

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-52/25

Roll No.: 5-8-085-09

Owner:	Dennis Dusome, 2 Johnston Street, P.O. Box 72, Port Carling, ON, P0B 1J0		
Address & Description:	2 Johnston Street Lot 32, Concession 3, Lot 39, Plan M524, (Medora)		
Zoning:	Community Residential - Urban Centres (R1)	Lake: Not Applicable	Schedule: 55
Hearing Date: Tuesday, October 14th, 2025 at 9:00 a.m.			



Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.

Explanation of the Purpose and Effect:

The applicant proposes to construct additions to an existing two-storey dwelling, consisting of a two-storey attached garage, a second storey sundeck, and the conversion of an existing sundeck into a mudroom. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	5.1.3	Minimum Rear Yard Setback (Second-Storey Sundeck)	25 ft.	23 ft.	2 ft.	Construct a Second-Storey Sundeck Addition to an Existing Two-Storey Dwelling
B	5.1.3	Minimum Front Yard Setback (Second-Storey Sundeck)	25 ft.	21.5 ft.	3.5 ft.	
C	3.23.3	Minimum Required Setback	25 ft.	21.5 ft.	3.5 ft.	



Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
		from a Street (Second-Storey Sundeck)				
D	5.1.3	Minimum Rear Yard Setback (Attached Garage)	25 ft.	4.5 ft.	20.5 ft.	Construct an Attached Two- Storey Garage Addition to an Existing Two- Storey Dwelling
E	5.1.3	Minimum Front Yard Setback (Attached Garage)	25 ft.	23.5 ft.	1.5 ft.	
F	3.23.3	Minimum Required Setback from a Street (Attached Garage)	25 ft.	23.5 ft.	1.5 ft.	
G	5.1.3	Minimum Rear Yard Setback (Dwelling Addition)	25 ft.	5.5 ft.	19.5 ft.	Construct a Dwelling Addition to an Existing Two- Storey Dwelling

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **October 8, 2025.**

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies, a “specified person” (as defined by the Planning Act 1(1)), and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

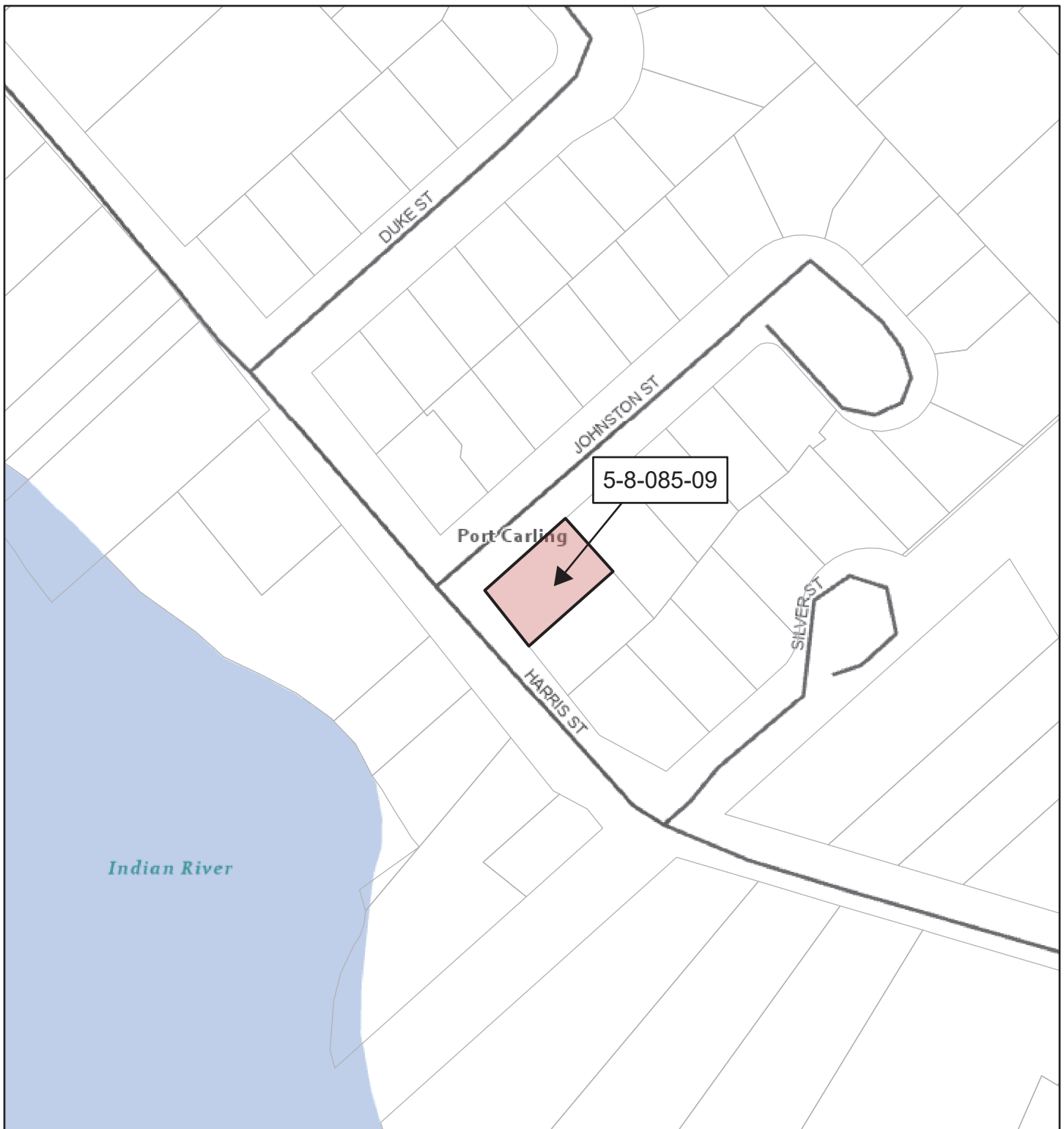
PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 15th day of September, 2025.

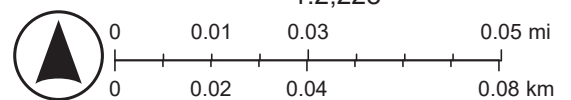
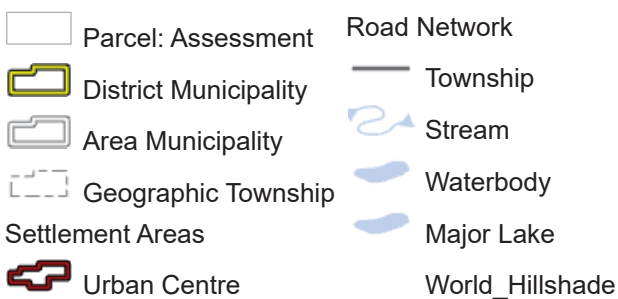
Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



KEY MAP, A-52/25 (DUSOME)

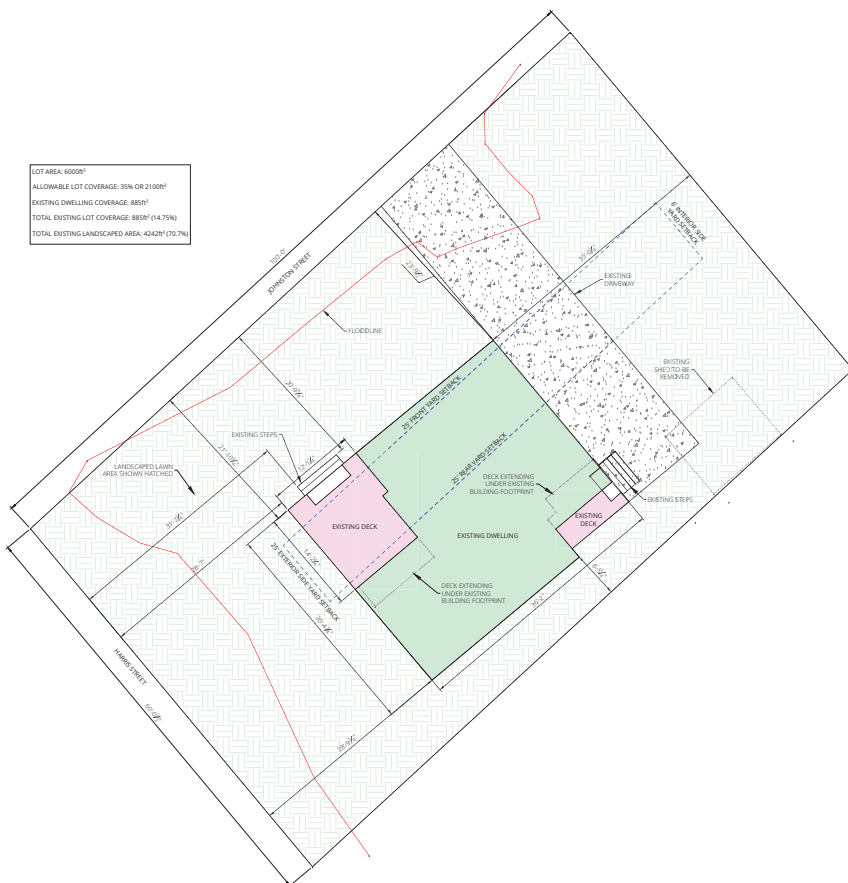


NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

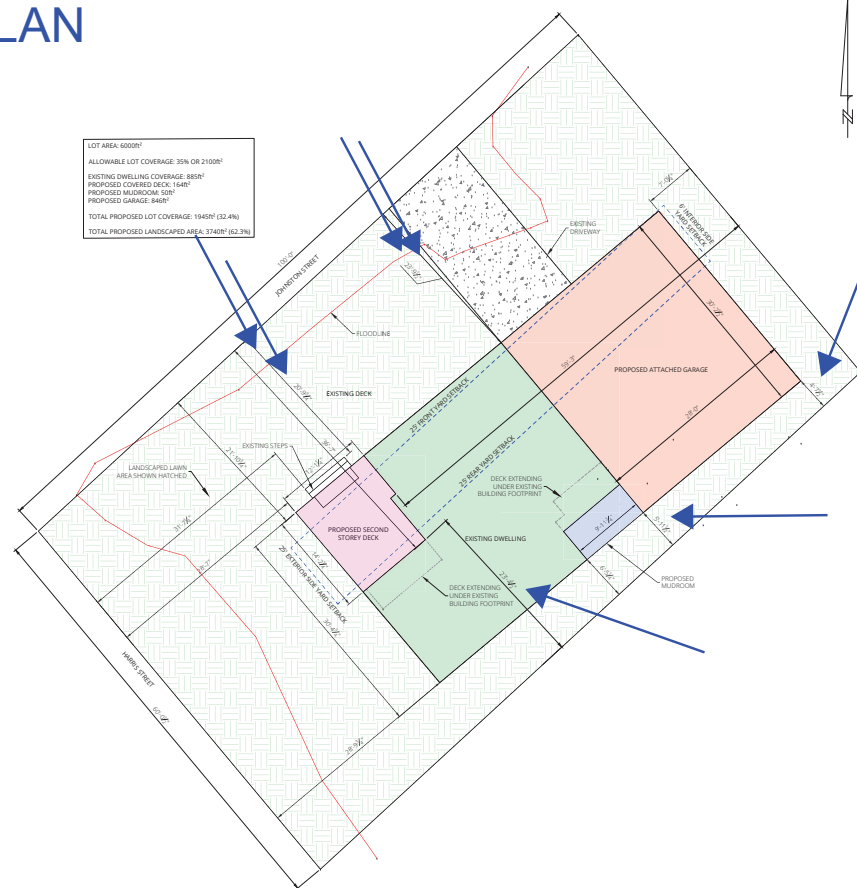


Sources: NRCan, Esri, Canada, and Canadian Community Maps contributors., Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community

SITE PLAN



EXISTING SITE PLAN
SCALE: 1" = 1'-0"



PROPOSED SITE PLAN
SCALE: 1" = 1'-0"

NOT TO SCALE

ARD
ALL REIGN DESIGNS
ARCHITECTURE & DESIGN

PHONE 705-645-0713
E-MAIL ERIC@ARDDDESIGNS.CA

- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

- UNLESS SPECIFICALLY NOTED OTHERWISE, ON THE DRAWINGS, NO PROVISION HAS BEEN MADE, AND THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET, PILING, OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

- ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF ARD - ALL REIGN DESIGNS AND ARE SUBJECT TO RETURN UPON REQUEST.

- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED AS "ISSUED FOR CONSTRUCTION", CERTIFIED AND DATED.

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE TO THE LATEST REVISED VERSION OF THE ONTARIO BUILDING CODE.

- DO NOT SCALE DRAWINGS.

BCN STAMP:

REV.	DATE	DESCRIPTION	BY
1	JUNE 02, 2025	ISSUED FOR REVIEW	JL
2	SEP 12, 2025	ISSUED FOR AWARD	JL

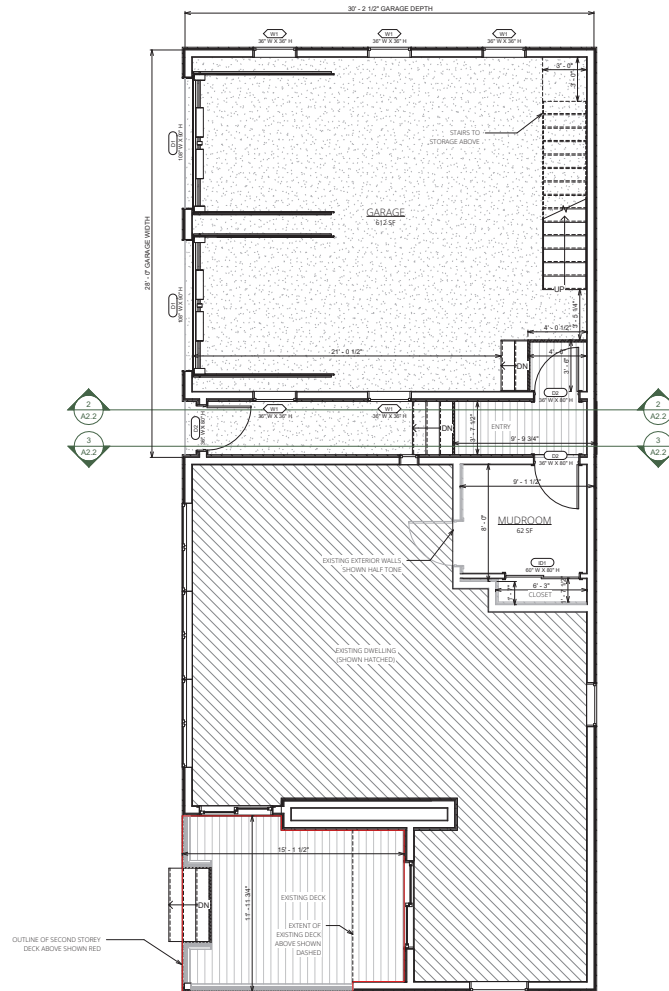
DATE	JUL	JUL	170 - 170	WPM 2023	23-13
PROJECT	JOHNSTON STREET				

2 JOHNSTONE STREET
TOWNSHIP OF MUSKOKA LAKES

SP1

EXISTING & PROPOSED SITE PLANS

FLOOR PLANS



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PHONE 705-645-0713
EMAIL ERIC@ARDDESIGNS.CA

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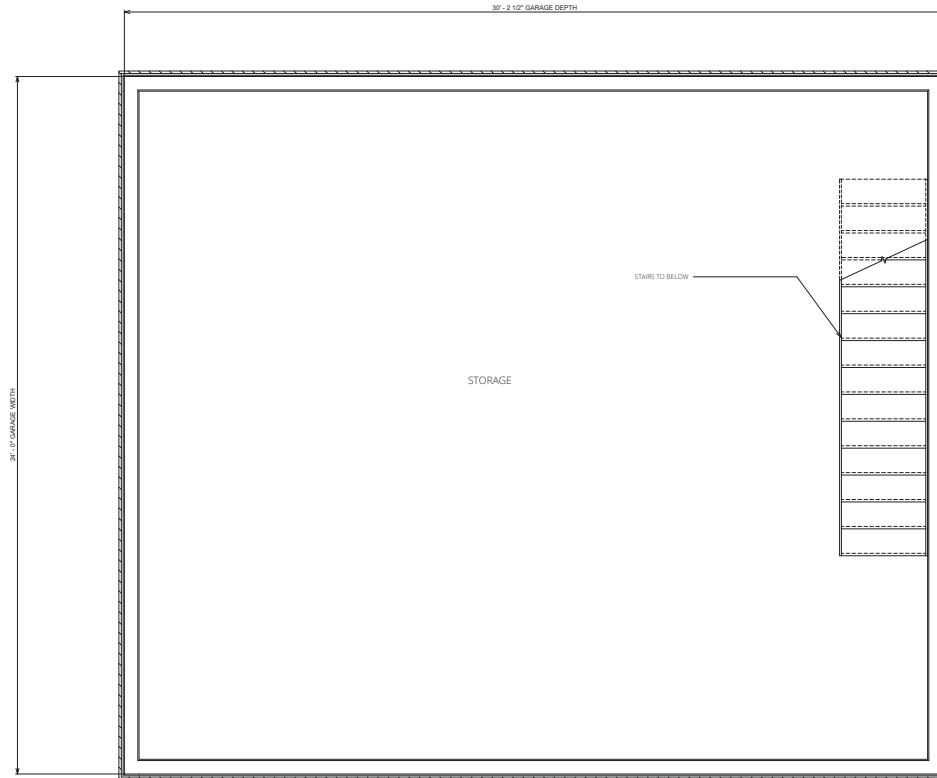
JOHNSTON GARAGE

2 JOHNSTON STREET
TOWNSHIP OF MUSKOKA LAKES

PROPOSED MAIN FLOOR
PLAN

A1.1

FLOOR PLANS - UPPER FLOOR



① GARAGE UPPER FLOOR PLAN
1/2" = 1'-0"

NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY

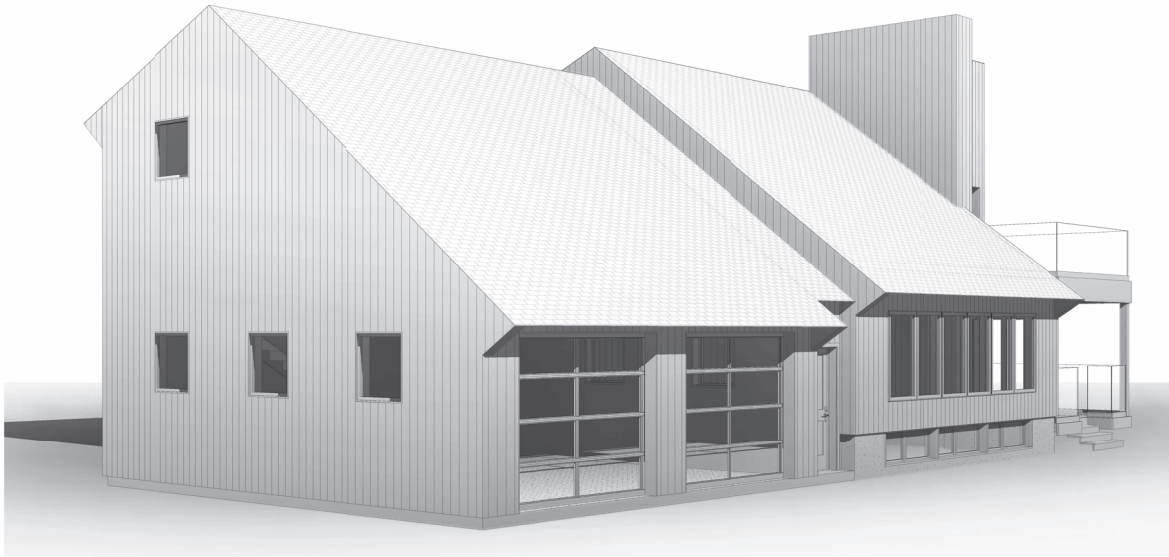
REV.	DATE	DESCRIPTION	B
1	APR.25.2025	ISSUED FOR REVIEW	
2	APR.29.2025	ISSUED FOR REVIEW	ff
3	JUNE.02.2025	ISSUED FOR REVIEW	ff

DRAWN BY:	DESIGNED BY:	APPROVED BY:	SCALE:	DATE:	PROJECT NUMBER:
JTL	JTL	JTL	As indicated	JUNE 2025	25-13

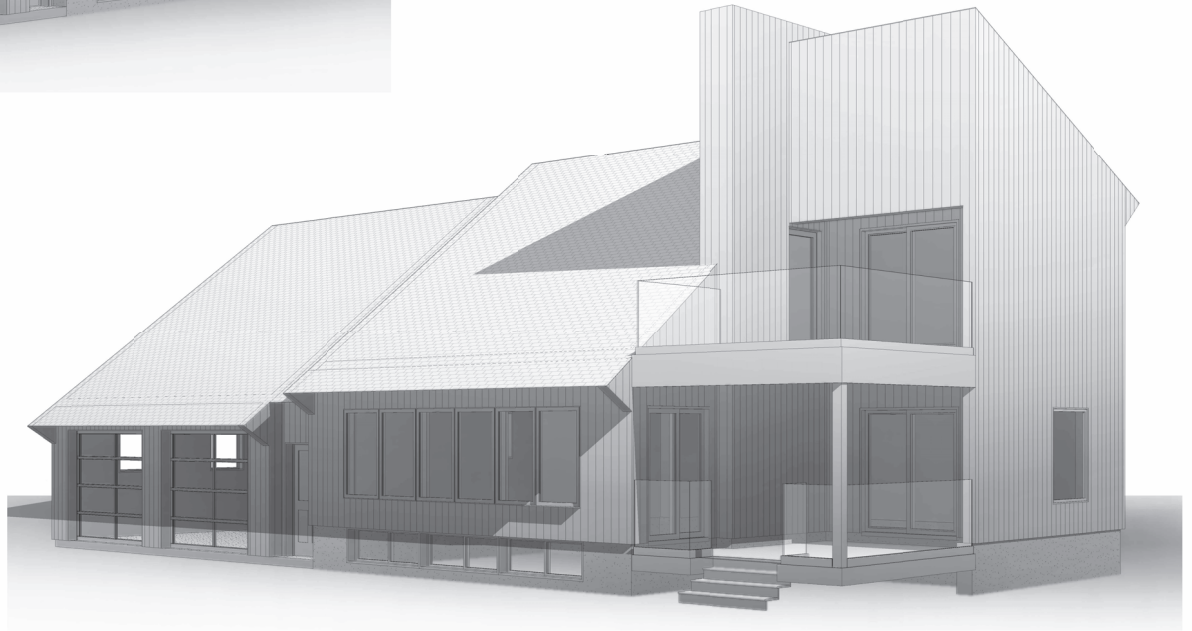
JOHNSTON GARAGE

2 JOHNSTON STREET
TOWNSHIP OF MUSKOKA LAKES

DRAWINGS



① FRONT LEFT PERSPECTIVE



② FRONT RIGHT PERSPECTIVE

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

ARD

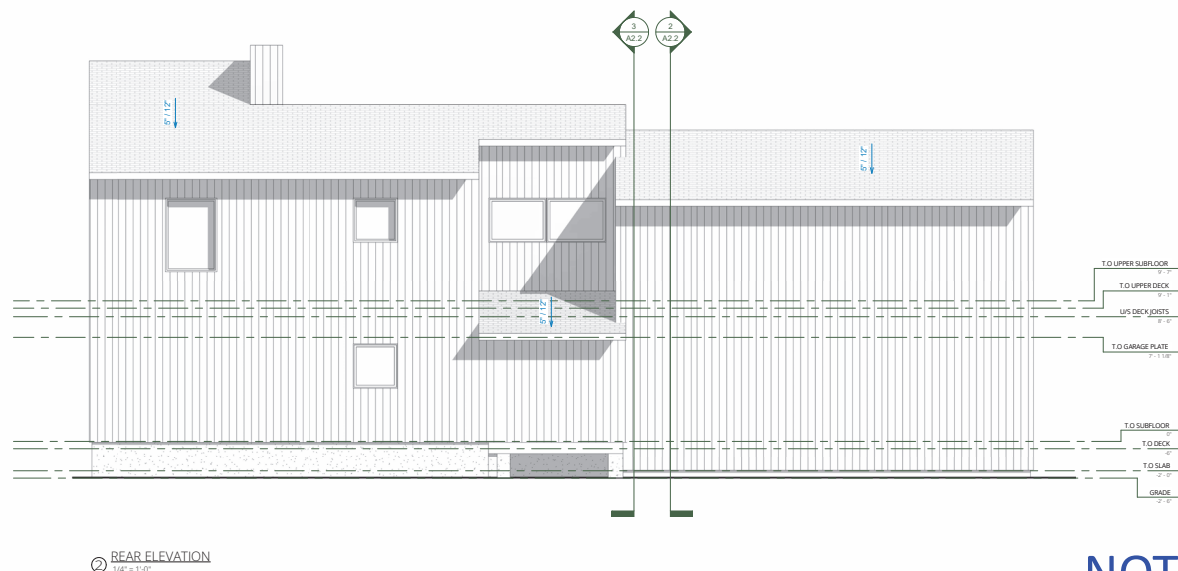
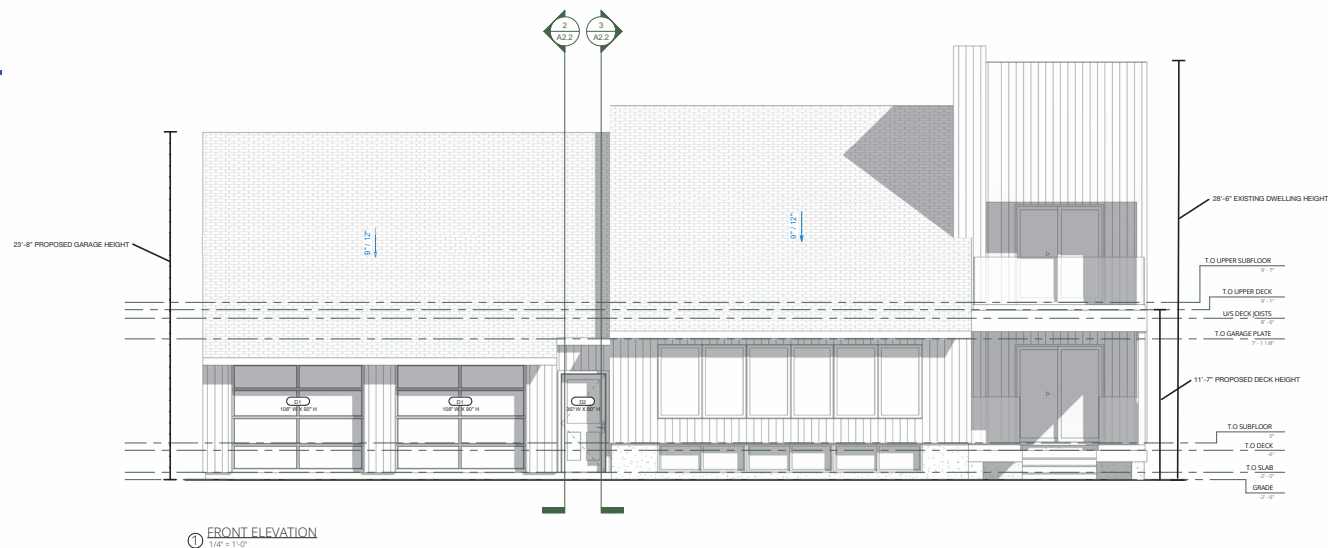
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EMAIL ERIC@ARDDISIGNS.CA

JOHNSTON GARAGE

2 JOHNSTON STREET
TOWNSHIP OF MUSKOKA LAKES

ELEVATIONS



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ARCHITECTURE & DESIGN

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EMAIL ERIC@ARDDESIGNS.CA

PHONE 705-545-0713
EMAIL ERIC@ARDDDESIGNS.CA

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REV.	DATE	DESCRIPTION	BY
1	APR.25.2025	ISSUED FOR REVIEW	
2	APR.29.2025	ISSUED FOR REVIEW	JTL
3	JUNE.02.2025	ISSUED FOR REVIEW	JTL

DRAWN BY:	DESIGNED BY:	APPROVED BY:	SCALE:	DATE:	PROJECT NUMBER:
JTL	JTL	JTL	1/4" = 1'-0"	APR 2025	25-13

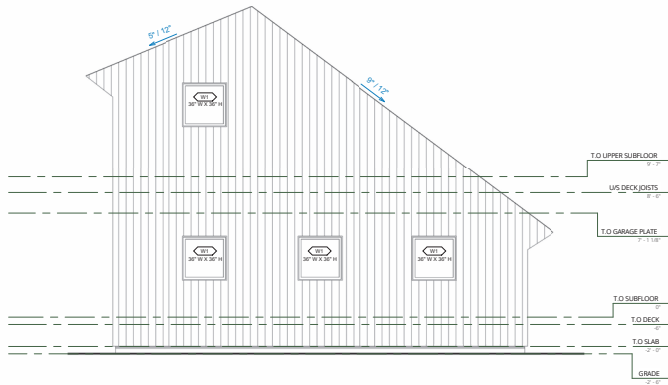
JOHNSTON GARAGE

2 JOHNSTON STREET
TOWNSHIP OF MUSKOKA LAKES

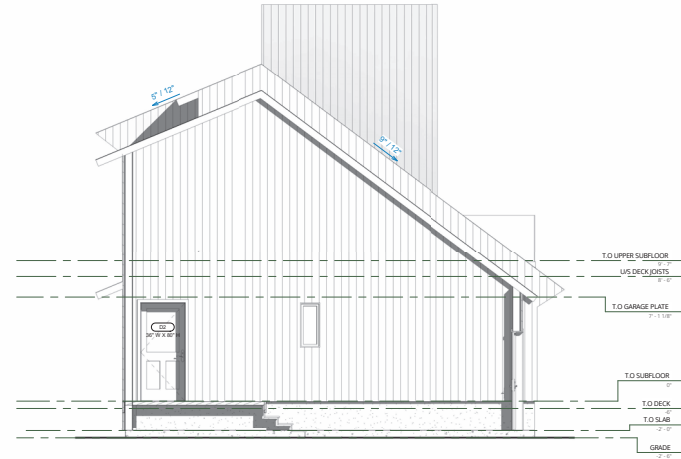
FRONT & REAR ELEVATIONS

A2.1

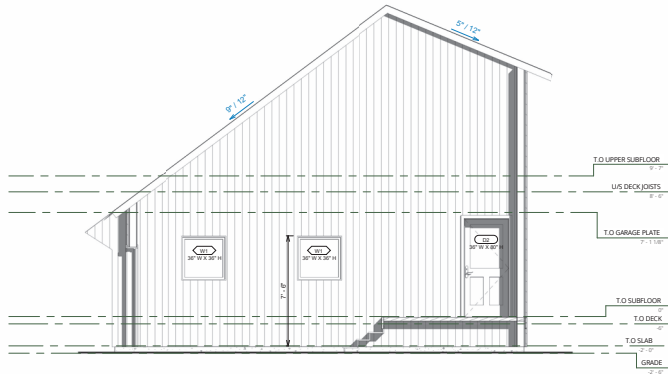
ELEVATIONS



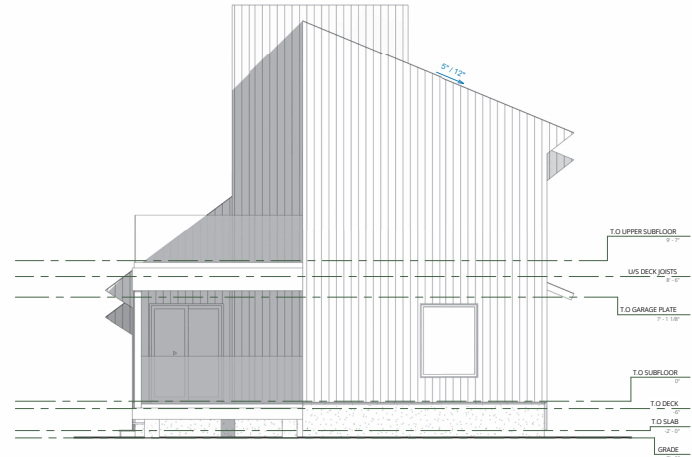
① LEFT ELEVATION - GARAGE
1/4" = 1'-0"



③ LEFT ELEVATION - HOUSE
1/4" = 1'-0"



② RIGHT ELEVATION - GARAGE
1/4" = 1'-0"



④ RIGHT ELEVATION - HOUSE
1/4" = 1'-0"

NOT TO SCALE

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NOTE:
-ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY.

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DRAWN BY:	DESIGNED BY:	APPROVED BY:	SCALE:
JTL	JTL	JTL	1/4" = 1'-0"
			DATE:
			APR 2025
			PROJECT NUMBER:
			25-13

JOHNSTON GARAGE

2 JOHNSTON STREET
TOWNSHIP OF MUSKOKA LAKES

LEFT & RIGHT
ELEVATIONS

A2.2