



1 Bailey Street  
Port Carling, ON P0B 1J0

E: [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) P: 705-765-3156 F: 705-765-6755

## PLANNING COMMITTEE - NOTICE OF PUBLIC MEETING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

Take notice that the Council for the Corporation of the Township of Muskoka Lakes will be considering an application for a proposed Amendment to Zoning By-law 2014-14 pursuant to Section 34 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: ZBA-50/24**

**Roll No.: 8-3-007**

**By-law No.: To Be Assigned**

<b>Owners:</b>	Elizabeth & Raymond Yule 52 Ghibb Avenue, Minesing, ON., L9X 0C6		
<b>Address &amp; Description:</b>	1085 Bradley Road Part of Lot 4, Concession 3, Wood		
<b>Zoning:</b>	Waterfront Residential (WR5-7)	Lake Muskoka (Category 1 Lake)	Schedule: 44
<b>Meeting Date: Thursday, July 17th, 2025 at 9:00 a.m.</b>			

Take further notice that this public meeting will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



### Explanation of the Purpose and Effect:

A Zoning By-law Amendment Application has been submitted to redevelop the subject lot. The applicants propose to construct dwelling additions, increase the height of the dwelling and redevelop and relocate a garage. The applicants are also proposing to legalize an as-built sundeck that has been changed from permeable to impermeable. The redevelopment of the subject property requires a number of exemptions from the Township's Comprehensive Zoning By-law which are outlined in the table below.

Exemption	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Relief
A	4.1.3 & 4.1.3.6	Lot Coverage (entire lot)	10%/1,722.2 sq. ft.	17.06%/2,937.6 sq. ft.	7.06%/1,215.4sq. ft.



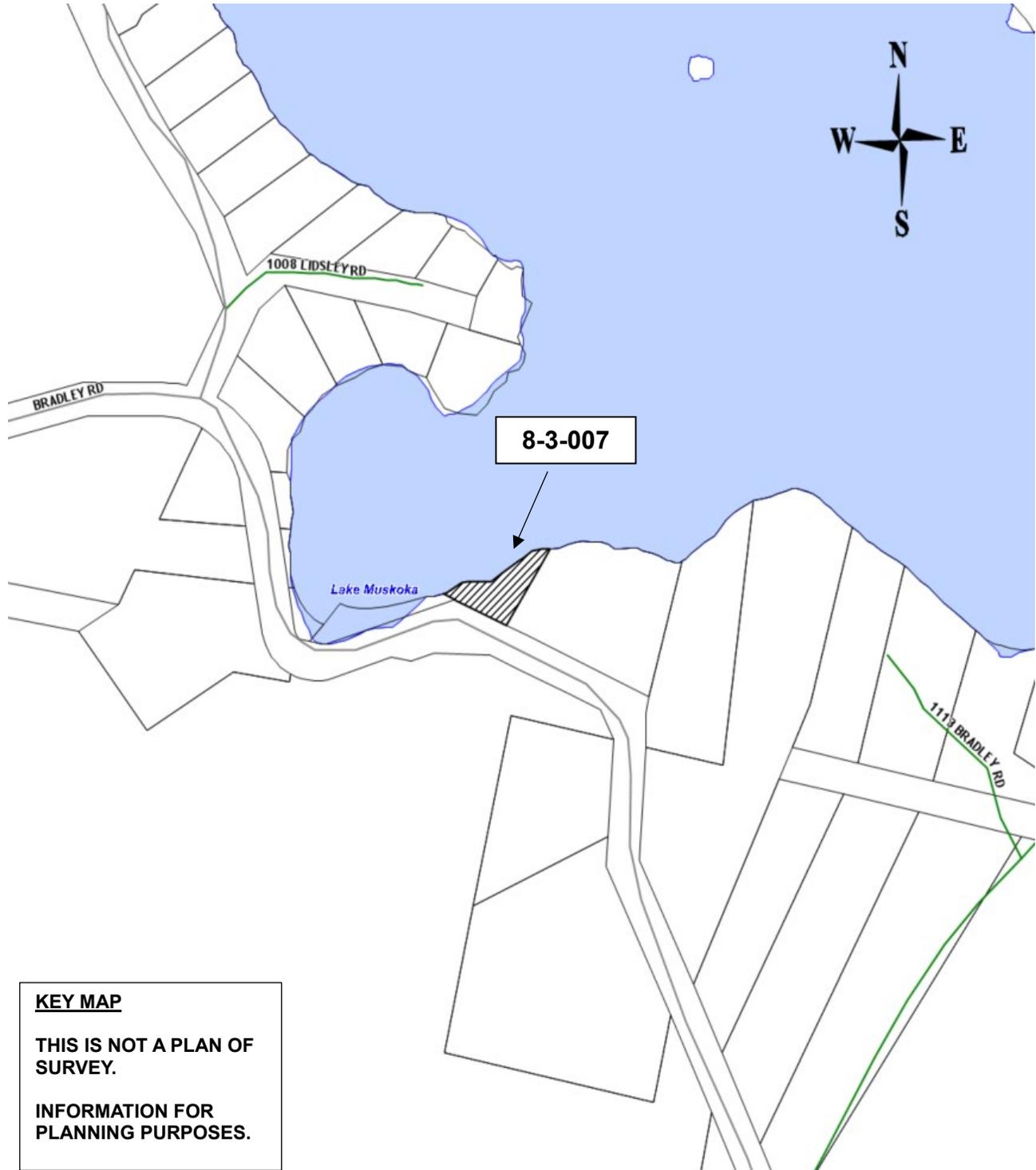
Notice of Public Meeting  
ZBA-50/24, Yule

B	4.1.3	Minimum Exterior Side Yard Setback (dwelling addition)	30 ft.	22.4 ft.	7.6 ft.
C	3.23.1	Minimum Setback from Street (dwelling addition)	25 ft.	22.4 ft.	2.6 ft.
D	4.1.3	Minimum Front Yard Setback (dwelling additions)	66 ft.	8.7 ft.	57.3 ft.
E	4.1.3	Maximum Height (dwelling)	35 ft.	27.6 ft.	-
F	4.1.3	Minimum Rear Yard Setback (garage)	15 ft.	3.9 ft.	11.1 ft.
G	4.1.3	Minimum Exterior Side Yard (garage)	30 ft.	6.8 ft.	23.2 ft.
H	3.23.1	Minimum Setback from Street (garage)	25 ft.	6.8 ft.	18.2 ft.

A key map of the subject property, the applicant's site plan and any drawing, and a draft By-law are included in this notice.



## KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**



## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: Friday, July 11<sup>th</sup>, 2025.

Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Planning Committee at the meeting by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled meeting.

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### **Watch the Meeting Online**



You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN MEETING:** If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**REQUIREMENT FOR OWNERS OF MULTI-TENANT BUILDINGS:** Upon receiving this Notice, owners of multi-tenant buildings with seven (7) or more residential units are asked to post this Notice in a location that is clearly visible to all tenants (i.e. building or community notice board), in accordance with O.Reg 545/06.

**NOTICE OF PASSING & APPEALS:** If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca).

Furthermore, if a person or public body would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.



Notwithstanding the above, subsection 34(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

Dated at the Township of Muskoka Lakes this 3rd day of June, 2025.

Crystal Paroschy, Clerk  
Corporation of the Township of Muskoka Lakes

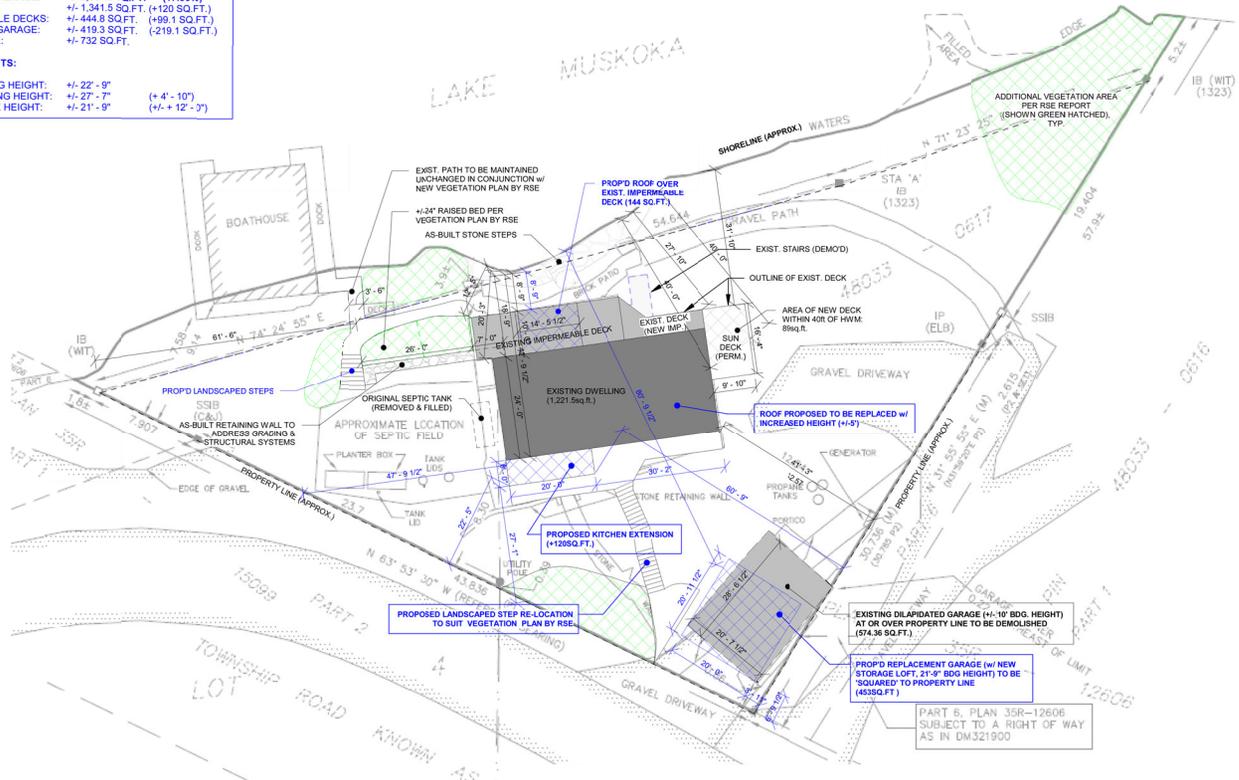


# Site Plan



**SURVEY UNDERLAY BY OTHERS. SITE LAYOUT IS FOR SCHEMATIC PRE-CONSULTATION PURPOSES ONLY.**

- LAKE FRONTAGE:** +/- 254.5 FT  
**BRADLEY ROAD FRONTAGE:** +/- 175.0 FT  
**LOT AREA:** +/- 17,222.24 SQ.FT.  
**EXIST. LOT COVERAGE:** +/- 2,938.3 SQ.FT. (17.06%)  
 -DWELLING: +/- 1,221.5 SQ.FT.  
 -IMPERMEABLE DECKS: +/- 345.7 SQ.FT.  
 -DETACHED GARAGE: +/- 638.4 SQ.FT.  
 -BOATHOUSE: +/- 732.7 SQ.FT.  
**PROP'D LOT COVERAGE:** +/- 2,937.6 SQ.FT. (17.06%)  
 -DWELLING: +/- 1,341.5 SQ.FT. (+120 SQ.FT.)  
 -IMPERMEABLE DECKS: +/- 444.8 SQ.FT. (+99.1 SQ.FT.)  
 -DETACHED GARAGE: +/- 419.3 SQ.FT. (-219.1 SQ.FT.)  
 -BOATHOUSE: +/- 732 SQ.FT.  
**BUILDING HEIGHTS:**  
 EXIST. DWELLING HEIGHT: +/- 22' - 9"  
 PROP'D DWELLING HEIGHT: +/- 27' - 7" (+ 4' - 10")  
 PROP'D GARAGE HEIGHT: +/- 21' - 9" (+/- + 12' - 3")



NO.	DESCRIPTION	DATE
4	REVD PER TOWN COMMENTS	JAN. 21, 2025
5	REVD PER TOWN COMMENTS	FEB. 13, 2025
6	REVD PER TOWN CONSULT.	APR. 25, 2025

CONCEPTS FOR PLANNING REVIEW ONLY

DRAWINGS TO BE PRINTED ON ARCH C PAPER (24" WIDE x 18" HIGH)



**DAHL GROUP**  
ENGINEERING

31-35 Cedar Pointe Drive, Barris, Ontario, L4N 5R7  
 Telephone: 705-259-5380  
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THE WORK OUTLINED ON THIS SHEET MUST BE CONSIDERED IN CONJUNCTION WITH ALL OTHER SHEETS FORMING THIS DRAWING SET AND ANY DOCUMENTS ISSUED WITH THIS SET OR REFERENCED HEREIN

DRAWING TITLE:  
**SCHEMATIC SITE PLAN**  
 PROJECT TITLE:  
 BUILDING/SITE ALTERATION  
 OWNER: YULE, RAY & LIZ  
 LOCATION: 1085 BRADLEY ROAD, MUSKOKA LAKES, ON  
 PROJECT NO.: DGE20041  
 SCALE: 1" = 20'-0" DRAWING NO. **S-2**  
 DRAWINGS REMAIN THE PROPERTY OF DGE

1 SCHEMATIC SITE LAYOUT - PROP'D FOR VARIANCE APPLICATION  
 S-2 1" = 20'-0"

NOT TO SCALE

Rezoning Information Table						
Exemption	ZBL 2014-14 Section(s)	Description	ZBL Requirement	Existing/Legal Non-Compliance	Proposed	Relief
A	4.1.3.6	Lot Coverage (Entire Lot)	10%/1,722.2 sq. ft.	17.06%/2,937.6 sq. ft.	17.06%/2,937.6 sq. ft.	No relief required; To recognize LNC
B	4.1.3	Min. Exterior Side Yard Setback (dwelling addition)	30 ft.	29.7 ft.	22.4 ft.	7 ft. relief required from LNC
C	3.23	Min. Setback from Street (dwelling addition)	25 ft.	29.7 ft.	22.4 ft.	2.6 ft.
D	4.1.3	Min. Front Yard Setback (dwelling addition)	66 ft.	8.7 ft.	8.7 ft.	No relief required; To recognize LNC
E	4.1.3	Min. Rear Yard Setback (garage)	15 ft.	0 ft.	3.9 ft.	Net improvement of 3.9 ft.
F	4.1.3	Min. Exterior Side Yard (garage)	30 ft.	6.8 ft.	6.8 ft.	No relief required; To recognize LNC
G	3.23	Min. Setback from Street (garage)	25 ft.	6.8 ft.	6.8 ft.	No relief required; To recognize LNC

**THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES**

**BY-LAW NUMBER 2025-XXX**

**Being a By-law to amend Comprehensive Zoning By-law 2014-14, as amended, in the Township of Muskoka Lakes**

**WHEREAS** the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

**AND WHEREAS** By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

**AND WHEREAS** the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

**NOW THEREFORE** the Council of the Corporation of the Township of Muskoka Lakes enacts as follows:

1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:
  - 87-XXXX i) The lands affected by this amendment are described as Part of Lot 4, Concession 3, (in the former Township of Wood), now in the Township of Muskoka Lakes, as shown hatched on Schedule I to By-law 2025-XXX.
  - ii) Despite the provisions of Section 4.1.3 & 4.1.3.6 of Zoning By-law 2014-14, as amended, for those lands described above, the maximum permitted lot coverage on the entire lot shall be 2,937.6 sq. ft. (17.06%) as shown in the location and extent on Schedule II to By-law 2025-XXX.
  - iii) Despite the provisions of Section 4.1.3 of Zoning By-law 2014-14, as amended, for those lands described above, a dwelling addition and garage are permitted to be setback 22.4 ft and 6.8 ft., respectively, from an exterior lot line, as shown in the location and extent on Schedule II to By-law 2025-XXX.
  - iv) Despite the provisions of Section 3.23.1 of Zoning By-law 2014-14, as amended, for those lands described above, a dwelling addition and garage, are permitted 22.4 ft. and 6.8 ft., respectively, from a lot line abutting a street, as shown in the location and extent on Schedule II to By-law 2025-XXX.
  - v) Despite the provisions of Section 4.1.3 of Zoning By-law 2014-14 as amended, for those lands described above, a dwelling addition is permitted 8.7 ft. from the high water mark, as shown in the location and extent on Schedule II to By-law 2025-XXX.
  - vi) Despite the provisions of Section 4.1.3 of Zoning By-law 2014-14 as amended, for those lands described above, a dwelling is permitted to be 27.6 feet in height, as shown on Schedule III to By-law 2025-XXX.
  - vii) Despite the provisions of Section 4.1.3 of Zoning By-law 2014-14, as amended, for those lands described above, a garage is permitted 3.9 ft. from a rear lot line,

as shown in the location and extent on Schedule II to By-law 2025-XXX.

2. Schedules I, II and III attached hereto are hereby made part of this By-law.
3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2025-XXX and By-law 2014-14, as amended, the provisions of By-law 2025-XXX shall apply.

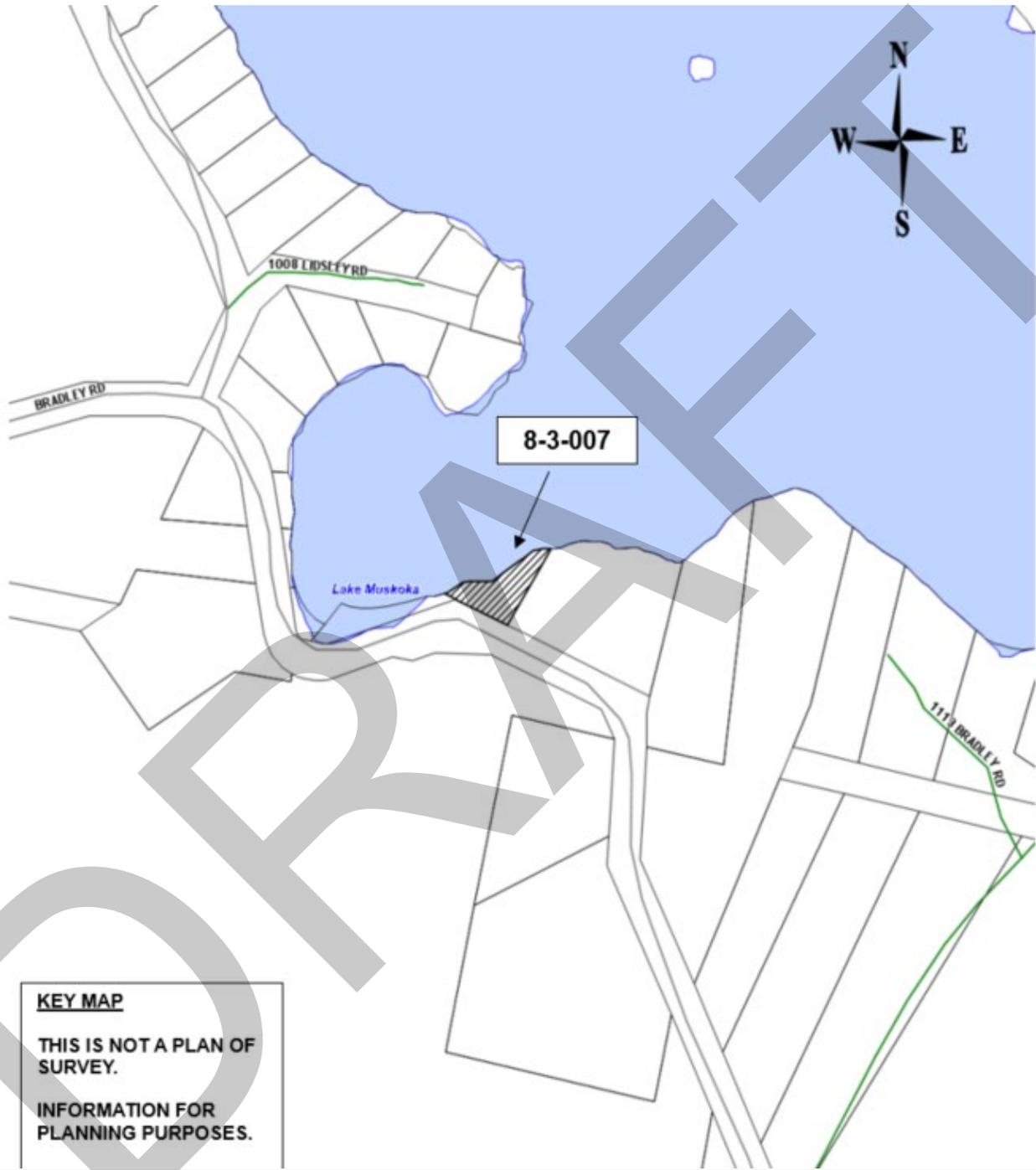
Read a **first, second and third time and finally passed** this \_\_\_\_\_ **day of** \_\_\_\_\_, **2025**.

\_\_\_\_\_  
Peter Kelley, Mayor

\_\_\_\_\_  
Crystal Paroschy, Clerk

DRAFT

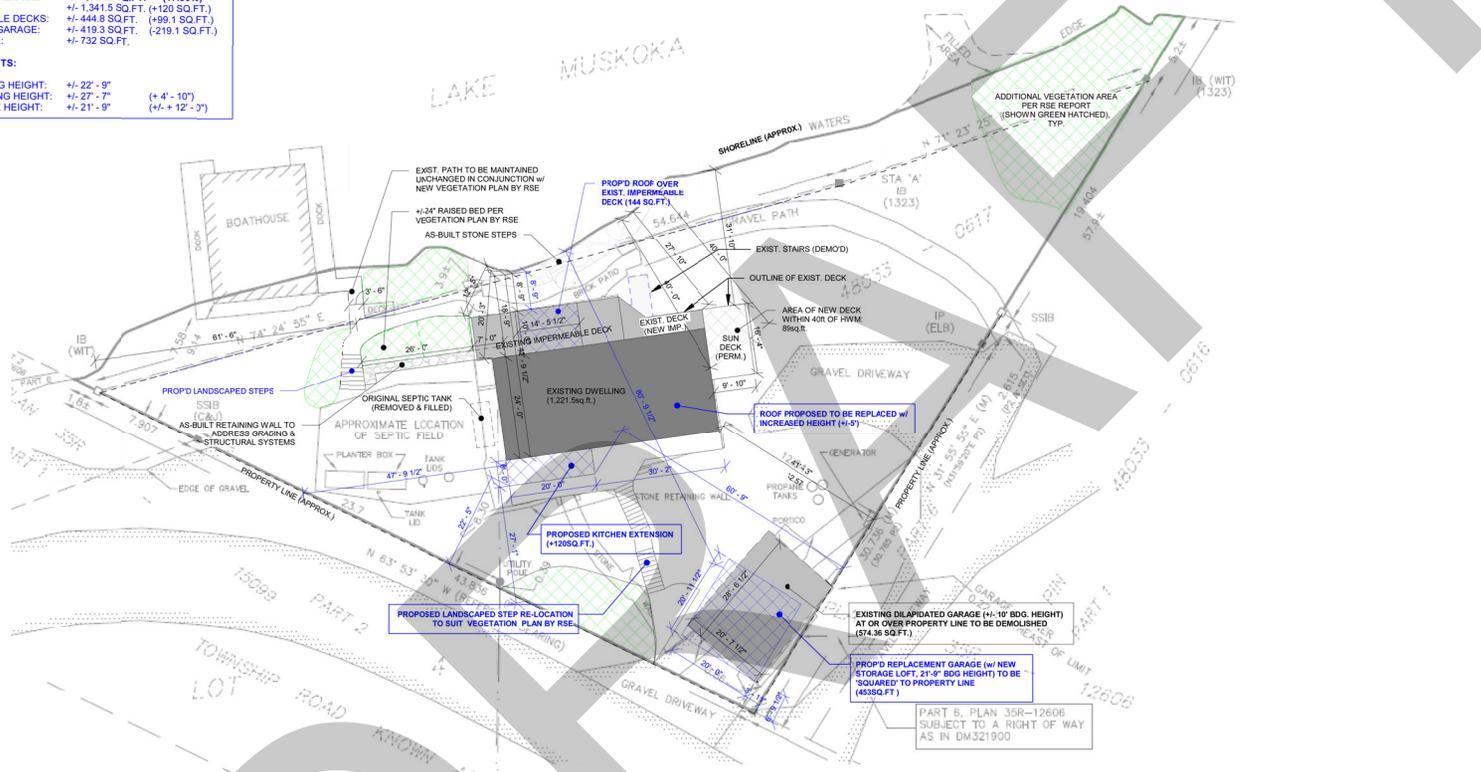
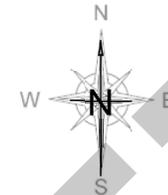
**SCHEDULE I TO DRAFT BY-LAW 2025-XXX**



# SCHEDULE II TO DRAFT BY-LAW 2025-XXX

**SURVEY UNDERLAY BY OTHERS.**  
SITE LAYOUT IS FOR SCHEMATIC  
PRE-CONSULTATION PURPOSES  
ONLY.

- LAKE FRONTAGE:** +/- 254.5 FT  
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DRAWING TITLE:  
**SCHEMATIC SITE PLAN**  
 PROJECT TITLE:  
 BUILDING/SITE ALTERATION  
 OWNER: YULE, RAY & LIZ  
 LOCATION: 1085 BRADLEY ROAD, MUSKOKA LAKES, ON  
 PROJECT NO.: DGE20041  
 SCALE: 1" = 20'-0" DRAWING NO. **S-2**  
 DRAWINGS REMAIN THE PROPERTY OF DGE

1 SCHEMATIC SITE LAYOUT - PROPD FOR VARIANCE APPLICATION  
 S-2 1" = 20'-0"

**NOT TO SCALE**

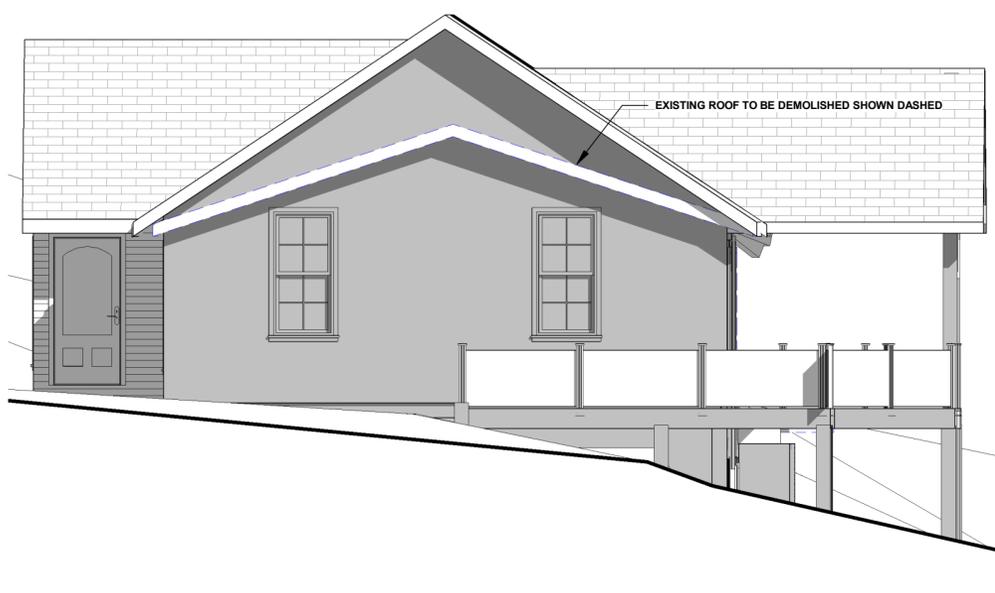
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# SCHEDULE III TO DRAFT BY-LAW 2025-XXX

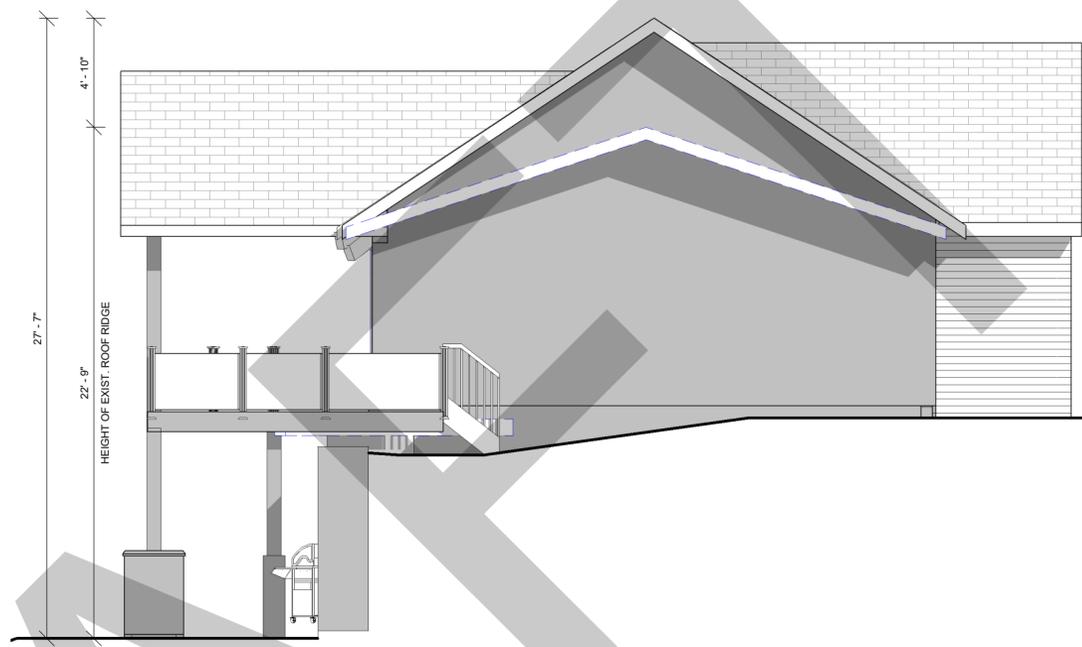
NO.	DESCRIPTION	DATE
3	ISSUED FOR PLANNING REV.	JAN. 9, 2024

CONCEPTS FOR PLANNING REVIEW ONLY

DRAWINGS TO BE PRINTED ON ARCH C PAPER (24" WIDE x 18" HIGH)



**1 EAST ELEVATION**  
S-8 3/16" = 1'-0"



**3 WEST ELEVATION**  
S-8 3/16" = 1'-0"

: DENOTES WALLS/COMPONENTS TO BE REMOVED  
 : DENOTES EXISTING WALLS/COMPONENTS TO REMAIN  
 : DENOTES NEW WALL ASSEMBLY



**2 WATERSIDE ELEVATION**  
S-8 3/16" = 1'-0"

NOT TO SCALE



**DAHL GROUP**  
ENGINEERING

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Telephone: 705-259-5380  
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DRAWING TITLE:	<b>SCHEMATIC ELEVATIONS</b>
PROJECT TITLE:	BUILDING/SITE ALTERATION
OWNER:	YULE, RAY & LIZ
LOCATION:	1085 BRADLEY ROAD, MUSKOKA LAKES, ON
PROJECT NO.:	DGE20041
SCALE:	3/16" = 1'-0" DRAWING NO. <b>S-8</b>
DRAWINGS REMAIN THE PROPERTY OF DGE	