST	15.7 m (52 ft)	45.6 m	45.6 m	COMPLIES
BUILDING HEIGHT	7.6 m (25 ft) (MAX)	4.0 m	7.4 m	COMPLIES
BUILDING HEIGHT - 15 DOCK SETBACK TO ROOF PEAK	9.0 m (30 ft)	5.0 m	5.9 m	COMPLIES
AREA - WATER LEVEL FOOTPRINT	N/A	207.7 m ²	241.7 m ²	N/A

GENERAL NOTES & SYMBOLS LEGEND	
	PROPERTY LINE
	REQUIRED SETBACK LINES - ZONING BY-LAW
	PROPOSED BUILDING OUTLINE
	EXISTING BUILDING OUTLINE - TO BE REMOVED
	PROPOSED EXTERIOR DECK (UNCOVERED)
	MAIN DOOR
	OVERHEAD GARAGE DOOR

No.	Description	Date
17	MINOR VARIANCE - COVERAGE	24.02.19
18	DOCK PERMIT	21.09.20
19	LAND USE PERMIT (LUBI) REVISION	21.04.20
14	LAND USE PERMIT (LUBI)	21.03.08
13	REV. FOR SITE PLAN APPROVAL	22.11.16
12	REV. FOR SITE PLAN APPROVAL	22.11.16
11	REV. FOR SITE PLAN APPROVAL	22.09.07
10	REV. FOR SITE PLAN APPROVAL	22.02.17
9	REV. FOR MINOR VARIANCE	01.07.14
8	REV. FOR MINOR VARIANCE	01.08.27
7	REV. FOR MINOR VARIANCE	01.05.14
6	REV. FOR MINOR VARIANCE	01.05.02
5	REV. FOR MINOR VARIANCE	01.02.20
4	FOR REVIEW (LUBI) FOR	01.01.05
3	FOR REVIEW (LUBI) SURVEY	01.01.03
2	FOR REVIEW	02.12.08
1	ISSUED FOR PERMIT	01.11.12

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

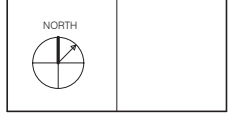
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CSPACE ARCHITECTURE

58-8841 GEORGE BOLTCH POINT BOULEVARD, ONTARIO L2R 2X8
T: 647-588-1784 E: info@cspacarc.co



PROJECT
BESWICK BOATHOUSE

4-1051 MONTGOMERY ROAD
PORT CARLING, ONTARIO

DRAWING TITLE
SITE PLAN

SCALE 1/16" = 1'-0"	PROJECT NO. 20.208
DRAWN BY Author	APPROVED Checker
	Y.M DATE 22.09.06

DRAWING NO.

A101

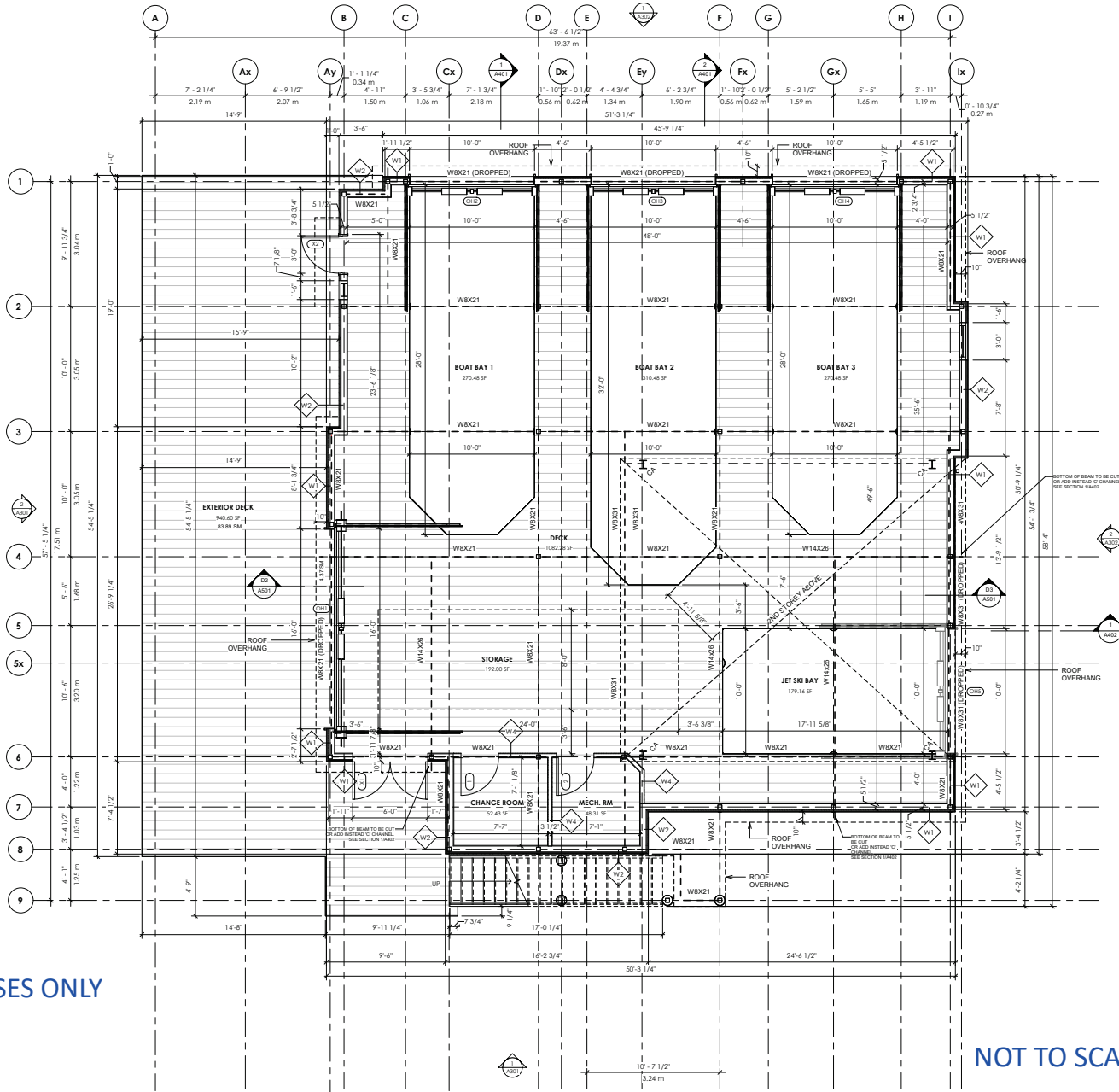
WALL SCHEDULE		
TAG	WALL DETAIL	WALL CONSTRUCTION (EXTERIOR TO INTERIOR)
W1		EXTERIOR STUD WALL ASSEMBLY (HORIZONTAL): <ul style="list-style-type: none"> 4" HORIZONTAL SIDING, COLOUR AS PER CLIENT SPEC ON 1x3 VERTICAL STRAPPING ON AIR BARRIER TAPPED @ SEAMS ON 1x10 PINE DSS SHEATHING ON 2x6 SPF STUDS @ 16" O.C. w/ FINISHED 1/2" SHEATHING AS PER CLIENT SPEC
W2		EXTERIOR STUD WALL ASSEMBLY (VERTICAL): <ul style="list-style-type: none"> 4" HORIZONTAL SIDING, COLOUR AS PER CLIENT SPEC ON 1x3 HORIZONTAL STRAPPING ON AIR BARRIER TAPPED @ SEAMS ON 1x10 PINE DSS SHEATHING ON 2x6 SPF STUDS @ 16" O.C. w/ FINISHED 1/2" SHEATHING AS PER CLIENT SPEC
W3		INTERIOR 2x4 STUD WALL ASSEMBLY (DECK LEVEL): <ul style="list-style-type: none"> FINISHED 1/2" SHEATHING AS PER CLIENT SPEC BOTH SIDES ON 2x4 SPF STUDS @ 16" O.C.
W4		INTERIOR 2x4 STUD WALL ASSEMBLY (DECK LEVEL): <ul style="list-style-type: none"> FINISHED 1/2" SHEATHING AS PER CLIENT SPEC BOTH SIDES ON 2x4 SPF STUDS @ 16" O.C.
W5		EXTERIOR STUD WALL ASSEMBLY (OCCUPANCY LEVEL): <ul style="list-style-type: none"> 4" HORIZONTAL SIDING, COLOUR AS PER CLIENT SPEC ON 1x3 VERTICAL STRAPPING ON AIR BARRIER TAPPED @ SEAMS ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON 2x6 SPF STUDS @ 16" O.C. w/ 4" MIN. R-24 POLYURETHANE SPRAY FOAM INSULATION ON 1/2" GYPSUM BOARD SHEATHING, TAPED AND SANDED
W6		INTERIOR 2x4 STUD WALL ASSEMBLY (OCCUPANCY LEVEL): <ul style="list-style-type: none"> 1/2" GYPSUM BOARD, TAPED AND SANDED 2x4 SPF STUDS @ 16" O.C. W66 CONTAINS 3 1/2" SOUND BATT INSULATION

FLOOR & ROOF SCHEDULE		
TAG	FLOOR DETAIL	WALL CONSTRUCTION (EXTERIOR TO INTERIOR)
F1		DOCK FLOOR: <ul style="list-style-type: none"> 28x120mm KEROBYN DECKING, COLOUR AS PER CLIENT SPEC ON 2X8 FLOOR JOISTS C/W MIN. 4" CCSPF INSULATION R24 ON TOP OF THE SLEEPERS STEEL FRAMING (REFER TO STRUCTURAL DRAWINGS)
F2		BOATHOUSE 2ND FLOOR: <ul style="list-style-type: none"> WOOD FLOORING, COLOUR AS PER CLIENT SPEC ON 2x6 FLOOR JOISTS C/W MIN. 4" CCSPF INSULATION R24 ON TOP OF THE SLEEPERS STEEL FRAMING (REFER TO STRUCTURAL DRAWINGS)
F3		DECK 2ND FLOOR: <ul style="list-style-type: none"> 28x120mm KEROBYN DECKING, COLOUR AS PER CLIENT SPEC ON 2x6 TAPPED SLEEPERS, INSTALL ICE & WATER SHIELD MEMBRANE ON TOP OF THE SLEEPERS 2 PLY MODIFIED BITUMEN ROOF MEMBRANE 4" TAPPED EPS RIGID INSULATION TO PROVIDE MIN. 1.5% SLOPE TO DRAIN 3/4" EXT. GRADE PLYWOOD 2X8 FLOOR JOISTS ON STEEL FRAMING (REFER TO STRUCTURAL DRAWINGS)
R1		BOATHOUSE ROOF: <ul style="list-style-type: none"> METAL COBBLE LOCKED STANDING SEAM 3/8" ENKAMAT 7010 OR EQUIVALENT TITANIUM P5120 SELF-ADHERED MEMBRANE 3/4" EXTERIOR GRADE PLYWOOD SHEATHING 2X8 WOOD TRUSSES @ 16" O.C. C/W MIN. 4" CCSPF INSUL R24 1/2" GYPSUM BOARD SHEATHING, TAPED AND SANDED

FLOOR PLANS

FOR INFORMATIONAL PURPOSES ONLY

1 DOCK LEVEL
1/4" = 1'-0"

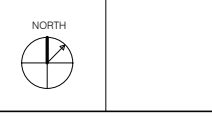


NOT TO SCALE

No.	Description	Date
1	LOCK FORMAT	02.09.09
2	LAND USE PERMIT (LUP)	03.03.08
3	FOR REVIEW	05.12.08

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OR OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. DO NOT SCALE DRAWINGS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED. COPYRIGHT RESERVED.

CSPACE ARCHITECTURE
58 BMT GEORGE BOLTON HWY. BOLTON, ON L7E 2M8
T: 647.888.1784 E: info@cspoolr.ca



PROJECT
BESWICK BOATHOUSE
4-1051 MONTGOMERY ROAD
PORT CARLING, ONTARIO

DRAWING TITLE
DOCK LEVEL PLAN

SCALE
1/4" = 1'-0"

PROJECT NO.
20.208

DRAWN BY
SE, JK

APPROVED
CP

Y.M DATE
22.09.06

DRAWING NO.

A201

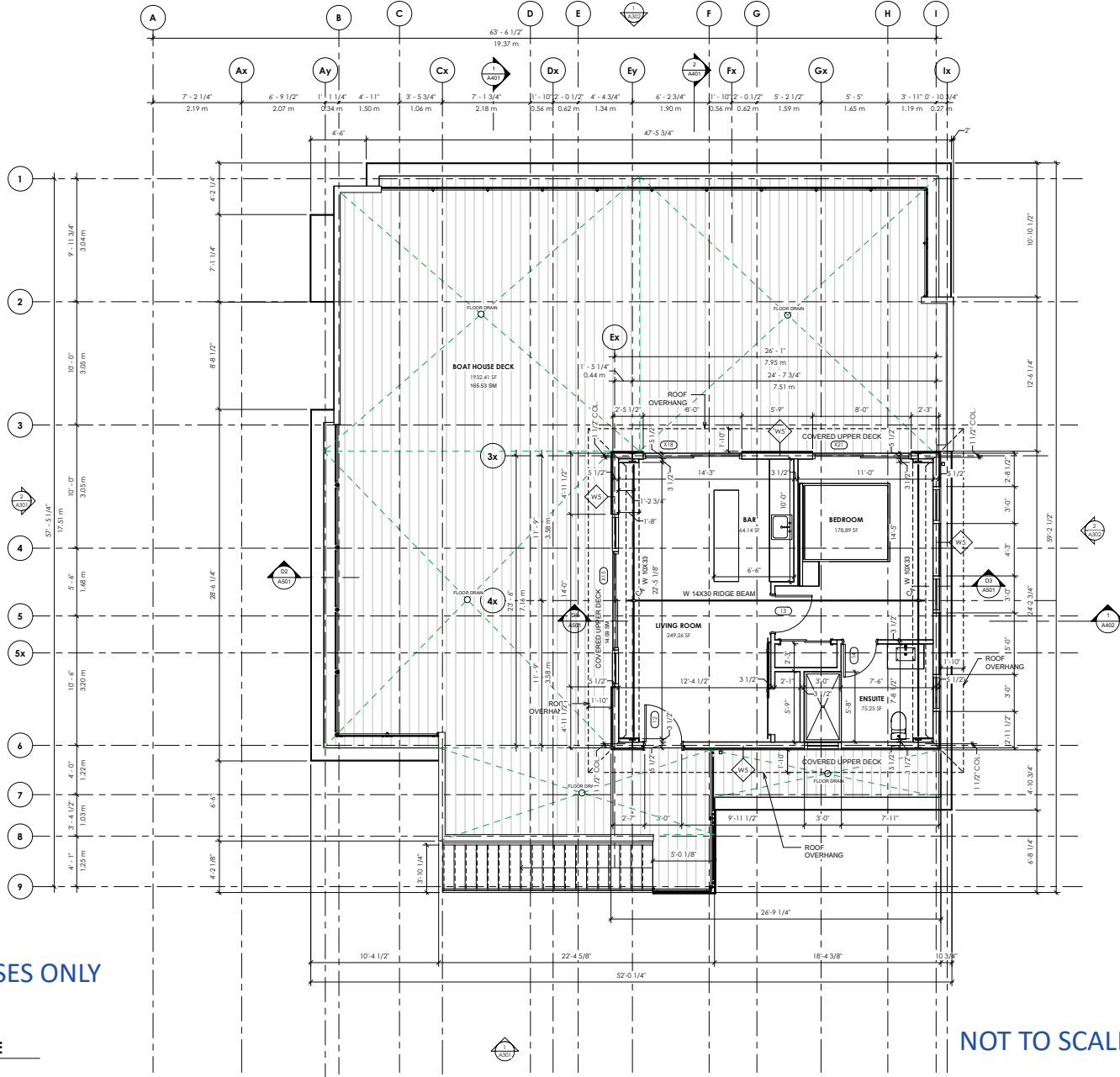
WALL SCHEDULE		
TAG	WALL DETAIL	WALL CONSTRUCTION (EXTERIOR TO INTERIOR)
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W2		EXTERIOR STUD WALL ASSEMBLY (VERTICAL): <ul style="list-style-type: none"> 4" VERTICAL SIDING, COLOUR AS PER CLIENT SPEC ON 1x3 HORIZONTAL STRAPPING ON AIR BARRIER TAPPED @ SEAMS ON 1x10 PINE D/S SHEATHING ON 2x6 SFF STUDS @ 16" O.C. w/ FINISHED 1/2" SHEATHING AS PER CLIENT SPEC
W3		INTERIOR 2x4 STUD WALL ASSEMBLY (DECK LEVEL): <ul style="list-style-type: none"> FINISHED 1/2" SHEATHING AS PER CLIENT SPEC BOTH SIDES ON 2x4 SFF STUDS @ 16" O.C.
W4		INTERIOR 2x4 STUD WALL ASSEMBLY (DECK LEVEL): <ul style="list-style-type: none"> FINISHED 1/2" SHEATHING AS PER CLIENT SPEC BOTH SIDES ON 2x4 SFF STUDS @ 16" O.C.
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FLOOR & ROOF SCHEDULE		
TAG	FLOOR DETAIL	WALL CONSTRUCTION (EXTERIOR TO INTERIOR)
F1		DOCK FLOOR: <ul style="list-style-type: none"> 28x120mm REBONY DECKING, COLOUR AS PER CLIENT SPEC ON 2X8 FLOOR JOISTS C/W MIN. 4" CCSPF INSULATION R24 2" PLYWOOD UNDER THE FLOOR JOISTS ON STEEL FRAMING (REFER TO STRUCTURAL DRAWINGS)
F2		BOATHOUSE 2ND FLOOR: <ul style="list-style-type: none"> WOOD FLOORING, COLOUR AS PER CLIENT SPEC ON 2X8 FLOOR JOISTS C/W MIN. 4" CCSPF INSULATION R24 2" 2x4 PLATES UNDER THE FLOOR JOISTS ON STEEL FRAMING (REFER TO STRUCTURAL DRAWINGS)
F3		DECK 2ND FLOOR: <ul style="list-style-type: none"> 28x120mm REBONY DECKING, COLOUR AS PER CLIENT SPEC ON 4" TAPERED SLEEPERS, INSTALL ICE & WATER SHIELD MEMBRANE ON TOP OF THE SLEEPERS 2" PLYWOOD BITUMEN ROOF MEMBRANE 4" TAPERED XPS RIGID INSULATION TO PROVIDE MIN. 1.5% SLOPE TO DRAIN 3/4" EXT. GRADE PLYWOOD 2X8 FLOOR JOISTS ON STEEL FRAMING (REFER TO STRUCTURAL DRAWINGS)
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FLOOR PLANS

FOR INFORMATIONAL PURPOSES ONLY

1 BOAT HOUSE
1/4" = 1'-0"

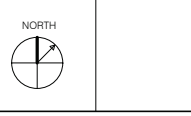


NOT TO SCALE

No.	Description	Date
1	SOCK PERMIT	22.09.22
2	LAND USE PERMIT (LUP)	23.03.23
3	FOR REVIEW	23.03.23

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 58 BMT GEORGE BOLTON PKWY, BOLTON, ON L7E 2M8
 T: 647.888.1784 E: info@cspooe.ca



PROJECT BESWICK BOATHOUSE	
4-1051 MONTGOMERY ROAD PORT CARLING, ONTARIO	
DRAWING TITLE BOAT HOUSE LEVEL PLAN	
SCALE 1/4" = 1'-0"	PROJECT NO. 20.208
DRAWN BY SE, JK	APPROVED CP
Y.M.DATE 22.09.06	
DRAWING NO.	

A202

