



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

PLANNING COMMITTEE NOTICE OF PUBLIC MEETING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

Take notice that the Council for the Corporation of the Township of Muskoka Lakes will be considering an application for a proposed Amendment to Zoning By-law 2014-14 pursuant to Section 34 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended.

File No.: ZBA-04/26
Roll No.: 1-1-013 & 1-1-012
By-law No.: To Be Assigned

| | |
|--|---|
| Owner: | Aspen Valley Wildlife Sanctuary |
| Address: | 1116 Crawford Street (1-1-013) & No Civic Address Assigned (1-1-012) |
| Description: | Lot 60, Concession A & Lot 59, Concession A (Cardwell) |
| Zoning: | 1-1-013: Rural (RU2) 1-1-012: Rural (RU2), Environmental Protection (EP1) & Open Space (OS2) Lake: Not Applicable Schedule: 10 |
| Meeting Date: Thursday, May 14th, 2026, at 9:00 a.m. | |



Take further notice that this public meeting will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.

Explanation of the Purpose and Effect:

A Zoning By-law Amendment Application has been submitted to recognize the existing main use of the subject property as a Wildlife Sanctuary and to recognize six (6) storage containers and three (3) rescue enclosures for the temporary shelter of animals. The application also proposes to deem the subject lots as one lot for planning purposes.

| Exemption | ZBL 2014-14 Section(s) | Description | Definition |
|-----------|------------------------|---|---|
| A | 6.1.1, 8.1 & 9.2.2, | Permit and define <i>wildlife sanctuary</i> as a main use | Shall mean a building, structure or land, generally left in its natural state, for the purpose of providing sanctuary, and habitat for wild animals and aquatic species. This includes land and facilities for the rehabilitation and temporary accommodation of the animals, permanent accommodation for non-releasable animals, temporary accommodation of Staff, and public education programs. Such Sanctuary |



| | | | |
|--|--|--|---|
| | | | provides public education, related retail sales, and shall be licensed by the Township and the Province of Ontario. |
|--|--|--|---|

| Exemption | ZBL 2014-14 Section(s) | Description | Permitted | Proposed | Relief | Proposal |
|-----------|------------------------|---|-----------|----------|--------|--|
| B | 11.88 | Definition of a Lot | - | - | - | Deem the Properties One Lot for Planning Purposes |
| C | 6.1.3 | Minimum Required Front Yard Setback | 50 ft. | 100 ft. | - | Enhanced Setback Requirements For Future Development |
| D | 6.1.3 | Minimum Required Interior Side Yard Setback | 20 ft. | 100 ft. | - | |
| E | 6.1.3 | Minimum Required Exterior Side Yard Setback | 50 ft. | 100 ft. | - | |
| F | 6.1.3 | Minimum Required Rear Yard Setback | 20 ft. | 100 ft. | - | |
| G | 9.2.2 | Minimum Required Side Yard Setback | 10 ft. | 100 ft. | - | |

A key map of the subject property, the applicant's site plan, and a draft By-law are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



If you wish to provide a response to this application, please submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **May 7th, 2026.**

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating, please visit www.muskokalakes.ca/speaking-at-a-meeting

Watch the Meeting Online



You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN MEETING: If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

REQUIREMENT FOR OWNERS OF MULTI-TENANT BUILDINGS: Upon receiving this Notice, owners of multi-tenant buildings with seven (7) or more residential units are asked to post this Notice in a location that is clearly visible to all tenants (i.e. building or community notice board), in accordance with O.Reg 545/06.

NOTICE OF PASSING & APPEALS: If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect to this application, you must make a written request to planning@muskokalakes.ca.

Furthermore, if a person or public body would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.



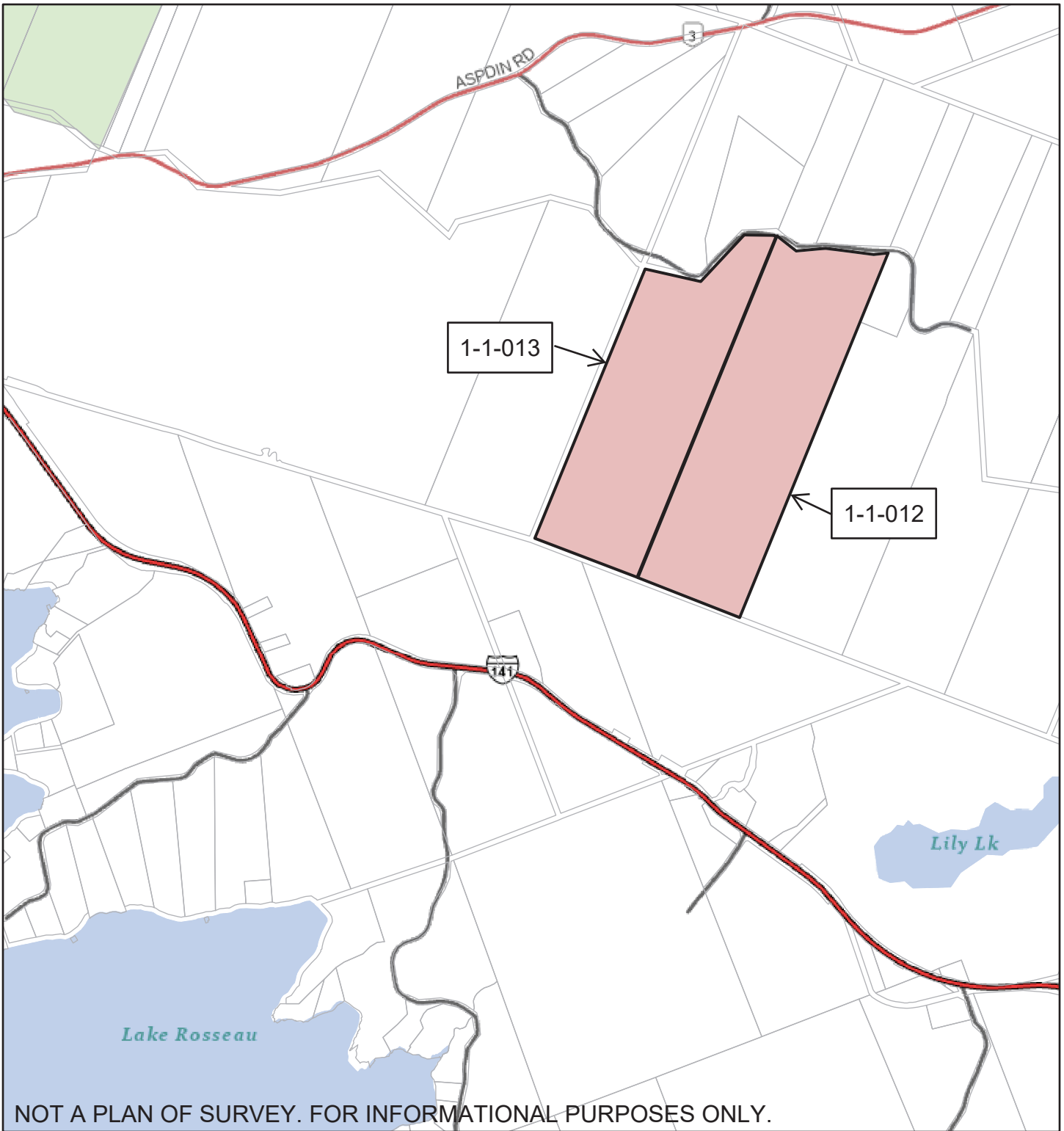
Notwithstanding the above, subsection 34(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

Dated at the Township of Muskoka Lakes this 21st day of April, 2026.

Crystal Best-Sararas, Clerk
Corporation of the Township of Muskoka Lakes



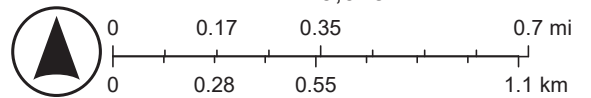
Key Map, ZBA-04/26 (ASPEN VALLEY)



1/27/2026, 11:01:39 AM

1:29,073

- | | | |
|-----------------------|-----------------|------------------|
| Parcel: Assessment | Civic Addresses | Private |
| District Municipality | Road Network | Major Lake |
| Area Municipality | Provincial | Canada_Hillshade |
| Geographic Township | District | World_Hillshade |
| | Township | |



Esri, NASA, NGA, USGS, FEMA, Sources: NRCan, Esri Canada, and Canadian Community Maps contributors.

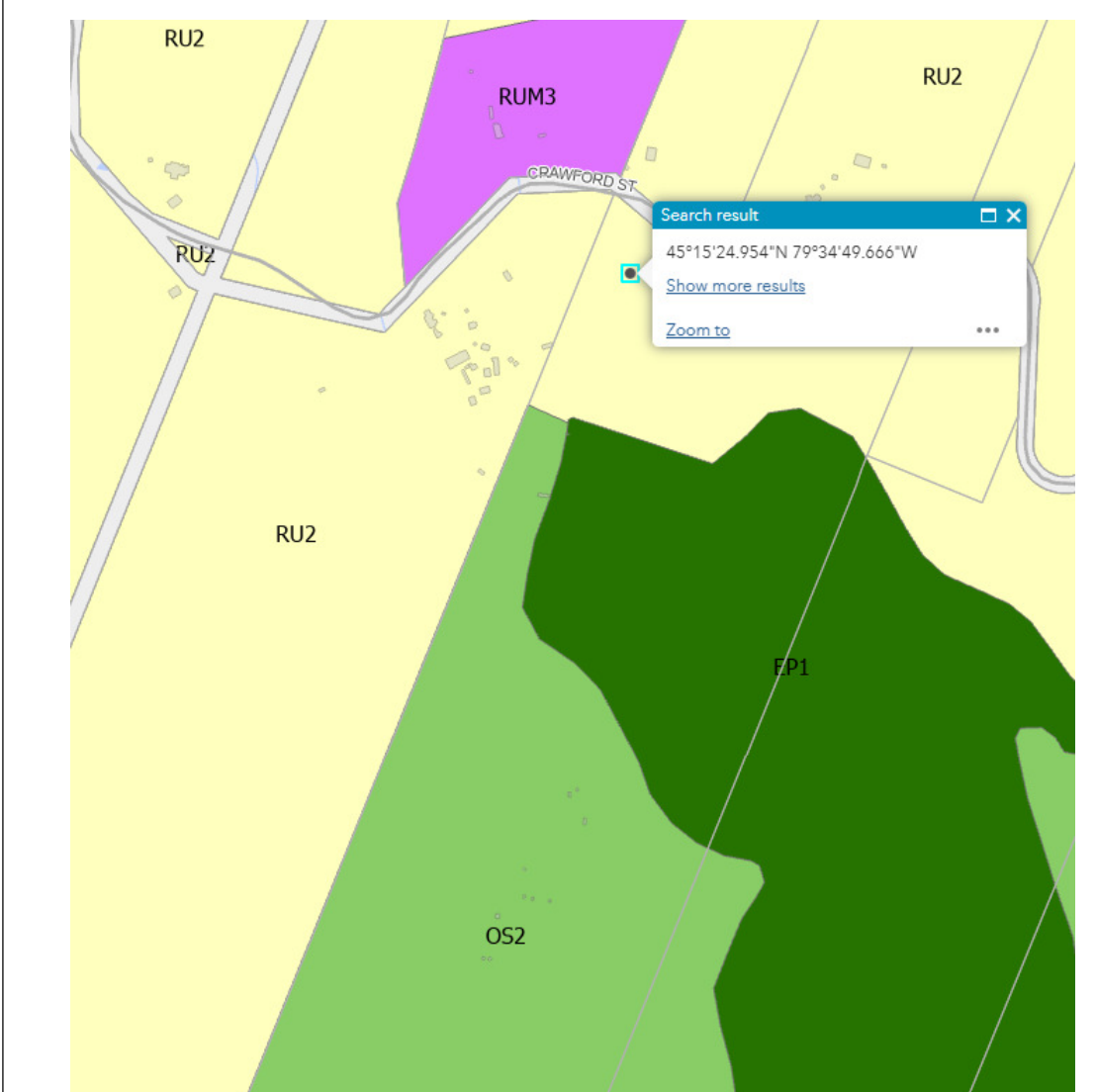
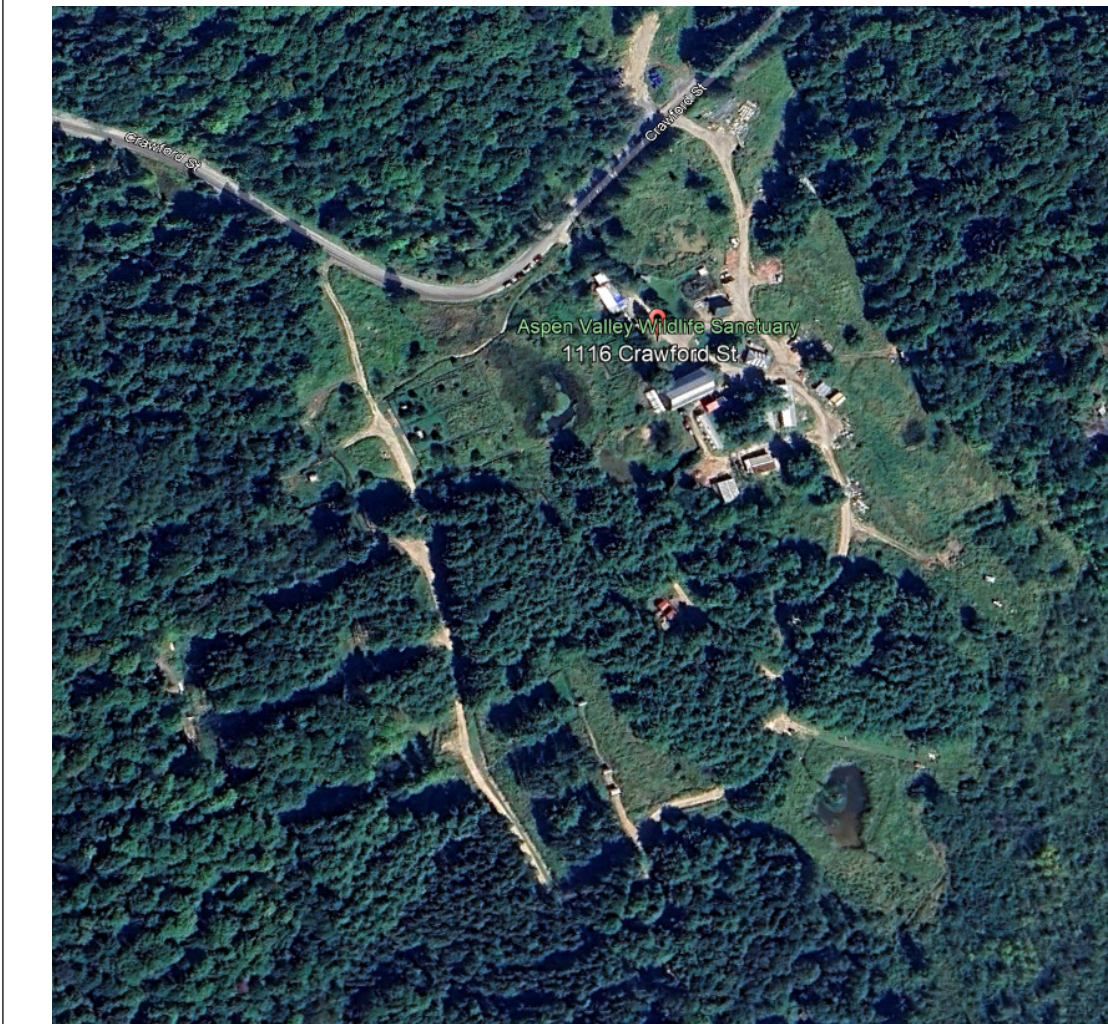
**1116 & 1118 CRAWFORD STREET (LOT 60)
GEOGRAPHIC TOWNSHIP OF CARDWELL
TOWNSHIP OF MUSKOKA LAKES**

| ZONE REQUIREMENTS - LOT 60 | |
|----------------------------|---------------------|
| Zoning Description | RU2 |
| Lot Area | +/- 4,617,380 SQ FT |
| Lot Frontage | +/- 1,500 FT |
| Maximum Lot Coverage % | 5% |

| YARD SETBACKS (ZONING REQUIREMENTS) | | |
|-------------------------------------|------|--------|
| | FEET | METERS |
| Front Yard Setback (Min): | 50 | 15.2 |
| Interior Side Setback (Min): | 20 | 6.1 |
| Exterior Side Setback (Min): | 50 | 15.2 |
| Rear Yard Setback (Min): | 20 | 6.1 |

| AREAS OF BUILDINGS UNDER CONSTRUCTION -LOT 60 | | |
|---|-------|--------|
| | SQFT. | SQM. |
| STORAGE UNDER CONSTRUCTION | 1224 | 113.71 |
| STORAGE UNDER CONSTRUCTION | 952 | 88.44 |
| TOTAL UNDER CONSTRUCTION | 2176 | 202.15 |

| ENCLOSURES | | | |
|---------------|------------|----------------|----------------------|
| SA1-COYOTE | SA10-BEAR | SA19-WOLVES | R5-RACCOONS |
| SA2-COYOTE | SA11-BEAR | SA20-WOLVES | R6-SMALL ANIMAL |
| SA3-POCIPINES | SA12-BEAR | SA21-WOLVES | R7-AVIAIRY |
| SA4-FOXES | SA13-BEAR | SA22-TURTLES | R8-SQUIRRELS |
| SA5-FOXES | SA14-CATS | SA23-RACCOONS | R9-WOLF |
| SA6-FOXES | SA15-CATS | R1-BEAVER | R10-RACCOONS |
| SA7-WOLF DOGS | SA16-CATS | R2-OTTER/MOOSE | R11-RACCOONS |
| SA8-WOLF DOGS | SA17-MOOSE | R3-RACCOONS | R12-RACCOONS |
| SA9-WOLF DOGS | SA18-SWANS | R4-DEER | R13-RACCOONS |
| | | | R22-REHAB RACCOONS |
| | | | R23-REHAB RACCOONS |
| | | | R24-REHAB RACCOONS |
| | | | R25-REHAB MOOSE/DEER |
| | | | R26-REHAB MOOSE/DEER |



| EXISTING BUILDING USE - LOT 60 | +/- AREA |
|--|-------------|
| 1- House/Office | 2322 SQFT |
| 2- Coyote Pen - Covered Roof Only | 636 SQ FT |
| 3- Education Centre (Meeting Room and Storage) | 648 SQ FT |
| 4- Common Room for Volunteers (Seasonal) | 763 SQ FT |
| 5- Barn | 3,794 SQ FT |
| 6- Volunteer Bunkie (Seasonal) | 631 SQ FT |
| 7- Rehab Suites (Trailer) | 738 SQ FT |
| 8- Small Animal Nursery | 804 SQ FT |
| 9- Nursery | 1,448 SQ FT |
| 10- Garage | 967 SQ FT |
| 11- Aquatics | 837 SQ FT |
| 12- Aviary Enclosure (Covered Roof Only) | 810 SQ FT |
| 13- Workshop and Tool Storage | 860 SQ FT |
| 14- Swan Enclosure (Covered Roof Only) | 168 SQ FT |
| 15- Generator Shed | 143 SQ FT |
| 16- Lumber Storage Rack (Covered Roof Only) | 342 SQ FT |
| 17- Storage Shed for Building Materials | 280 SQ FT |
| 18 - Wolf Pen Enclosure (Covered Roof Only) | 308 SQ FT |
| 19- Linen | 243 Sq FT |
| 20- Raccoon Nursery (Covered Roof Only) | 100 Sq FT |

| EXISTING BUILDING USE - LOT 60 | +/- AREA |
|--|--------------|
| 21- Small Fawn Roof Structures (x2) | 200 SQ FT |
| 22- Cover Between Enclosures (Roof Only) | 960 SQ FT |
| 23- Roof Structures For Raccoons (x3) | 300 SQ FT |
| TOTAL EXISTING | 18,302 SQ FT |

| AREA OF PROPOSED STRUCTURES -LOT 60 | | |
|-------------------------------------|-------|-------|
| | SQFT. | SQM. |
| PROPOSED SEACAN 1 | 160 | 14.86 |
| PROPOSED SEACAN 2 | 160 | 14.86 |
| PROPOSED SEACAN 3 | 160 | 14.86 |
| PARTIAL SEACAN 4 | 40 | 3.71 |
| TOTAL PROPOSED | 520 | 48.30 |

| LOT COVERAGE CALCULATIONS - LOT 60 | |
|------------------------------------|------|
| | % |
| EXISTING | 0.39 |
| PROPOSED | 0.44 |

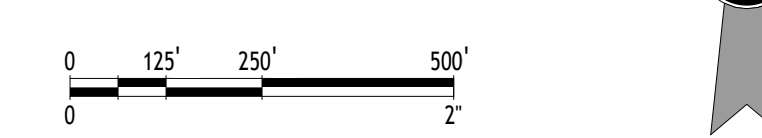
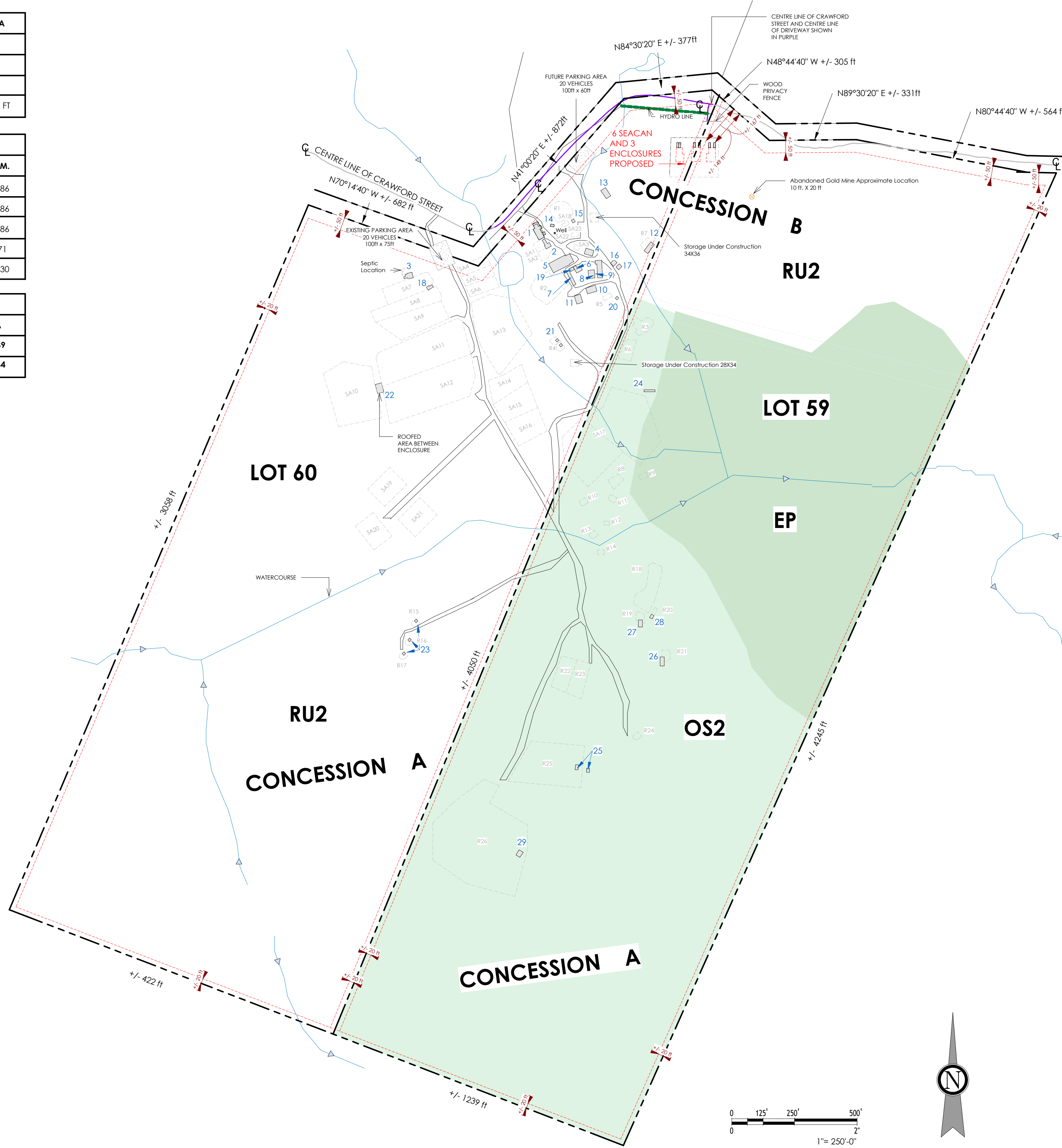
**NO CIVIC ADDRESS
(LOT 59)**

| ZONE REQUIREMENTS - LOT 59 | |
|----------------------------|---------------------|
| Zoning Description | RU2, EP, OS2 |
| Lot Area | +/- 5,309,564 SQ FT |
| Lot Frontage | +/- 1,379 FT |
| Maximum Lot Coverage % | 5% |

| AREA OF EXISTING STRUCTURES -LOT 59 | | |
|--------------------------------------|-------|-------|
| | SQFT. | SQM. |
| 24- STORAGE | 352 | 32.70 |
| 25- ROOFED STRUCT. DEER ENCLOSURE X2 | 431 | 40.04 |
| 26- ROOF STRUCT. CARNIVORE ENCLOSURE | 576 | 53.55 |
| 27- ROOF STRUCT. CARNIVORE ENCLOSURE | 448 | 41.62 |
| 28-ROOF STRUCT. CARNIVORE ENCLOSURE | 180 | 16.72 |
| 29- ROOF STRUCT. MOOSE ENCLOSURE | 453 | 42.08 |
| TOTAL EXISTING | 2,440 | 226.6 |

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| PROPOSED SEACAN 6 | 160 | 14.86 |
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| TOTAL PROPOSED | 440 | 40.87 |

| LOT COVERAGE CALCULATIONS - LOT 59 | |
|------------------------------------|-------|
| | % |
| EXISTING | 0.045 |
| PROPOSED | 0.054 |



| No. | Description | Date |
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| 1 | Initial Town Submission | 12-19-25 |
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SHEET LIST

Design Criteria:

Ground Snow Load (Sg):
Associated Rain Load (Sr):
Specified Snow Load:
Base Wind Pressure (q/150):

Client Name
Aspen Valley Wildlife Sanctuary
Address
1116 & 1118 Crawford Street, Rosseau, ON
Engineer Seal

Designer
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATIONS INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code.

xx NAME SIGNATURE BCIN xxxxxxx

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code.

Spencer Douglas LTD 117413
FIRM NAME FIRM BCIN

Sheet Name
Site Plan & Lot Statistics

Project Number SD25-1004
Date 4/21/2026 10:17:48 AM
Drawn By CM
Checked By NM

A-001

Scale As indicated

SITE PLAN

① Architectural Main Level Plan
1" = 250'-0"

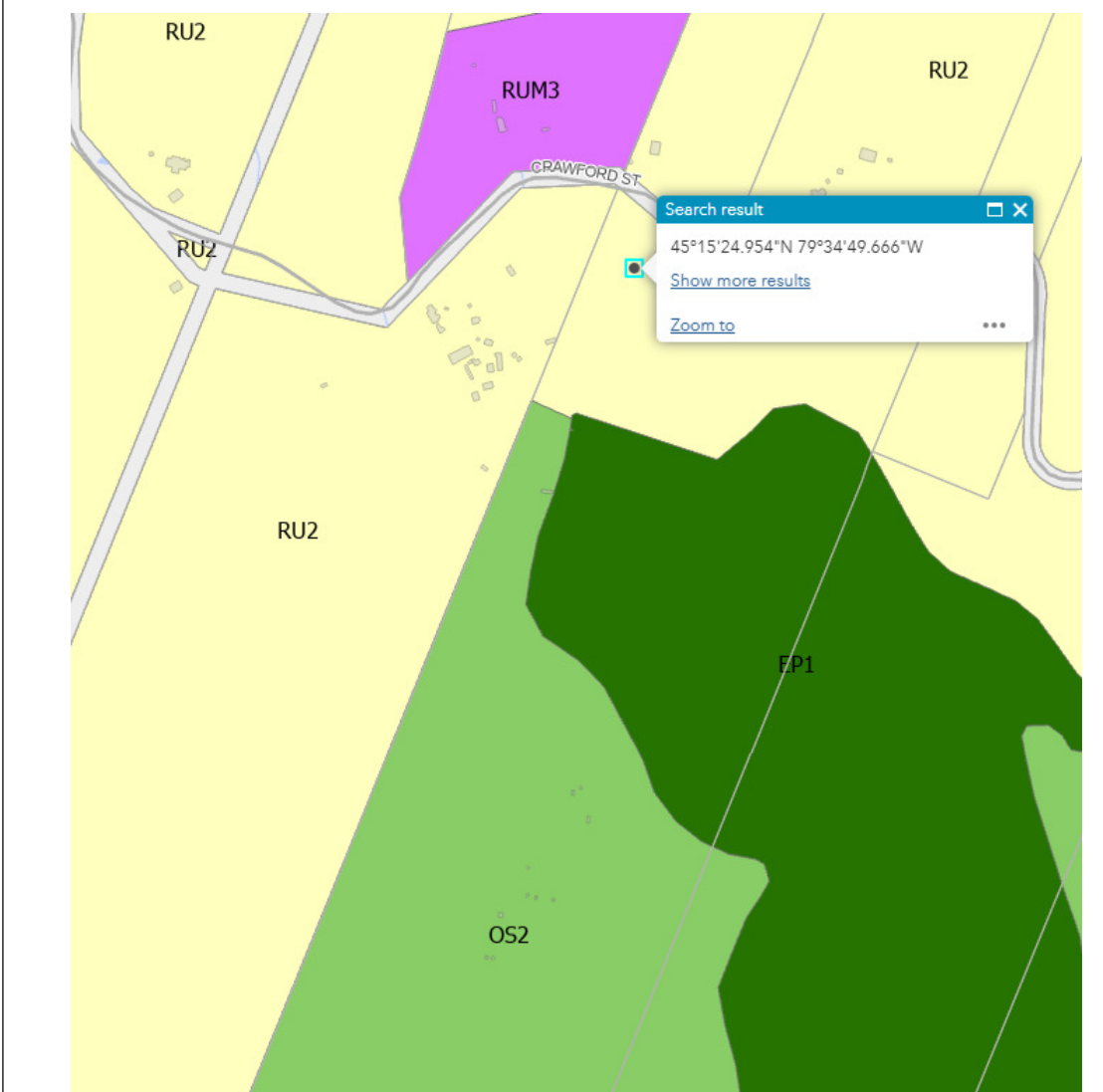
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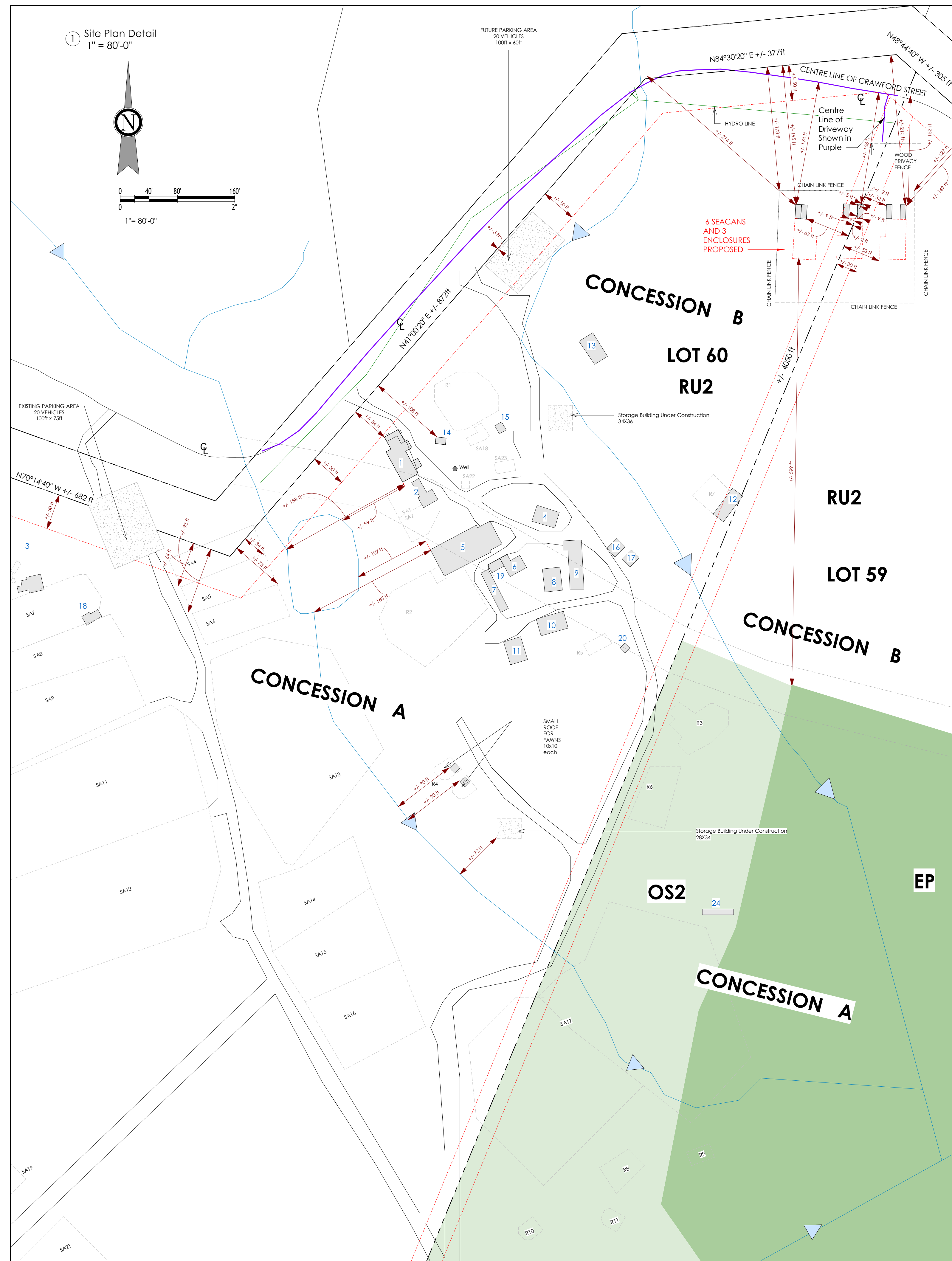
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| | % |
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| PROPOSED | 0.054 |

SITE PLAN



Spencer Douglas
 PLANNING ■ DESIGN

| No. | Description | Date |
|-----|-------------------------------|------------|
| 1 | Initial Town Submission | 12-19-25 |
| 2 | Revised for Township Comments | 04-06-2026 |
| 3 | Revised Post-Town Site Visit | 04-20-2026 |

SHEET LIST

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Design Criteria:
 Ground Snow Load (Sg):
 Associated Rain Load (Sr):
 Specified Snow Load:
 Base Wind Pressure (q/150):

Client Name
 Aspen Valley Wildlife Sanctuary
Address
 1116 & 1118 Crawford Street, Rosseau, ON
Engineer Seal

Designer
 The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATIONS INFORMATION
 Required unless design is exempt under 2.17.5.1 of the building code.

Designer: _____
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the building code.

Spencer Douglas LTD 117413
 FIRM NAME FIRM BCIN

Sheet Name
Site Plan Detail

Project Number SD25-1004
Date 4/21/2026 10:17:49 AM
Drawn By CM
Checked By NM

A-002
 Scale As indicated

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

BY-LAW NUMBER 2026-XXX

**Being a by-law to amend Comprehensive Zoning By-law
2014-24, as amended, in the Township of Muskoka Lakes**

WHEREAS the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

AND WHEREAS By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

AND WHEREAS the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF
MUSKOKA LAKES ENACTS AS FOLLOWS:**

1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:
 - 87-XXXX i) The lands affected by this amendment are described as Lot 60, Concession A & Lot 59, Concession A (in the former Township of Cardwell), now in the Township of Muskoka Lakes, as shown hatched on Schedule I to By-law 2026-XXX.
 - ii) Despite the provisions of Section 6.1.1, 8.1, and 9.2.2 of Zoning By-law 2014-14, as amended, for those lands described above, the following is permitted as a main use:

A Wildlife Sanctuary, which is defined as: A building, structure or land, generally left in its natural state, for the purpose of providing sanctuary, and habitat for wild animals and aquatic species. This includes land and facilities for the rehabilitation and temporary accommodation of the animals, permanent accommodation for non-releasable animals, temporary accommodation of Staff, and public education programs. Such a Sanctuary provides public education, related retail sales, and shall be licensed by the Township and the Province of Ontario.
 - iii) Despite the provisions of Section 11.88 of Zoning By-law 2014-14, as amended, for those lands described above and shown hatched on Schedule I to By-law 2026-XXX, shall be considered one lot for planning purposes.
 - iv) Despite the provisions of Section 6.1.3 of Zoning By-law 2014-14, as amended, for those lands described above, the minimum required front yard setback, rear yard setback, exterior side yard setback, and interior side yard setback shall be 100 feet.
 - v) Despite the provisions of Section 9.2.2 of Zoning By-law 2014-14, as amended, for those lands described above, the minimum required interior side yard setback shall be 100 feet.
2. Schedules I is attached hereto are hereby made part of this By-law.
3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2026-XXX and By-law 2014-14, as amended, the provisions of By-law 2026-XXX shall apply.
4. That this by-law shall come into force and take effect _____, 2026.

Read a **first, second and third time** and **finally passed** this ___th day of _____, 2026.

Mayor Peter Kelley

Crystal Best-Sararas, Clerk

DRAFT

SCHEDULE I TO DRAFT BY-LAW 2026-XXX

